

DATE OF MEETING June 16, 2025

AUTHORED BY CALEB HORN, PLANNER, CURRENT PLANNING

SUBJECT REZONING APPLICATION NO. RA522 – 1850 BOXWOOD ROAD



Proposal:

To allow a Personal Care Facility

Current Zoning:

I3 – High Tech Industrial

Proposed Zoning:

I3 – High Tech Industrial with a site-specific Personal Care Facility use

City Plan Land Use Designation:

Light Industrial

Lot Area:

2,731m²

RA



OVERVIEW

Purpose of Report

To present for Council's consideration an application to amend the High Tech Industrial (I3) zone to allow Personal Care Facility as a site-specific use at 1850 Boxwood Road to facilitate a proposed complex care housing development. |

Recommendation

That:

1. "Zoning Amendment Bylaw 2025 No. 4500.241" (to rezone 1850 Boxwood Road to allow Personal Care Facility as a site-specific use in the High Tech Industrial [I3]) zone pass first reading;
2. "Zoning Amendment Bylaw 2025 No. 4500.241" pass second reading;
3. "Zoning Amendment Bylaw 2025 No. 4500.241" pass third reading; and,
4. Council direct Staff to secure the conditions related to "Zoning Amendment Bylaw 2025 No. 4500.241" as outlined in the "Conditions of Rezoning" section of the Staff Report dated 2025-JUN-16.

BACKGROUND

Concurrent rezoning and development permit applications, RA522 and DP1379, were received from Altus Group, on behalf of the Provincial Rental Housing Corporation, to facilitate a BC Housing development for a three-storey, 22-unit complex care housing development.

BC Housing has partnered with the Ministry of Health and Island Health to develop a complex care housing project with enhanced supports for individuals at risk of experiencing homelessness. The development will include integrated health care services provided by Island Health, and 24/7 staffing and support by a non-profit housing operator (to be selected), including life skills development, wellness checks, employment assistance, and community connection programs.

The applicant has applied concurrently for a site-specific zoning amendment to allow the proposed use as well as a form and character development permit for the proposed design. Given the scale of the project and no variances are requested, the development permit will be delegated for approval should the amendment bylaw be adopted.

Subject Property and Site Context

The subject property is located in Central Nanaimo at the edge of the Green Rock Industrial Park, along Boxwood Road between Dufferin Crescent and Madsen Road. The property was previously cleared of vegetation, is vacant, and slopes down approximately 6m from north to south. A public walkway and staircase border the east property line and separate the subject property from the end of Kerrisdale Road.

The surrounding neighbourhood consists of a mix of light industrial, residential, and commercial uses. Adjacent uses include a vacant industrial lot and indoor climbing gym to the west, moving and storage businesses across Boxwood Road, low density residential and office uses along Kerrisdale Road to the east, including a 9-unit townhouse development adjacent to the public walkway, and commercial services along Bowen Road and Dufferin Crescent to the north. |

DISCUSSION

Proposed Zoning

The proposed complex care housing meets the definition of Personal Care Facility use in the City of Nanaimo “Zoning Bylaw 2011 No. 4500”. This use is permitted in a number of different zones and land use contexts throughout the city including residential and mixed use corridor zones, commercial and hospital centre zones, downtown zones, and the Community Service One (CS1) zone.

The subject property is zoned High Tech Industrial (I3) zone, which is intended for clean industrial uses and complementary commercial uses. The I3 zone allows for a transition in uses between light industrial, commercial, and residential neighbourhoods. As a result, the I3 zone allows a wide range of uses such as commercial school, light industry, manufacturing/contractors office, recreational facility, restaurant, social service resource centre, warehouse, and wholesale. Personal Care Facility use, however, is not permitted so the applicant is proposing to amend the I3 zone to add Personal Care Facility as a site-specific use for the subject property.

The applicant has provided a conceptual design demonstrating how the site would be developed within the allowable setbacks, lot coverage, and building height (14m) in the I3 zone. Density is not restricted in the I3 zone, however, the proposed development would achieve a density of approximately 0.73 FAR (Floor Area Ratio), which, for comparison, is less than the permitted FAR of 1.25 for Personal Care Facility use in the CS1 zone. No other amendments to the I3 zone are proposed.

Policy Context

The proposed rezoning is consistent with City Plan, including the specific policy areas highlighted below.

City Plan – Future Land Use

City Plan identifies the subject property in the Light Industrial future land use designation, which envisions buildings, generally up to three-storeys in height, with uses that support business, employment, and industry in locations near urban areas. These areas are intended to be compatible with adjacent Urban Centres, Corridors, and Neighbourhood designated lands. Policies C3.2.4 and D4.6.21 specifically reference allowing supportive housing in light industrial designations, where appropriate.

Amending the I3 zone to allow the proposed Personal Care Facility would facilitate a development that is complementary in form and scale to the surrounding urban context (e.g. three-storey townhouses to the east); provides a transition from light industrial uses to commercial and residential uses; and locates future residents within walking distance of services (e.g. grocery store, restaurants) and transit.

City Plan – Affordable Housing

City Plan (section 3.2) addresses the need for more supportive housing across the city. Policies C3.2.20 and C3.2.29 specifically support the development of housing options to re-house people experiencing, or at risk of experiencing, homelessness, and to increase permanent supportive housing in partnership with Island Health, BC Housing, and other service providers. The proposed zoning amendment would achieve these objectives.

City Plan – Mobility Network

The subject property is located near a bus frequent transit line (along Bowen Road) as identified in Figure 36 in City Plan. Additional transit service runs along Boxwood Road in front of the site. The property is also bordered on the east side by a public pedestrian trail with a staircase, which separates the site from the townhouses to the east and provides a linkage between Boxwood Road and the commercial lands and Bowen Road to the north. The proposed zoning amendment would support City Plan objectives to densify housing near frequent transit and active mobility routes.

Overall, the proposed zoning amendment is consistent with City Plan and will provide a needed form of housing in close proximity to amenities and services.

Community Consultation

The subject property is not located within the area of an active neighbourhood association; however, the applicant completed neighbourhood outreach including:

- BC Housing 'Let's Talk Housing' webpage published on 2025-FEB-28;
- Neighbourhood letter mailed to 241 properties within 200m of the site on 2025-FEB-28, with information about the proposed development and a link to BC Housing's website and contacts;
- Communication and invitation sent 2025-MAR-03 to 44 local businesses, agencies, schools, community service organizations, Snuneymuxw First Nation, Nanaimo Fire Rescue Station #2, BC Ambulance and the Greater Nanaimo Chamber of Commerce;
- Two small group information sessions held on 2025-APR-02;
- A community open house held on 2025-APR-03; and,
- Ongoing community relations inbox (one email received, in support).

A summary of BC Housing's community engagement initiatives and public input is attached to this staff report (Attachment H). In total, 285 neighbours and interest holders were contacted, 24 people attended an in-person engagement session, and the website was actively viewed. Participants shared a number of questions and comments regarding:

- Safety and security concerns;
- Potential impacts on surrounding properties and adjacent uses;
- Onsite operations and resident supports;
- Site maintenance and property management; and,
- Concern about opportunities for public consultation through rezoning.

The applicant has provided the following understanding in response to these comments and concerns:

- The proposal is for complex care project that will provide stable housing with onsite support services; it is not a shelter use;

- Crime Prevention through Environmental Design (CPTED) practices will be implemented in the design such as fenced grounds, single point of entry, fob access, 24/7 staffing, security cameras and lighting, as well as a point of contact to be shared with neighbours.

Through the application review, it was noted that the public staircase bordering the northeast corner of the subject property is presently open below which could facilitate encampment underneath. To mitigate this concern, the applicant has agreed to provide a voluntary in-kind contribution to complete off-site improvements to enclose and secure the underside of the public staircase. These improvements will be reviewed further at the time of detailed design with the submission of a building permit.

- Cleanliness and property maintenance will be addressed by BC Housing in partnership with the non-profit operator;
- In addition to the community engagement undertaken by BC Housing, the public would have the opportunity to speak to Council (e.g. public hearing), and BC Housing intends to keep the neighbourhood informed as the project proceeds.

Community Amenity Contribution

As per Council's *Community Amenity Contribution (CAC) Policy*, CACs can be waived for 100% of non-market rental dwelling units that meet the following criteria:

- i. the dwelling units is occupied by one or more individuals whose collective annual before tax income does not exceed the Housing Income Limit for the city;
- ii. where 12 months' collective rent for the dwelling unit does not exceed 30% of the occupants' collective before-tax annual income;
- iii. the dwelling unit is owned or operated by a non-profit housing partner or public institution; and,
- iv. a Section 483 Housing Agreement is registered on the property title to secure the commitments listed above for the applicable dwelling units.

It is expected that the personal care facility will meet the CAC waiver criteria; however, as discussed above, the applicant has agreed to provide a voluntary in-kind contribution of off-site improvements to enclose the underside of the adjacent public staircase, to be secured as a condition of rezoning.

Conditions of Rezoning

Should Council support the application and pass third reading of "Zoning Amendment Bylaw 2025 No. 4500.241", Staff recommend the following conditions of rezoning be provided:

1. *Community Amenity Contribution* - the property owner provide a voluntary in-kind contribution of off-site improvements to enclose/secure the underside of the adjacent public staircase prior to building occupancy.
2. *Housing Agreement* – Registration of a Section 219 covenant, prior to building permit issuance, with a Housing Agreement to secure non-market rental dwelling units, as per the City's CAC Policy, for all eligible units.]

SUMMARY POINTS

- The application is to rezone 1850 Boxwood Road from the High Tech Industrial (I3) zone to allow Personal Care Facility as a site-specific use at 1850 Boxwood Road to facilitate a proposed complex care housing development.
- Non-market rental dwelling units can have the Community Amenity Contribution waived if they meet the criteria. The applicant has proposed to provide a voluntary in-kind contribution of off-site improvements to enclose the underside of the adjacent public staircase.
- The proposed rezoning meets the intent of City Plan policies as the proposed Personal Care Facility would facilitate a development that is complementary in form and scale to the surrounding urban context. The project also meets the intent of City Plan for addressing affordable housing across the city.

ATTACHMENTS

ATTACHMENT A: Subject Property Map
ATTACHMENT B: Existing Site and Background Photos
ATTACHMENT C: Conceptual Building Perspectives
ATTACHMENT D: Site and Parking Plans
ATTACHMENT E: Building Elevations and Details
ATTACHMENT F: Building Renderings
ATTACHMENT G: Landscape Plans and Details
ATTACHMENT H: Community Engagement Summary Report
"Zoning Amendment Bylaw 2025 No. 4500.241 |

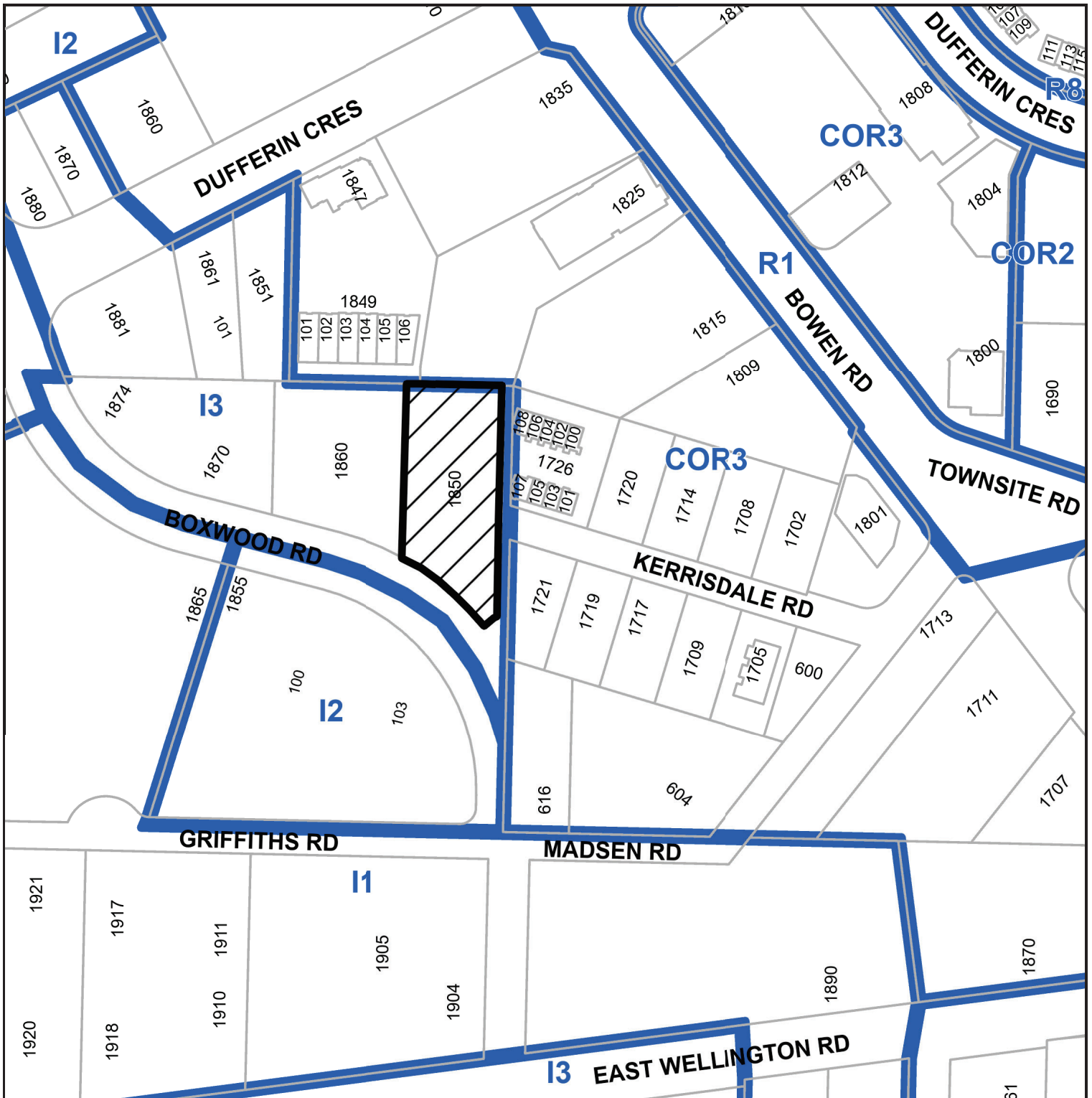
Submitted by:

Lainya Rowett
Manager, Current Planning |

Concurrence by:

Jeremy Holm
Director, Planning & Development |

ATTACHMENT A SUBJECT PROPERTY MAP



 1850 BOXWOOD ROAD

ATTACHMENT B EXISTING SITE AND BACKGROUND PHOTOS

Existing Site and Background Photographs



Existing Public Staircase and Walkway



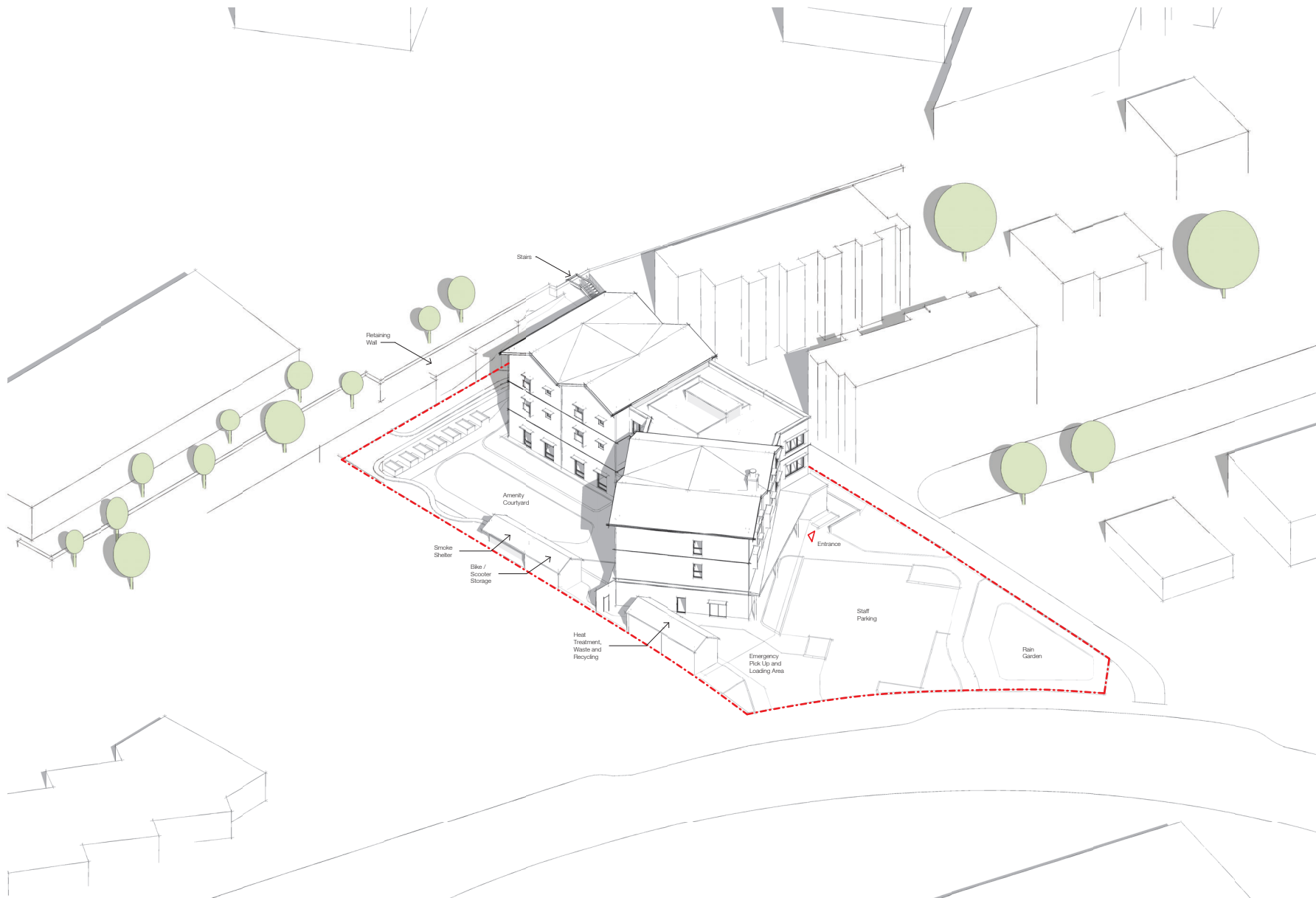
Existing Site and Background Photographs

Existing Public Staircase and Walkway



ATTACHMENT C

CONCEPTUAL BUILDING PERSPECTIVES



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Release	Date
Issued to Consultants for SD Coordination	05 Nov 2024
Issued to Consultants for SD 100%	20 Nov 2024
Final SD Submission	20 Nov 2024
Issued for Draft Review Report	07 Jan 2025
Draft RCD/DP/PS and Consultant SD Coordination	08 Feb 2025

Key

--- Property Line

RECEIVED
RA522
2025-FEB-27
 Current Planning

Rev	Description	Date
DP	Issued for Planning and Development Permit	14 Feb 2025

Ryder

Ryder Architecture (Canada) Inc.
 2350-1075 West Georgia Street
 Vancouver BC V6E 3C9
www.ryderarchitecture.ca
info@ryderarchitecture.ca



Project
**BC Housing and Island Health
 Complex Care Housing**
 1850 Boxwood Road, Nanaimo

Drawn by	Checked by	Status
ABL	AJA	DP
Project ID:	Project No:	Scale: 1/20/24
BOHNAV-NN	11589-00	1:100

Drawing
**Axonometric View -
 Looking Northeast**

Drawing No:

A910



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Reference	Date
Issued for Information	15 Oct 2024
Issued to Consultants for SD Coordination	05 Nov 2024
Final SD Submission	20 Nov 2024
Issued for Draft Rezoning Report	07 Jan 2025
Draft RZOP Plan and Consultant SD Coordination	08 Feb 2025

Key

--- Property Line

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RA522
2025-FEB-27
Current Planning

Rev	Description	Date
DP	Issued for Rezoning and Development Permit	14 Feb 2025

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Ryder Architecture (Canada) Inc.
2350-1075 West Georgia Street
Vancouver BC V6E 3C9

www.ryderarchitecture.ca
info@ryderarchitecture.ca



Project
**BC Housing and Island Health
Complex Care Housing**
1850 Boxwood Road, Nanaimo

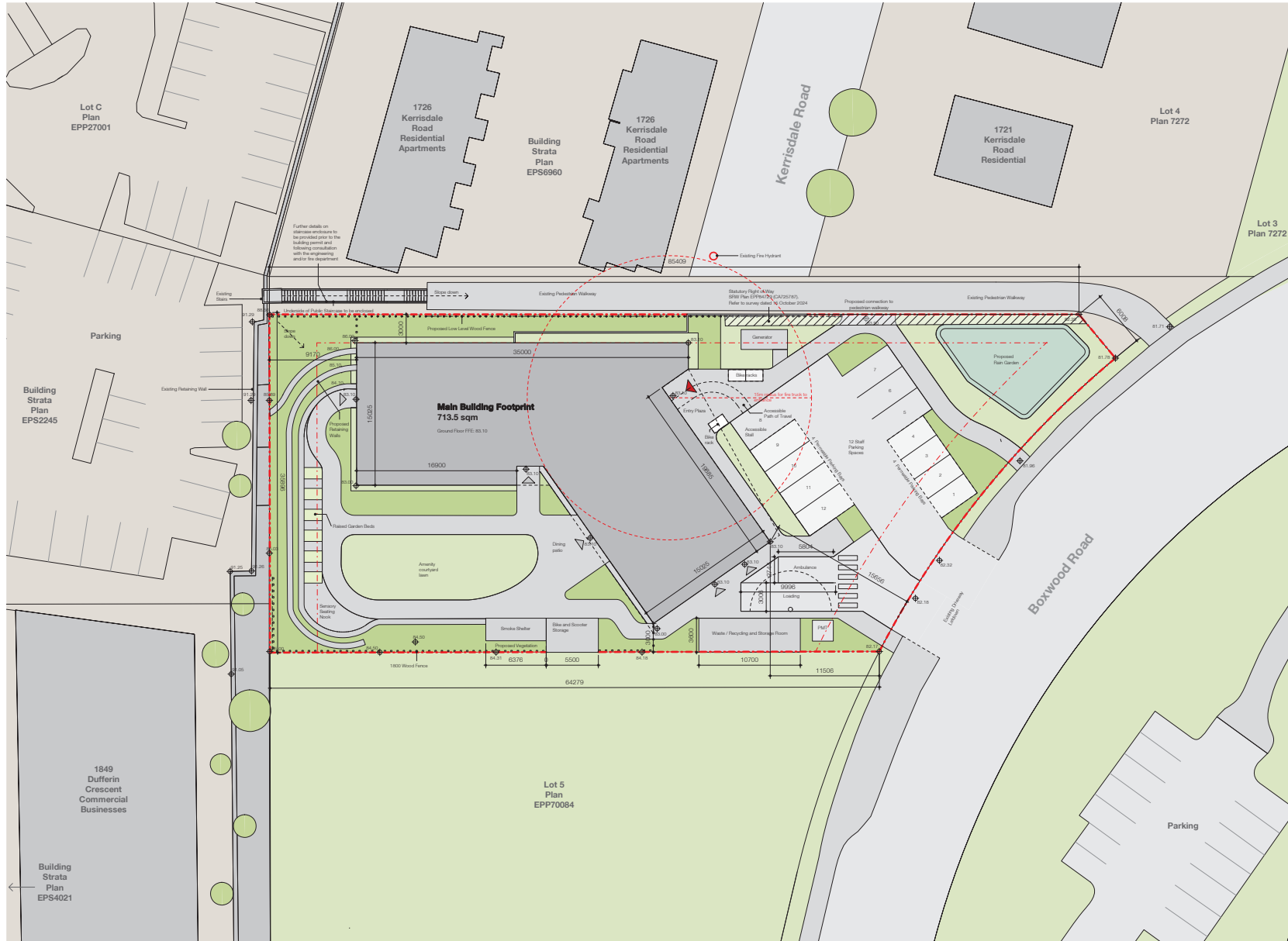
Drawn by	Checked by	Status
ABL	AJA	DP
Project ID:	Project No:	Scale: W 25/04
BOHNAV-NN	11589-00	1 : 100

Drawing
**Axonometric View -
Looking Southeast**

Drawing No:

A911

SITE AND PARKING PLANS



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Key

— • — Property Line

- - - Zoning Setback

Site plan is derived from the survey produced by Polaris Land Surveying Inc., dated 15 October 2024.

For damage information, please refer to civil drawings provided by Aplin Martin.

For landscape information, including proposed trees and vegetation please refer to landscape drawings provided by MDI Design.

Building Type	Area
Main Building	713.50 m ²
Smoke Shelter	16.84 m ²
Biek and Scooter Storage	19.68 m ²
Waste / Recycling and Storage	38.32 m ²
Building Footprint Area	788.34 m²

Lot Coverage	
Building Footprint	788.34 m ²
	÷
Site Area	2581.14 m ²
	= 0.31
	(x100)
	31%

RECEIVED
DP1379
2025-JUN-05
Current Planning

Rev	Description	Date
08	Issued for Flazoring and DP	14 Feb 2025
09	CD Submission	14 Mar 2025
10	Reissued for Flazoring and DP	07 Apr 2025
11	Issued to Civil for Coordination	16 May 2025
12	50% CD and DAP Response	04 Jun 2025

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Ryder Architecture (Canada) Inc.
2350-1075 West Georgia Street
Vancouver BC V6E 3C9
www.ryderarchitecture.ca
info@ryderarchitecture.ca



Project
BC Housing and Island Health
Complex Care Housing
1850 Boxwood Road, Nanaimo

Drawn by ABL	Checked by AJA	Status DP
Project ID. BCHNAV-NN	Project No. 11589-00	Scale @ 22x34 As indicated

Site Plan

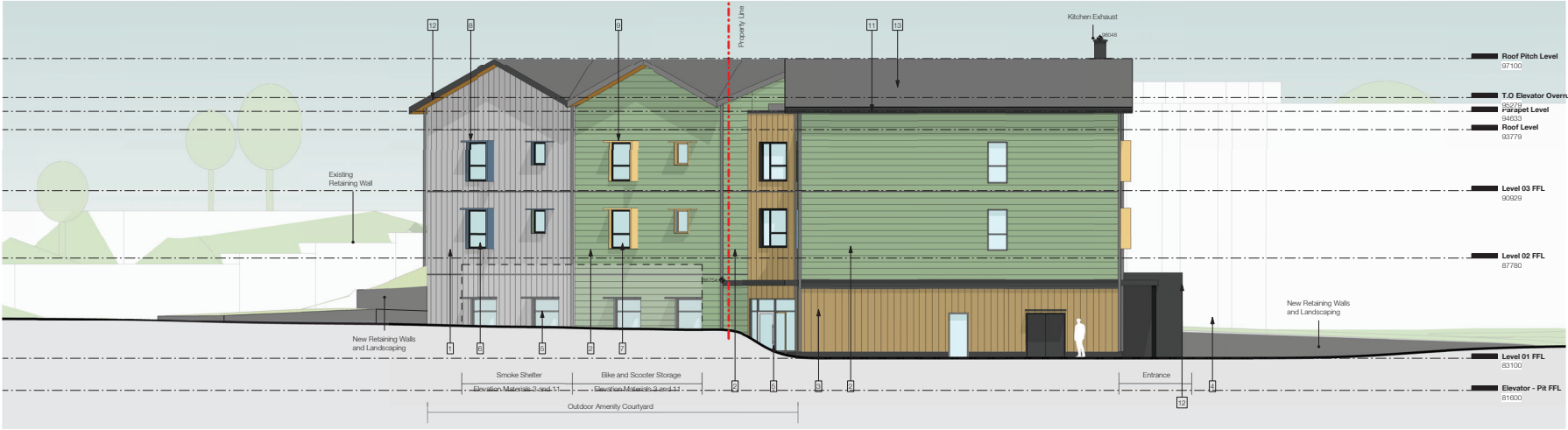
Drawing No.

A010

ATTACHMENT E
BUILDING ELEVATIONS AND DETAILS

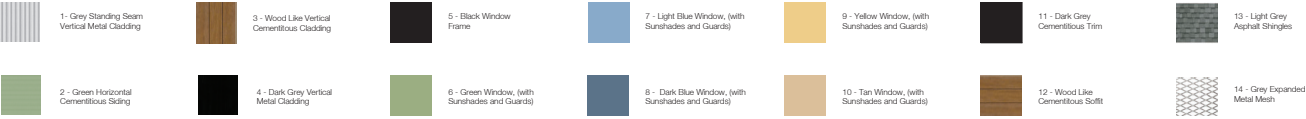


Elevation 1
1:100

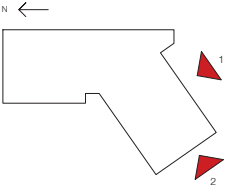


Elevation 2
1:100

Material Selection



Key Plan



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Revision	Date
SD Submission	29 Nov 2024
Issued for Draft Review Report	07 Jan 2025
Draft BCOP Plan and Consultant CD Coordination	02 Feb 2025

RECEIVED
D1379
2025-JUN-05
CITY OF VANCOUVER

Rev	Description	Date
04	Issued for Planning and DP	14 Feb 2025
05	DD Submission	14 Mar 2025
06	Updated for DP Amendment Review	28 Mar 2025
07	Released for Planning and DP	07 Apr 2025
08	SDS, CD and DP Packages	04 Jun 2025

Ryder
Ryder Architecture (Canada) Inc.
2350-1075 West Georgia Street
Vancouver BC V6E 3C9
www.ryderarchitecture.ca
info@ryderarchitecture.ca

Project
BC Housing and Island Health
Complex Care Housing
1850 Bowwood Road, Nanaimo

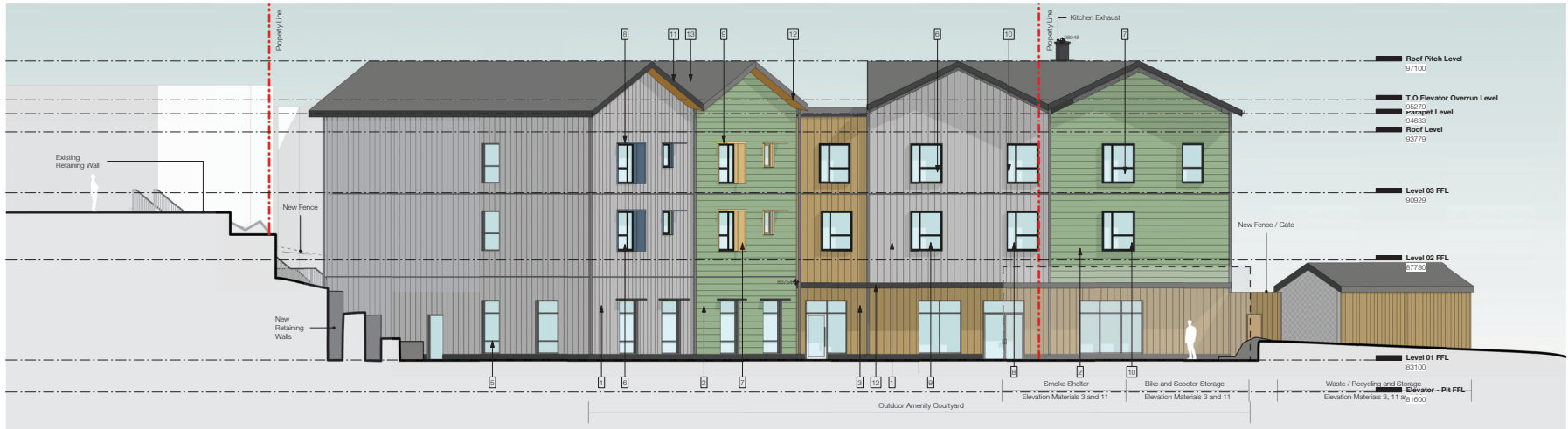
Drawn by	Checked by	Status
ABL	AJA	DP

Project ID: BCHA-VN-11589-00
Scale: 1/2000
As Indicated

Elevations - Front Facing

Drawing No.

A300



1 Elevation 3
11/100

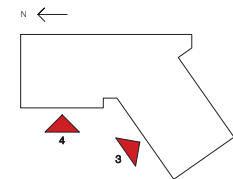


2 Elevation 4
11/100

Material Selection



Key Plan



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Revision	Date
SD Submission	29 Nov 2024
Issued for Draft Reviewing Report	07 Jan 2025
Draft SCOP Plan and Consultant CD Coordination	07 Feb 2025

RECEIVED
DP1379
2025-JUN-05
Current Planning

Rev	Description	Date
04	Issued for Planning and DP	14 Feb 2025
05	CD Submission	14 Mar 2025
06	Updated for DP Amendment Review	20 Mar 2025
07	Released for Planning and DP	07 Apr 2025
08	SDS, CD and DP Packages	04 Jun 2025

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Ryder Architecture (Canada) Inc.
2350-1075 West Georgia Street
Vancouver BC V6E 3C9

www.ryderarchitecture.ca
info@ryderarchitecture.ca

Project
BC Housing and Island Health
Complex Care Housing
1850 Bowwood Road, Nanaimo

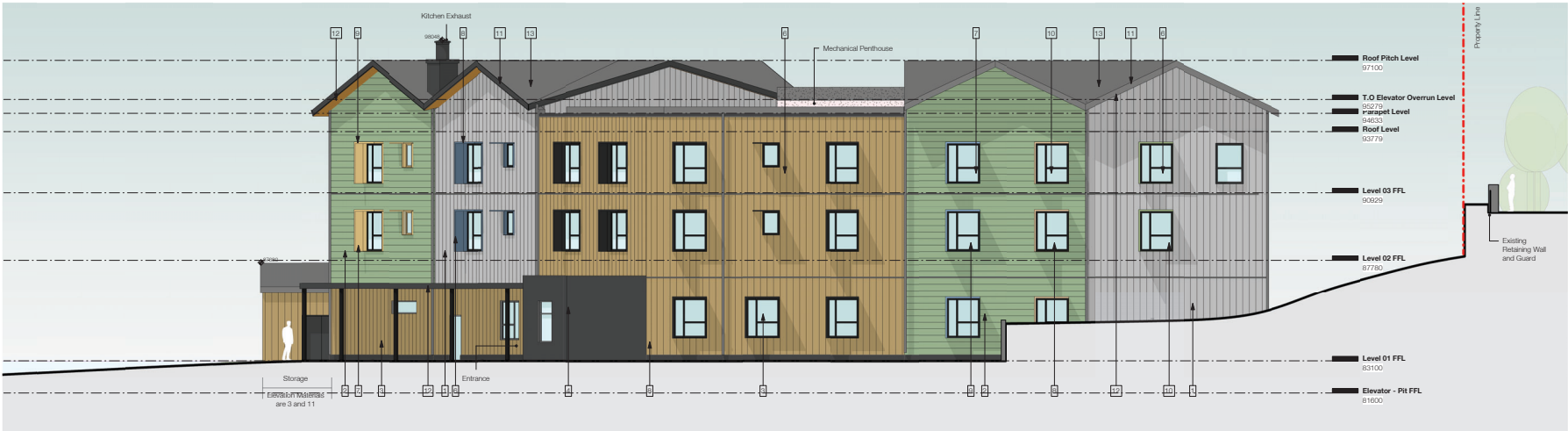
Drawn by	Checked by	Status
ABL	AJA	DP
Project ID:	Project No:	Scale: B 250x1
BOHNAV-NN	11589-00	As Indicated

Drawing
Elevations - Courtyard Facing

Drawing No:

A301

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1 Elevation 5
11/100

Revision	Date
SD Submission	29 Nov 2024
Issued for Draft Reviewing Report	07 Jan 2025
Draft SCOP Plan and Consultant CD	02 Feb 2025



2 Elevation 6
11/100

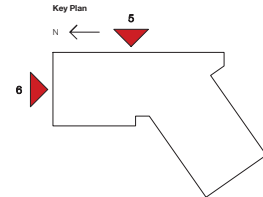
RECEIVED
DP1379
2025-JUN-05
Current Planning

Rev	Description	Date
04	Issued for Planning and DP	14 Feb 2025
05	DD Submission	14 Mar 2025
06	Updated for DP Amendment Review	20 Mar 2025
07	Released for Planning and DP	07 Apr 2025
08	SD, CD and DP Packages	04 Jun 2025

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Ryder Architecture (Canada) Inc.
2350-1075 West Georgia Street
Vancouver BC V6E 3C9
www.ryderarchitecture.ca
info@ryderarchitecture.ca

Material Selection

1 - Grey Standing Seam Vertical Metal Cladding	3 - Wood Like Vertical Cementitious Cladding	5 - Black Window Frame	7 - Light Blue Window, (with Sunshades and Guards)	9 - Yellow Window, (with Sunshades and Guards)	11 - Dark Grey Cementitious Trim	13 - Light Grey Asphalt Shingles
2 - Green Horizontal Cementitious Siding	4 - Dark Grey Vertical Metal Cladding	6 - Green Window, (with Sunshades and Guards)	8 - Dark Blue Window, (with Sunshades and Guards)	10 - Tan Window, (with Sunshades and Guards)	12 - Wood Like Cementitious Soffit	14 - Grey Expanded Metal Mesh



Project
BC Housing and Island Health
Complex Care Housing
1850 Bowwood Road, Nanaimo

Drawn by	Checked by	Status
ABL	AJA	DP

Project ID: BOHNAV-NN
Project No: 11569-00
Scale: 1/200
Drawing: Elevations - Rear and Side Facing

Drawing No:

A302

ATTACHMENT F
BUILDING RENDERINGS

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Revisions	Date
Draft R20P Pick and Consultant CD Coordination	08 Feb. 2025

RECEIVED
DP1379
2025-JUN-06
Current Planning

Rev	Description	Date
02	Issued for Planning and DP	14 Feb. 2025
03	CD Submission	14 Mar 2025
04	Revised for Planning and DP	07 Apr 2025
05	Updated for DAP Response	08 Jun 2025

Ryder
Ryder Architecture (Canada) Inc.
2350-1075 West Georgia Street
Vancouver BC V6E 3C9
www.ryderarchitecture.ca
info@ryderarchitecture.ca

Project
BC Housing and Island Health
Complex Care Housing
1850 Boxwood Road, Nanaimo

Drawn by	Checked by	Status
ABL	KTA	DP
Project ID:	Project No:	Scale: W 25x34
BOHNAV-NN	11589-00	1:1

Drawing
Renderings

Drawing No:

A920



Front Entrance View

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Reference Date



Front View from Boxwood Road

RECEIVED
DP1379
2025-JUN-06
Current Planning

Rev	Description	Date
01	Issued for Planning and DP	14 Feb 2025
02	DC Submission	14 Mar 2025
03	Revised for Planning and DP	07 Apr 2025
04	Updated for DP Response	06 Jun 2025

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Ryder Architecture (Canada) Inc.
2350-1075 West Georgia Street
Vancouver BC V6E 3C9
www.ryderarchitecture.ca
info@ryderarchitecture.ca

Project
BC Housing and Island Health
Complex Care Housing
1650 Boxwood Road, Nanaimo

Drawn by	Checked by	Status
ABL	KTA	DP
Project ID:	Project No:	Scale: W 25x34
BOHNAV-NN	11569-00	1:1

Drawing
Renderings

Drawing No:

A921

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View from Pedestrian Pathway

Revisions	Date
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RECEIVED
DP1379
2025-JUN-06
Current Planning

Rev	Description	Date
01	Issued for Planning and DP	14 Feb 2025
02	DC Submission	14 Mar 2025
03	Revised for Planning and DP	07 Apr 2025
04	Updated for DMP Response	06 Jun 2025

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Drawn by	Checked by	Status
ABL	KTA	DP
Project ID:	Project No:	Scale: W 25x34
BOHNAV-NN	11569-00	1:1

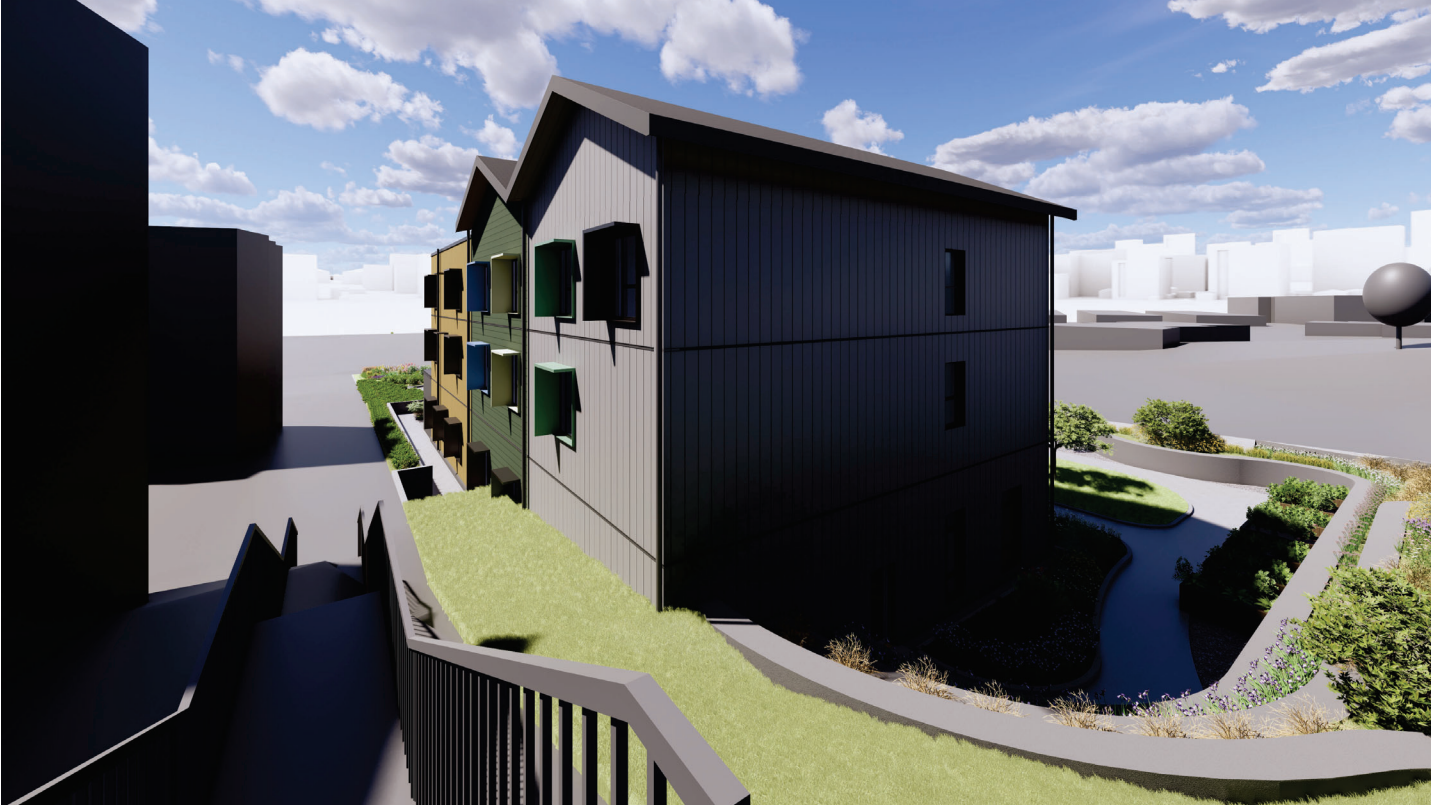
Drawings
Renderings

Drawing No:

A922

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Reference Date



View from Retaining Wall Pedestrian Stairway

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DP1379
2025-JUN-06
Current Planning

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01	Issued for Planning and DP	14 Feb 2025
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Vancouver BC V6E 3C9
www.ryderarchitecture.ca
info@ryderarchitecture.ca

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Complex Care Housing
1850 Boxwood Road, Nanaimo

Drawn by	Checked by	Status
ABL	KTA	DP
Project ID:	Project No:	Scale: W 25x34
BOHNAV-NN	11889-00	1:1

Drawings

Drawing No:

A923

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Courtyard View

Reference	Date
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RECEIVED
DP1379
2025-JUN-06
Current Planning

Rev	Description	Date
01	Issued for Planning and DP	14 Feb 2025
02	DC Submission	14 Mar 2025
03	Revised for Planning and DP	07 Apr 2025
04	Updated for DMP Response	06 Jun 2025

Ryder
Ryder Architecture (Canada) Inc.
2350-1075 West Georgia Street
Vancouver BC V6E 3C9
www.ryderarchitecture.ca
info@ryderarchitecture.ca

Project
BC Housing and Island Health
Complex Care Housing
1650 Boxwood Road, Nanaimo

Drawn by	Checked by	Status
ABL	KTA	DP
Project ID:	Project No:	Scale: W 25x34
BOHNAV-NN	11569-00	1:1

Drawing
Renderings

Drawing No:

A924

ATTACHMENT G

LANDSCAPE PLANS AND DETAILS

BC Housing / Island Health

BCH Complex Care - Nanaimo

Nanaimo, Province

Landscape Sheets	
Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information Sheet
L1.01	Landscape Materials: West
L1.02	Landscape Materials: East
L2.01	Landscape Grading & Drainage: West
L2.02	Landscape Grading & Drainage: East
L3.01	Planting: West
L3.02	Planting: East
L4.01	Landscape Details: Hardscape
L4.02	Landscape Details: Planting on Grade
L4.03	Landscape Details: Rain Garden
L4.04	Landscape Details: Structures
L5.01	Landscape Section - Elevation
L5.02	Landscape Section - Elevation

KEY PLAN



RECEIVED
DP1379
2025-JUN-05
Current Planning

No.	Issued For	Issue Date
7	50% DD	2025-06-04
6	DAP	2025-06-04
5	DP Amendment	2025-04-03
4	DD Rev.	2025-03-14
3	DD	2025-02-24
2	DP	2025-02-13
1	SD Report	2024-11-28



client
BCH / IH

project
BCH Complex Care - Nanaimo
1850 Boxwood Road
Nanaimo, BC

sheet title
Cover

project no. 124.13
scale 1:150 @ 24"x36"
drawn by MDI
checked by TB
sheet no.

L0.00

GENERAL NOTES

1. Work performed shall comply with the following: a) These General Notes, and Construction Documents and Specifications; b) Canadian Landscape Standards, Current Edition (CLS-CE); and c) All applicable local, provincial, and federal codes, ordinances, and regulations.
2. Contractor shall be responsible for verifying all existing site conditions including location of all property lines, existing structures, utilities, and buried infrastructure. Verify all field conditions prior to commencing work.
3. Contractor is responsible for determining means and methods for construction. These drawings may indicate a limit of proposed improvements or limit of work for the delineation of expected extents of disturbance. Should limits of disturbance exceed boundaries defined in drawings, contractor shall contact Landscape Architect for resolution.
4. Contractor is responsible for repairing all work disturbed by construction outside of limit lines defined on drawings or through their means and methods to a condition better than or equal to the existing conditions prior to commencement of construction at no additional cost to the owner.
5. Contractor is responsible for maintaining all drawings, specifications and drawings and specifications at the construction site and ensuring the documents are readily available for review by the Landscape Architect and governing agency.
6. Contractor is responsible for coordination of all designs, drawings, specifications and other documents or publications upon which construction is based. Any discrepancies with the drawings and/or specifications and site conditions shall be brought to the attention of the Landscape Architect, prior to proceeding with construction.
7. The drawings and specifications are complementary to one another and implied to correspond with one another. Any discrepancies should be brought to the attention of the Landscape Architect for resolution immediately.
8. General Contractor and/or sub-contractors are responsible for all costs related to production and submission to consultant of all landscape as-built information including irrigation.

TREE RETENTION AND REMOVAL NOTES

1. Tree protection fencing, for existing trees, to be installed prior to commencement of all site work. Refer to Arborist's plans for location of tree protection fencing, and protection fencing detail.
2. Refer to arborist's report for detailed information for existing tree resources.

SITE GRADING AND DRAINAGE NOTES

1. All elevations are in metres.
2. Refer to Architectural plans, sections and elevations for top of slab elevations. Slab elevations indicated on Landscape drawings are for reference only. Report any discrepancies to consultant for review and response.
3. All road, public walkway and vehicular drive aisles and parking area elevations indicated on the Landscape drawings are for reference only. Refer to Civil Engineering drawings. Report any discrepancies to consultant for review and response.
4. Confirm all existing grades prior to construction. Report any discrepancies to consultant for review and response.
5. Unless otherwise noted provide a minimum slope of 2% on all hard and soft Landscape areas to ensure positive drainage away from buildings, to rain gardens, or to drainage devices.
6. All landscape areas shall not exceed a maximum slope of 3:1 in all instances.
7. Upon discovery, contractor to refrain from blasting rock to meet landscape standards. Contractor to contact Landscape Architect on how to proceed in each instance.

IRRIGATION NOTES

1. Contractor to provide irrigation system for all planters to current IABC Standards and Contract Specifications.
2. All specified work to meet the project specifications, and all standards or specifications established in the latest edition of the Canadian Landscape Standard and IABC standards.
3. Design/build drawings for detailed irrigation plan to be submitted to Contract Administrator in PDF and .dwg formats at least two weeks prior to commencement of irrigation installation.
4. Utilities - Contractor to verify location of all on-site utilities, prior to construction. Restoration of damaged utilities shall be made at the contractor's expense, to the satisfaction of the owner's representatives.
5. Refer to electrical drawings for electrical service.
6. Controller and backflow prevention device to be located in Mechanical Room, unless otherwise noted. Refer to Mechanical drawings for size and location of irrigation service.
7. Contractor to verify pressure and flow prior to installation of irrigation and notify owner's representative in writing if such data adversely affects the operation of the system.
8. Sleeves shall be installed at the necessary depths, prior to pavement construction. Sleeving shall extend 300 mm from edge of paving into planting area, and shall have ends marked above grade unless otherwise shown.
9. Contractor to field fit irrigation system around existing trees, to limit disturbance to root systems.
10. At various milestones during construction, inspection and testing of components will be required to ensure that the performance of irrigation system meets standards and specifications. Contractor to provide equipment and personnel necessary for performance of inspections and tests. Conduct all inspections and tests in the presence of the contract administrator. Keep work uncovered and accessible until successful completion of inspection or test.
11. Over spray onto hardscape areas to be minimized. Use drip irrigation within small planting areas to avoid overspray.
12. Trees within shrub or rain garden areas to be irrigated with spray heads.
13. Trees in Plaza in hard pavement (soil cells below) to receive temporary irrigation system around root collar and permanent drip irrigation system

GROWING MEDIUM NOTES

1. Refer to Landscape Specifications for growing medium properties by soil type.
2. Advise Contract Administrator of sources of growing medium to be utilized 14 days in advance of starting work.
3. Growing medium properties and handling shall meet CLS-CE (see Section 6 CLS-CE).
4. Contractor is responsible for soil analysis and amendment requirements to supply suitable growing medium, as specified by testing agency. Soil analysis and amendment costs shall be included in the price for the work.
5. Submit to the Landscape Architect a copy of the soil analysis report from Pacific Soil Analysis Inc. 5-11720 Voyageur Way, Richmond, BC, V6X 3G9, p. 604-273-8226. The analysis shall be of tests done on the proposed growing medium from stratified samples taken from the supply source. Costs of the initial and all subsequent tests to ensure compliance with the specifications shall be borne by the Contractor.
6. Contract Administrator will collect sample of growing medium in place and determine acceptance of material, depth of growing medium and finish grading. Approval of growing medium material subject to soil testing and analysis. Planting is not to occur until finished grades have been approved by Contract Administrator.

SITE LAYOUT NOTES

1. Provide layout of all work for approval by Contract Administrator prior to proceeding with work. Requests for site review as required 48 hours in advance of performing any work, unless otherwise noted on this sheet.
2. Layout and verify dimensions prior to construction. Bring discrepancies to the attention of the Contract Administrator.
3. Written dimensions take precedence over scale. Do not scale drawings.
4. All plan dimensions in metres and all detail dimensions in millimetres, unless otherwise noted.
5. Where dimensions are called as 'equal' or 'eq', space referenced items equally, measured to centre line.

GENERAL PLANTING NOTES

1. Plant quantities on Plans shall take precedence over plant list quantities.
2. Provide layout of all work for approval by Contract Administrator prior to proceeding with work.
3. Plant material, installation and maintenance to conform to the current edition of the Canadian Landscape Standard.
4. Plant quantities and species may change between issuance of DP and Construction due to plant availability and design changes. Substitutions to be approved by Landscape Architect.

ON-SLAB TREE PLANTING NOTES

1. For on-slab landscape, a root barrier will be installed to protect exposed water proof membranes. A dimple board (drain mat) will be installed over the root barrier.
2. Parkade walls and foundation walls will be protected with a dimple board (drain mat) to convey water to the perimeter drain and protect wall from roots.
3. A root barrier will be installed between the tree roots and perimeter drain, to minimize tree root interference with the drain, where the follow conditions exist in on-grade planting areas: a) where trees less than 8m tall are located closer than 2m from a parkade or foundation wall; b) where trees more than 8m tall are located closer than 3m from a parkade or foundation wall; and c) where perimeter drains are less than 2m deep.

PAVING NOTES

1. Final concrete control joint layout to be confirmed by Landscape Architect prior to installation. Control joints to logically align with edges, corners, and intersections of Landscape and Architectural elements and/or as indicated on plan. Contractor to obtain layout approval by Landscape Architect prior to installation. Contractor to pour concrete pavement in alternating panels as required to achieve control joint design and to prevent cracking.
2. Cast in place concrete areas that are subject to vehicular loading shall be structurally reinforced for applicable vehicular loading requirements. See Structural Engineering drawings.

WARRANTY AND MAINTENANCE NOTES

1. Contractor is responsible for Maintenance from installation to Acceptance of the work by the Contract Administrator.
2. Refer to Landscape Specifications for Maintenance Period following Acceptance.
3. Landscape installation to carry a 1-year warranty from date of acceptance. This warranty is based on adequate maintenance by the Owner after Acceptance, as determined by the Landscape Architect. The Contractor will not be responsible for plant loss or damage to other products by causes out of the Contractor's control, such as vandalism, "acts of God", "excessive wear and tear", or abuse.
4. Contractor is responsible for plant damage, failure and death due to poor delivery, storage and handling, and all other installation related aspects up until the End of Warranty period.
5. Plant material, installation and maintenance to conform with the current edition of the Canadian Landscape Standards, and the Contract Specifications

LIST OF ABBREVIATIONS

APPROX	APPROXIMATE	M	METRE
ARCH	ARCHITECT	MAX	MAXIMUM
AVG	AVERAGE	MFR	MANUFACTURER
BS	BALLED AND BURLAPPED	MH	MANHOLE
BC	BOTTOM OF CURB	MM	MILLIMETRE
BUILDG	BUILDING	MISC	MISCELLANEOUS
BM	BENCHMARK	MM	MILLIMETRE
BC	BOTTOM OF CURB	N	NORTH
BR	BOTTOM OF RAMP	NC	NOT IN CONTRACT
BS	BOTTOM OF STEP	NO	NUMBER
BW	BOTTOM OF WALL	NOM	NOMINAL
CAL	CALIPER	NIS	NOT TO SCALE
CATCH BASIN	CATCH BASIN	OC	ON CENTER
CF	CUBIC FEET	OD	OUTSIDE DIAMETER
CAST IN PLACE	CAST IN PLACE	PC	POINT OF CURVATURE
CL	CENTER LINE	PE	POLYURETHANE
CLR	CLEARANCE	PI	POINT OF INTERSECTION
CM	CENTIMETER	PL	PROPERTY LINE
CO	CONTINUOUS	PT	POINT OF TANGENCY
CONT	CUBIC METRE	PVC	POLYVINYL CHLORIDE
CUM	DEGREE	QTY	QUANTITY
DEM	DEMOLITION	R	RADIUS
DIA	DIAMETER	REF	REFERENCE
DM	DIMENSION	REIN	REINFORCED
DTL	DETAIL	REQD	REQUIRED
DWG	DRAWING	REV	REVISION
E	EAST	ROW	RIGHT OF WAY
EL	ELEVATION	S	SOUTH
ENG	ENGINEER	SAN	SANITARY
EQ	EQUAL	SD	STORM DRAIN
EST	ESTIMATE	SF	SQUARE FOOT (FEET)
EXIST	EXISTING	SHT	SHEET
EXP	EXPANSION	SIM	SIMILAR
FFE	FINISHED FLOOR ELEVATION	SHT	SHEET
FG	FINISHED GRADE	SHT	SHEET
FL	FLOW LINE	STA	STATION
FOC	FACE OF CURB	STD	STANDARD
FT	FOOT (FEET)	SYM	SYMMETRICAL
FTG	FOOTING	T&B	TOP AND BOTTOM
GA	GAUGE	T&B	TOP AND BOTTOM
GEN	GENERAL	TF	TOP OF FOOTING
GR	GRADE ELEVATION	TH	THICK
HORIZ	HORIZONTAL	TOPO	TOPOGRAPHY
HP	HIGH POINT	TR	TOP OF RAMP
HT	HEIGHT	TS	TOP OF STEP
ID	INSIDE DIAMETER	TW	TOP OF WALL
INV	INVERT ELEVATION	TYP	TYPICAL
N	INCHES	VAR	VARIABLE
NCL	NOT INCLUDED	VOL	VOLUME
LF	LINEAR FEET	W	WIDTH
LP	LOW POINT	W/O	WITHOUT
		WT	WEIGHT
		WL	WATER LEVEL
		WWF	WELDED WIRE FRAME
		YO	YARD
		@	AT

LINE TYPE LEGEND

---	Property line
---	Building Footprint
---	Rain garden - TOP OF POOL
---	Rain garden - BOTTOM OF POOL

LANDSCAPE INFRASTRUCTURE LEGEND

---	Perforated Underdrain
---	Irrigation Sleeving
C/O	Clean Out
L-AD	Landscape Area Drain 8" Square Drain with ADA Steel Lockable Grate.
X 30/15	Existing Grades

UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings.)

EXISTING	PROPOSED
---	Storm Drain
---	Water
---	Electrical
---	Gas
---	Hydro Tel

MATERIALS LEGEND			
	Asphalt Paving - Road / Drive Aisle / Parking (for reference only)	Refer to Civil, Structural	
HARDSCAPE SURFACES		DETAIL	SPEC NO.
	Concrete Paving Cast in place, light broom finish. Sawcut control joints.	1-4-L.01	
	Aggregate Pathway	3-4-L.01	
	Permeable Pavers with Concrete Band Manufacturer: Belgard Product: Aquaflex Permeable Vehicular	4-4-L.01	
STEPS, RAMPS, CURBS, WALLS		DETAIL	SPEC NO.
	Retaining Wall - Concrete		
	Boulder Wall Max 1.2m height	5-4-L.01	
	Landscape Boulder 1800mm diameter maximum, no sharp edges. Key 1/3 of base into grade.	6-4-L.01	
SOFTSCAPE		DETAIL	SPEC NO.
	Planting Area - Tree & Shrub - On Grade -450mm Depth Shrub Growing Medium.	32 93 10 32 91 19.13	
	Planting Area - Rain Garden - On Grade -450mm Depth Rain Garden Growing Medium.	32 93 10	
	Turf - Sod - At Tree Pits 600mm Depth -Type 2L.	32 91 19.13	
	Turf - Sod -150mm Depth -Type 2L.	4-4-L.02	
	Gravel Maintenance Edge -150mm Depth, 600 mm Width Max gravel size 25mm (1")	2-4-L.01	
FENCING & RAILS		DETAIL	SPEC NO.
	Fence - Wood 1800mm height	1-4-L.04	
	Fence - Wood 1200mm height	3-4-L.04	
	Gate With access control.		
SITE FURNISHINGS		DETAIL	SPEC NO.
	Lounge Chair	32 33 00	
	Movable Table and Chairs	32 33 00	
	Butt Receptacle	32 33 00	
	Bench	32 33 00	
	Bike Rack	32 33 00	



MDI LANDSCAPE ARCHITECTS
2188A Vancouver Ave
Vancouver, BC V6L 2H4
P: (604) 273-8226
E: info@mdi-landscape.com

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DP1379
2025-JUN-05
Current Planning

7	50% DD	2025-06-04
6	DAP	2025-06-04
5	DP Amendment	2025-03-03
4	DD Rev.	2025-03-14
3	DD	2025-02-24
2	DP	2025-02-13
1	SD Report	2024-11-28
No.	Issued For	Issue Date



client
BCH / IH

project
BCH Complex Care - Nanaimo
1850 Boxwood Road
Nanaimo, BC

sheet title
General Information Sheet

project no. 124.13
scale 1:### @ 24"x36"
drawn by MDI
checked by TB
sheet no.

L0.01

ALL DRAWINGS TO BE READ IN ASSOCIATION WITH CONTRACT SPECIFICATIONS.



MATERIALS LEGEND		Refer to Civil, Structural
	Asphalt Paving - Road / Drive Aisle / Parking (for reference only)	
HARDSCAPE SURFACES		DETAIL SPEC NO.
	Concrete Paving Cast in place, light broom finish. Sawcut control joints.	1-L4.01
	Aggregate Pathway	3-L4.01
	Permeable Pavers with Concrete Band Manufacturer: Belgard Product: Aquiline Permeable Vehicular	4-L4.01
STEPS, RAMPS, CURBS, WALLS		DETAIL SPEC NO.
	Retaining Wall - Concrete	
	Boulder Wall Max 1.2m height	5-L4.01
	Landscape Boulder 600mm diameter maximum, no sharp edges. Key 1/3 of base into grade.	6-L4.01
SOFTSCAPE		DETAIL SPEC NO.
	Planting Area - Tree & Shrub - On Grade 450mm Depth Shrub Growing Medium.	32 93 10 32 91 19 13
	Planting Area - Rain Garden - On Grade 450mm Depth Rain Garden Growing Medium.	32 93 10
	Turf - Sod - At Tree Pits 400mm Depth Type 2L	32 91 19 13
	Turf - Sod 100mm Depth Type 2L	4-L4.02 32 91 19 13
	Gravel Maintenance Edge 150mm Depth, 600 mm Width Max gravel size 25mm (1")	2-L4.01
FENCING & RAILS		DETAIL SPEC NO.
	Fence - Wood 1800mm height	1-L4.04
	Fence - Wood 1200mm height	3-L4.04
	Gate With access control.	
SITE FURNISHINGS		DETAIL SPEC NO.
	Lounge Chair	32 33 00
	Moveable Table and Chairs	32 33 00
	Butt Receptacle	32 33 00
	Bench	32 33 00
	Bike Rack	32 33 00

LINE TYPE LEGEND	
	Property line
	Building Footprint
	Rain garden - TOP OF POOL
	Rain garden - BOTTOM OF POOL



MDI LANDSCAPE ARCHITECTS
2188A Tecumseh Ave
Victoria, BC V8T 2P6
P: 250.612.0891
E: info@mdilandscape.ca

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client
BCH / IH

project
BCH Complex Care - Nanaimo
1850 Boxwood Road
Nanaimo, BC

sheet title
Landscape
Materials: West

project no. 124.13
scale 1: 100 @ 24"x36"
drawn by MDI
checked by TB
sheet no.

L1.01



MATERIALS LEGEND		Refer to Civil, Structural (for reference only)
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	Concrete Paving Cast in place, light broom finish, Sawcut control joints.	1-L4.01
	Aggregate Pathway	3-L4.01
	Permeable Pavers with Concrete Band Manufacturer: Belgard Product: Aquiline Permeable Vehicular	4-L4.01
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	Boulder Wall Max 1.2m height	5-L4.01
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SOFTSCAPE		DETAIL SPEC NO.
	Planting Area - Tree & Shrub - On Grade -450mm Depth -Shrub Growing Medium.	32 93 10 32 91 19 13
	Planting Area - Rain Garden - On Grade -450mm Depth -Rain Garden Growing Medium.	32 93 10
	Turf - Sod - At Tree Pits 400mm Depth -Type 2L	32 91 19 13
	Turf - Sod -150mm Depth -Type 2L	4-L4.02 32 91 19 13
	Gravel Maintenance Edge -150mm Depth, 600 mm Width -Max gravel size 25mm (1")	2-L4.01
FENCING & RAILS		DETAIL SPEC NO.
	Fence - Wood 1800mm height	1-L4.04
	Fence - Wood 1200mm height	3-L4.04
	Gate With access control.	
SITE FURNISHINGS		DETAIL SPEC NO.
	Lounge Chair	32 33 00
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	Bike Rack	32 33 00

LINE TYPE LEGEND	
	Property line
	Building Footprint
	Rain garden - TOP OF POOL
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2188A Tecumseh Ave
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P: 250.612.2891
E: info@mdilandscape.ca

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client
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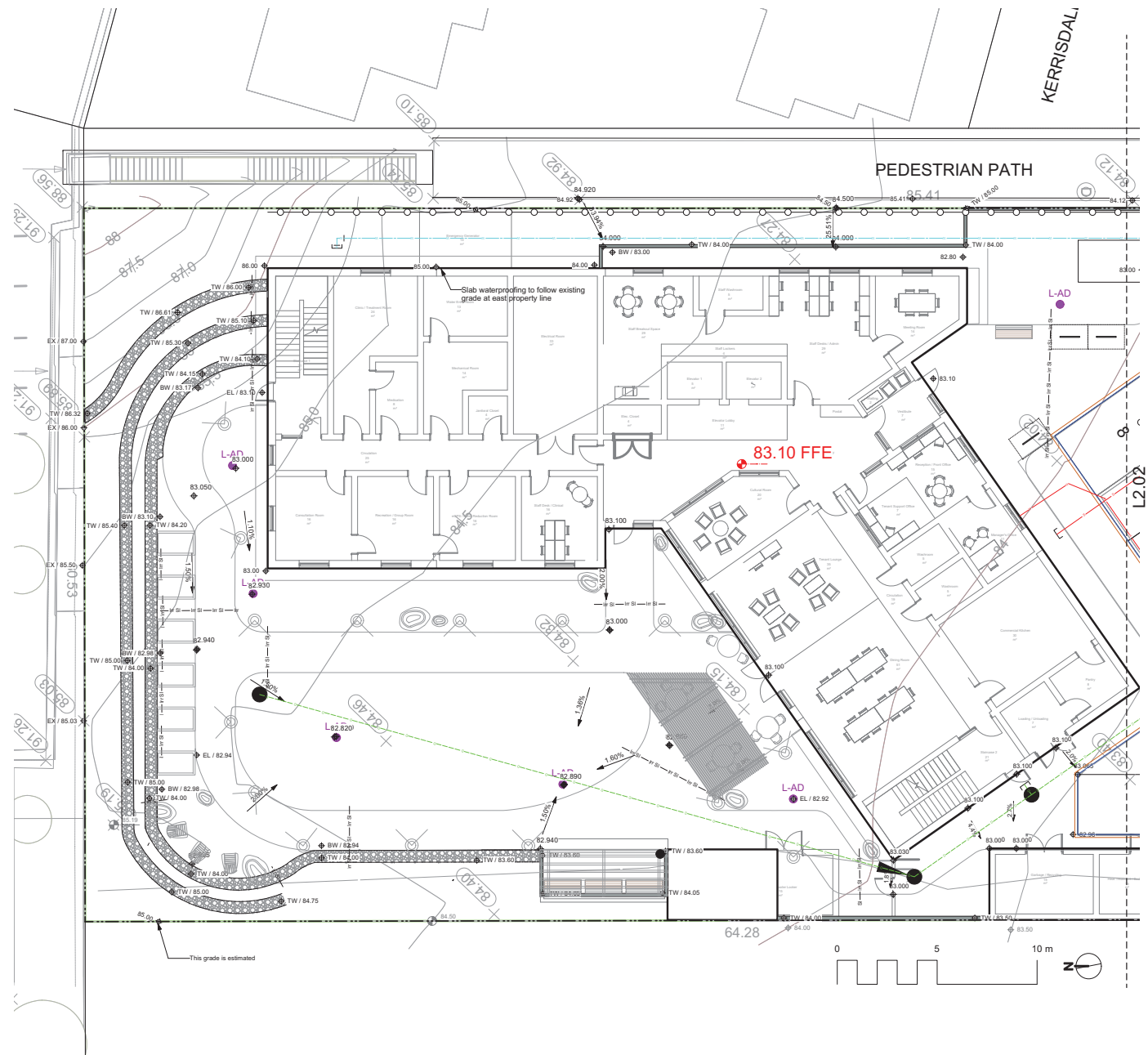
project
BCH Complex Care - Nanaimo
1850 Boxwood Road
Nanaimo, BC

sheet title

Landscape
Materials: East

project no. 124.13
scale 1: 100 @ 24"x36"
drawn by MDI
checked by TB
sheet no.

L1.02



LANDSCAPE INFRASTRUCTURE LEGEND

	Perforated Underdrain
	Irrigation Sleeve
	Clean Out
	Landscape Area Drain 8" Square Drain with ADA Steel Lockable Grate.
	Existing Grades

UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings).

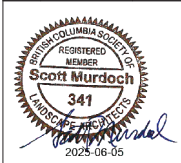
EXISTING	PROPOSED



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Victoria, BC V8T 2P6
P: 250.612.2891
E: info@mdilandscape.ca

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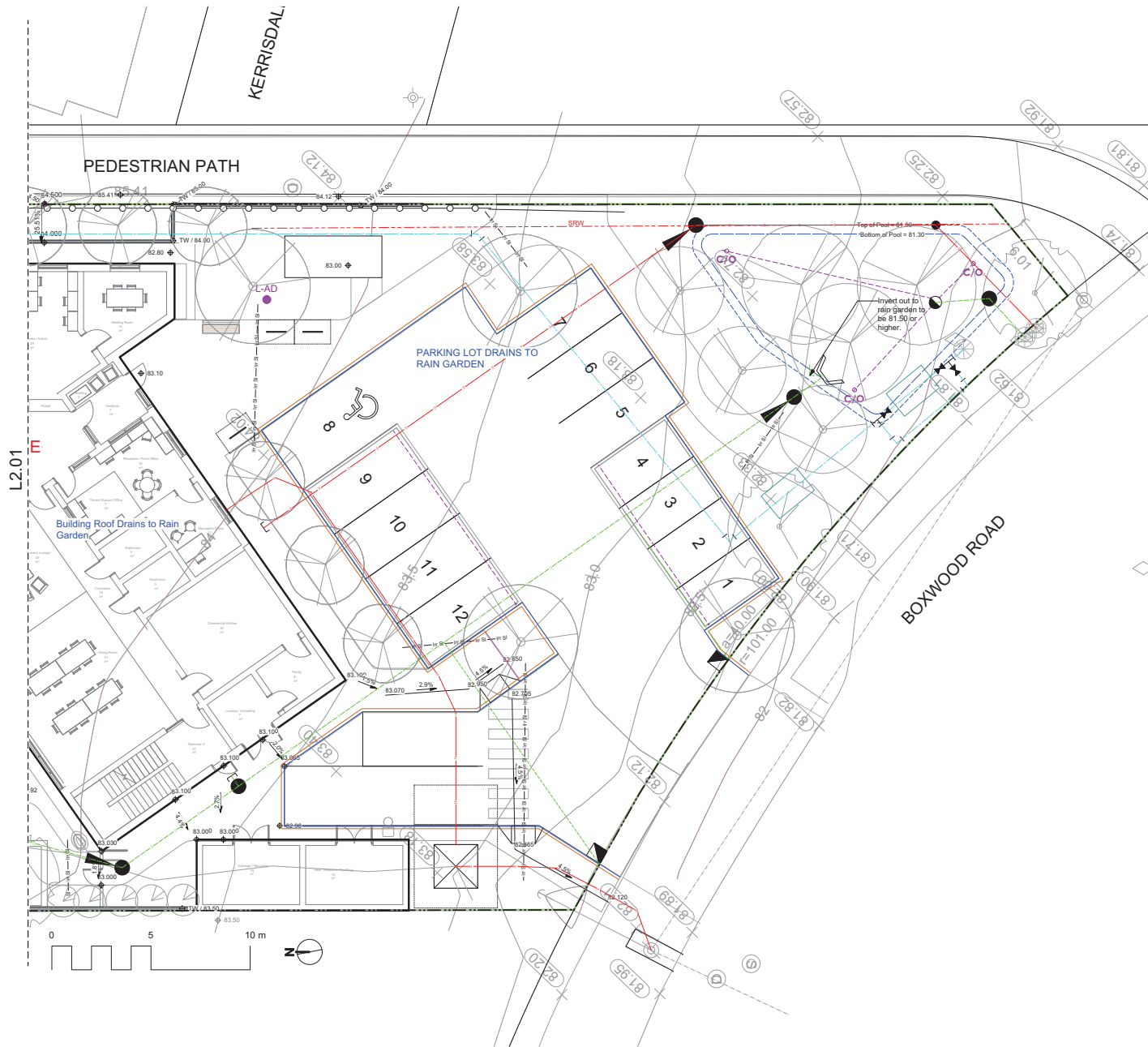
client
BCH / IH

project
BCH Complex Care - Nanaimo
1850 Boxwood Road
Nanaimo, BC

sheet title
**Landscape Grading
& Drainage: West**

project no.	124.13
scale	1: 100 @ 24"x36"
drawn by	MDI
checked by	TB
sheet no.	

L2.01



LANDSCAPE INFRASTRUCTURE LEGEND

	Perforated Underdrain
	Irrigation Sleeve
	Clean Out
	Landscape Area Drain 8" Square Drain with ADA Steel Lockable Grate.
	Existing Grades

UNDERGROUND UTILITIES

(Shown for reference only - refer to Civil Engineer's drawings).

EXISTING	PROPOSED



MDI LANDSCAPE ARCHITECTS
2188A Teysen Ave
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client
BCH / IH

project
BCH Complex Care - Nanaimo
1850 Boxwood Road
Nanaimo, BC

sheet title

**Landscape Grading
& Drainage: East**

project no. 124.13
scale 1: 100 @ 24"x36"
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sheet no.

L2.02

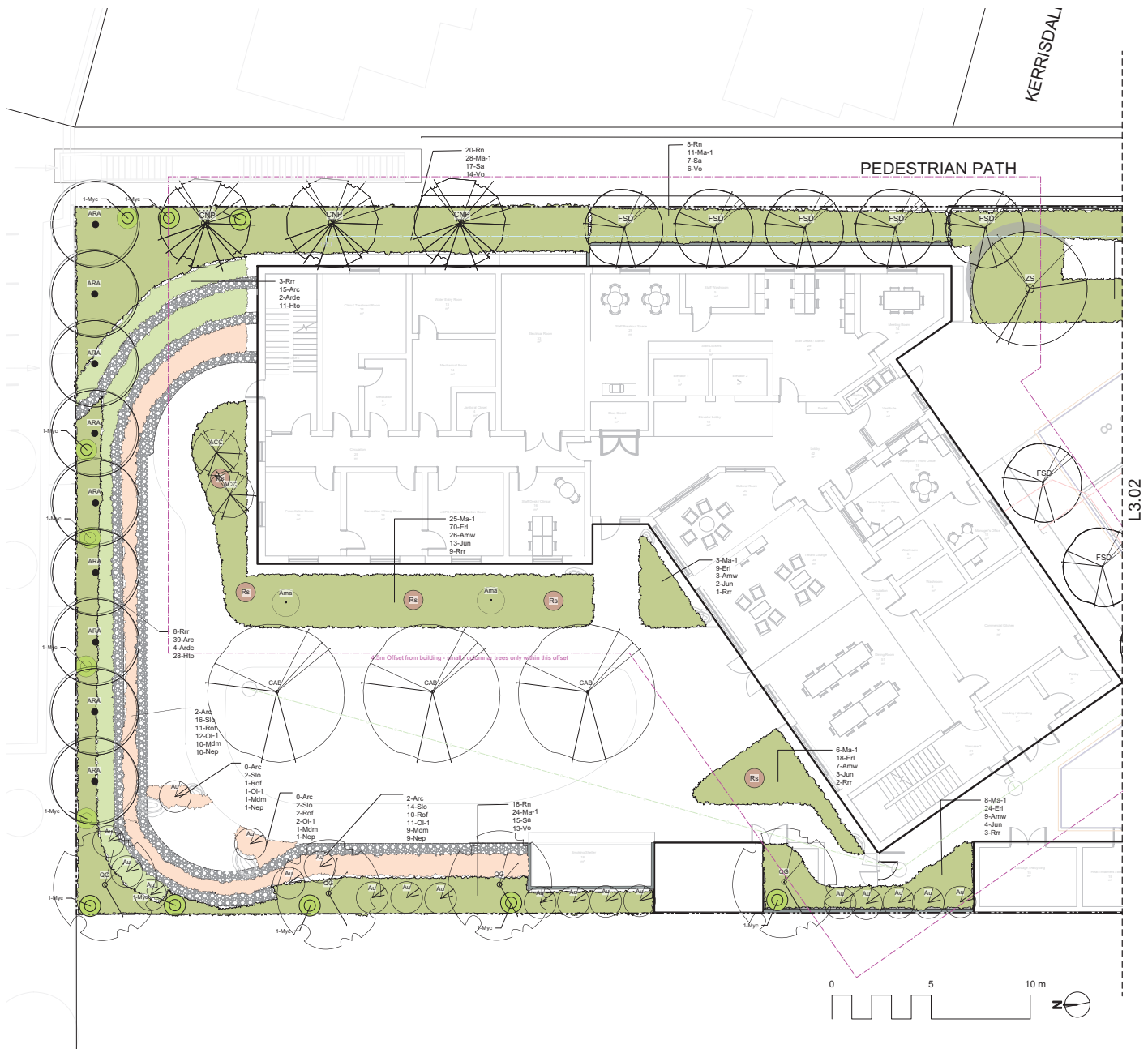
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project
BCH Complex Care - Nanaimo 1850 Boxwood Road Nanaimo, BC
sheet title

project no.	124.13
scale	1: 100 @ 24"x36"
drawn by	MDI
checked by	TB
sheet no.	

L3.01



Plant List, See L3.02

L3.02

KERRISDAL

PEDESTRIAN PATH

BOXWOOD ROAD

Boxwood Road

L3.01



PLANT LIST

Sym.	Qty	Botanical Name	Common Name	Schd. Size / Plant Spacing
TREES:				
ACC	2	Acer circinatum	Vine Maple	2.4 m ht, 1.5 width
ARA	9	Acer rubrum 'Armstrong'	Armstrong Red Maple	6.0m cal, b&b
Ans	2	Amelanchier alnifolia	Saskatoon Serviceberry	#3 pot
Au	19	Arbutus unedo	Strawberry Tree	1.5 m ht, b&b
CAB	3	Catalpa bignonioides	Southern Catalpa	6.0 cm cal, wb
CNP	3	Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	2.5 m ht
FSD	8	Fagus sylvatica 'Dawky Green'	Dawky green beech	6.0m cal, b&b
FOR	3	Fraxinus excarpa 'Raywood'	Raywood Ash	6.0m cal, b&b
NSW	3	Nyssa sylvatica 'Wildfire'	Tupelo	6.0m cal, b&b
QG	6	Quercus garryana	Garry Oak	4.0m cal, b&b
	0			

SHRUBS/FERNS/GRASSES/VINES:

Arc	45	Achillea millefolium	White yarrow	#1 pot
Arc	18	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
Erl	121	Eriophyllum lanatum	Woolly Sunflower	#1 pot
Jun	22	Juniperus communis 'Mondap'	Alpine Carpet Juniper	#1 pot
Ma-1	148	Mahonia aquifolium	Oregon Grape	#1 pot
Myr	12	Myrica californica	Pacific Wax Myrtle	#3 pot
Rs	5	Ribes sanguineum	Red Flowering Currant	#3 pot
Rn	74	Rosa nutkana	Nootka Rose	#1 pot
Rrr	15	Rosa rugosa 'Roseraie de l'Hay'	Roseraie de l'Hay Rose	#5 pot
Vo	5	Vaccinium ovatum	Evergreen Huckleberry	#3 pot
	0			

STEPPED WALL PLANTING

Arc	54	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
Arde	6	Arctostaphylos densiflora	Vinehill Manzanita	#1 pot / 60 cm O.C.
Rrr	11	Rosa rugosa 'Roseraie de l'Hay'	Roseraie de l'Hay Rose	#5 pot
	0			

EDIBLE GARDEN

Arc	4	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot / 60 cm O.C.
Mm	21	Monarda dioyma 'Marshall's Delight'	Bee Balm	#1 pot, mildew resistant
Nep	21	Nepeta x faassoni	Catmint	Sp3
Oi-1	26	Origanum laevigatum 'Herrenhausen'	Garden Oregano	#1 pot
Rof	24	Rosmarinus officinalis	Rosemary	#1 pot
Slo	34	Salvia officinalis	Culinary Sage	#1 pot

RAIN GARDEN PLANTS:

Co	80	Carex obnupta	Slough Sedge	#1 pot
Csk	19	Cornus sericea 'Kelsey'	Dwarf Red-twigged Dogwood	#1 pot
Lp	16	Lonicera pileata	Privet Honeysuckle	#1 pot
Po	2	Physocarpus opulifolius 'Diablo'	Diablo Ninebark	#5 pot
Sac	32	Scorpus acutius	Hard-stemmed Bulrush	plug
Smi	32	Scorpus microcarpos	Panicled Bulrush	plug
Sd	10	Spiraea douglasii	Hardhack	#1 pot
Tia	19	Typha latifolia	Cattail	plug



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2	DP	2025-02-13
1	SD Report	2024-11-28



client
BCH / IH

project
BCH Complex Care - Nanaimo
1850 Boxwood Road
Nanaimo, BC

sheet title
Planting: East

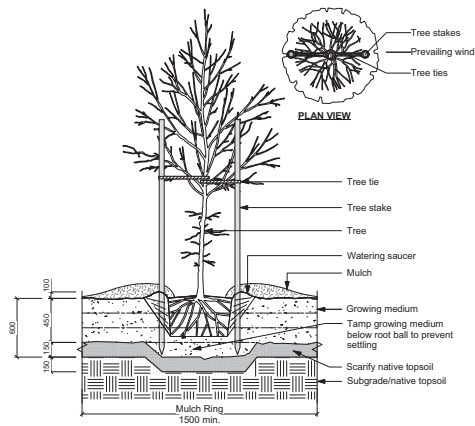
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drawn by MDI
checked by TB
sheet no.

L3.02

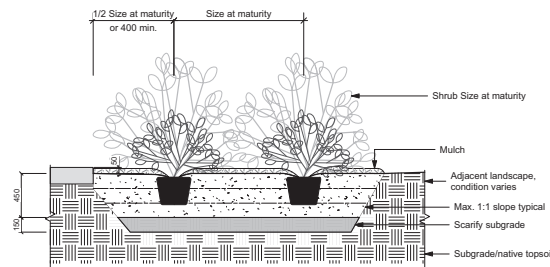


GENERAL NOTES:
1. Install to manufacturers written instructions

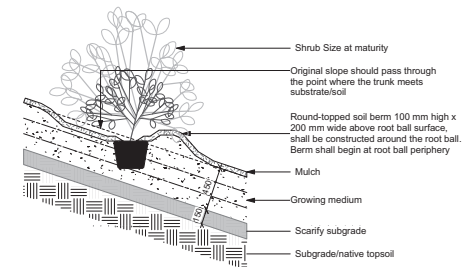
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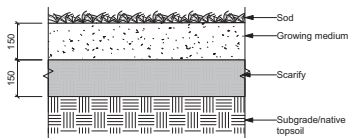
1 Tree Planting on Grade
Scale: 1:25



2 Shrub Planting Area on Grade
Scale: 1:25



3 Shrub Planting on Slope
Scale: 1:25



4 Sodded Grass
Scale: 1:10



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client
BCH / IH

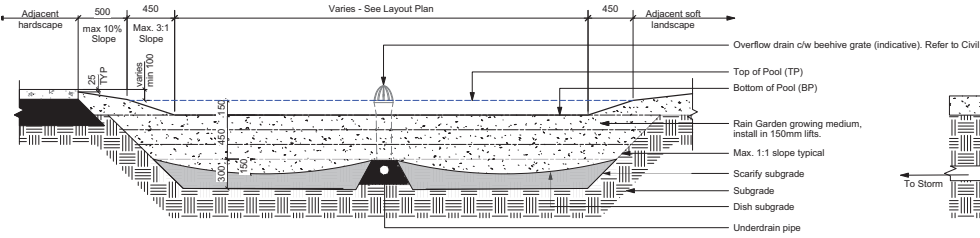
project
BCH Complex Care - Nanaimo
1850 Boxwood Road
Nanaimo, BC

sheet title

**Landscape Details:
Planting on Grade**

project no. 124.13
scale AS SHOWN @ 24"x36"
drawn by MDI
checked by TB
sheet no.

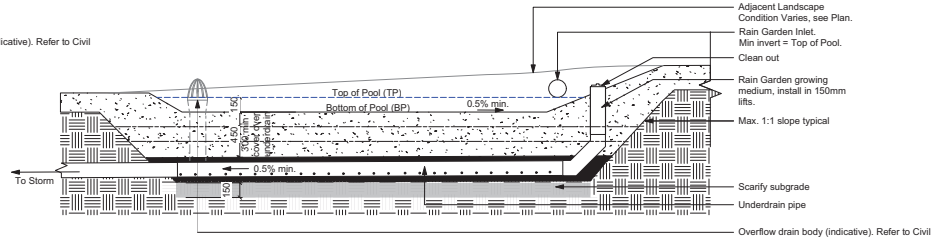
L4.02



CROSS SECTION

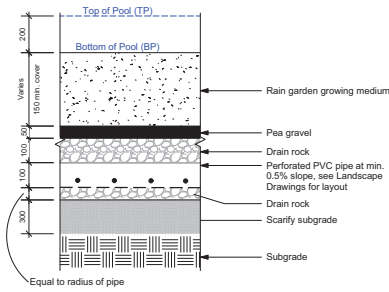
GENERAL NOTES:

1. Subgrade shall be sloped min 0.5% to drain with perforated pipe.
2. Side slopes of rain garden shall be mulched 50 mm depth.
3. Finish grade of mulch to be 25 mm below adjacent hardscape.

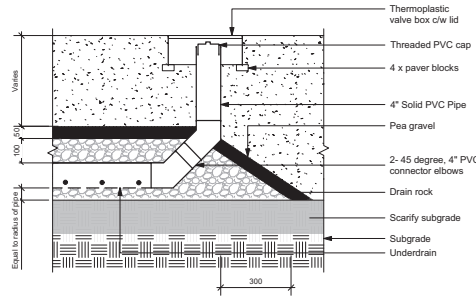


LONGITUDINAL SECTION

1 Typical Rain Garden on Grade
Scale: 1:25



2 Rain Garden Underdrain Pipe
Scale: 1:10



3 Rain Garden Underdrain Clean out
Scale: 1:10



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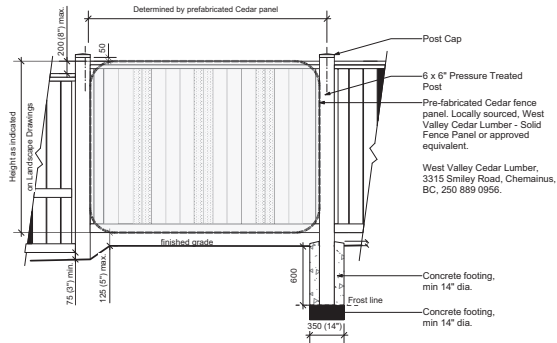
client
BCH / IH

project
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sheet title
**Landscape Details:
Rain Garden**

project no. 124.13
scale AS SHOWN @ 24"x36"
drawn by MDI
checked by TB
sheet no.

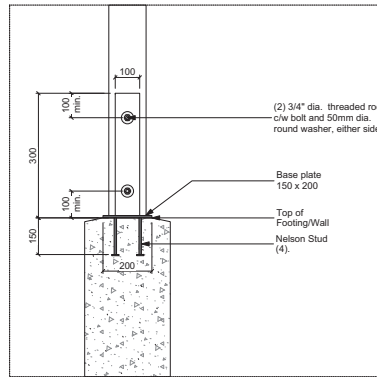
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**GENERAL NOTES:**

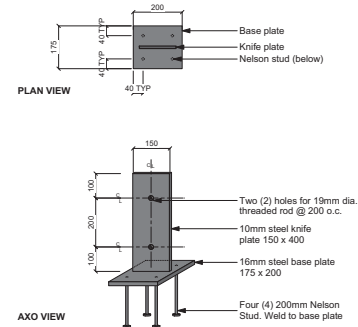
1. All fasteners to be galvanized only.
2. All lumber to be locally sourced Western Red Cedar (except Posts).
3. Coating system to be Broda Pro-Tek-Ton, SLT coating system. Colour: 111-Natural. Apply to manufacturers written instructions, bristle brush applied only, 2 coats c/w 1 top coat.

1 Typical 6' Wood Fence - Pressure Treated Posts

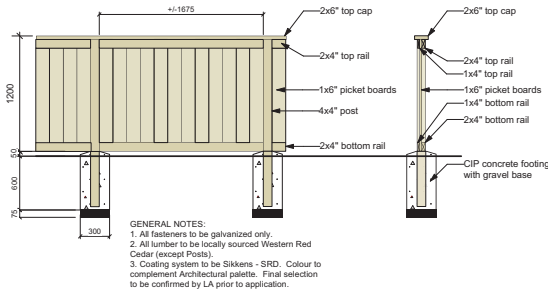
Scale: 1:25

**2 Fence Post Knife Plate**

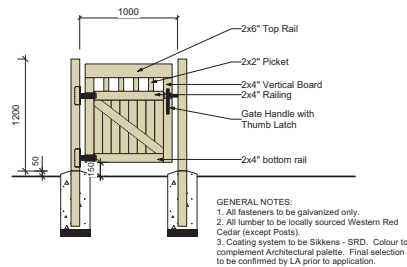
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**GENERAL NOTES:**

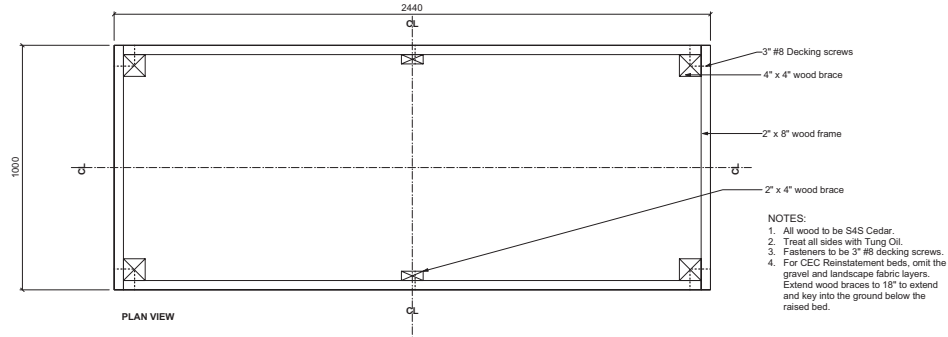
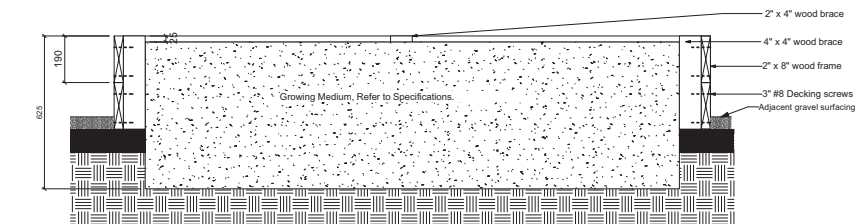
1. All steel to be galvanized only.
2. Shop drawing submittal required.

**3 Typical 4' Wood Fence - Pressure Treated Posts**

Scale: 1:25

**4' Fence Gate**

Scale: 1:25

**5 Raised Garden Beds**

Scale: 1:10



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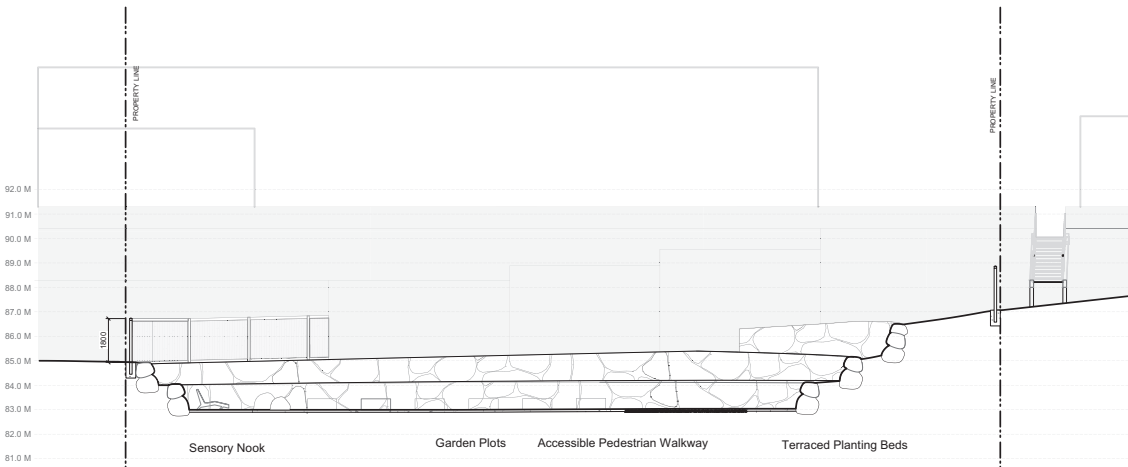
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Structures

project no.	124.13
scale	AS SHOWN @ 24"x36"
drawn by	MDI
checked by	TB
sheet no.	

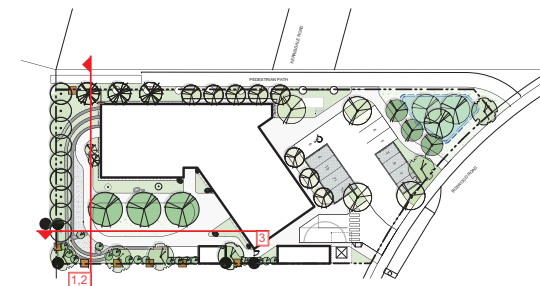
L4.04



1 Illustrative Courtyard Longitudinal Section-Elevation
Scale: 1:75



2 Courtyard Longitudinal Section-Elevation
Scale: 1:100



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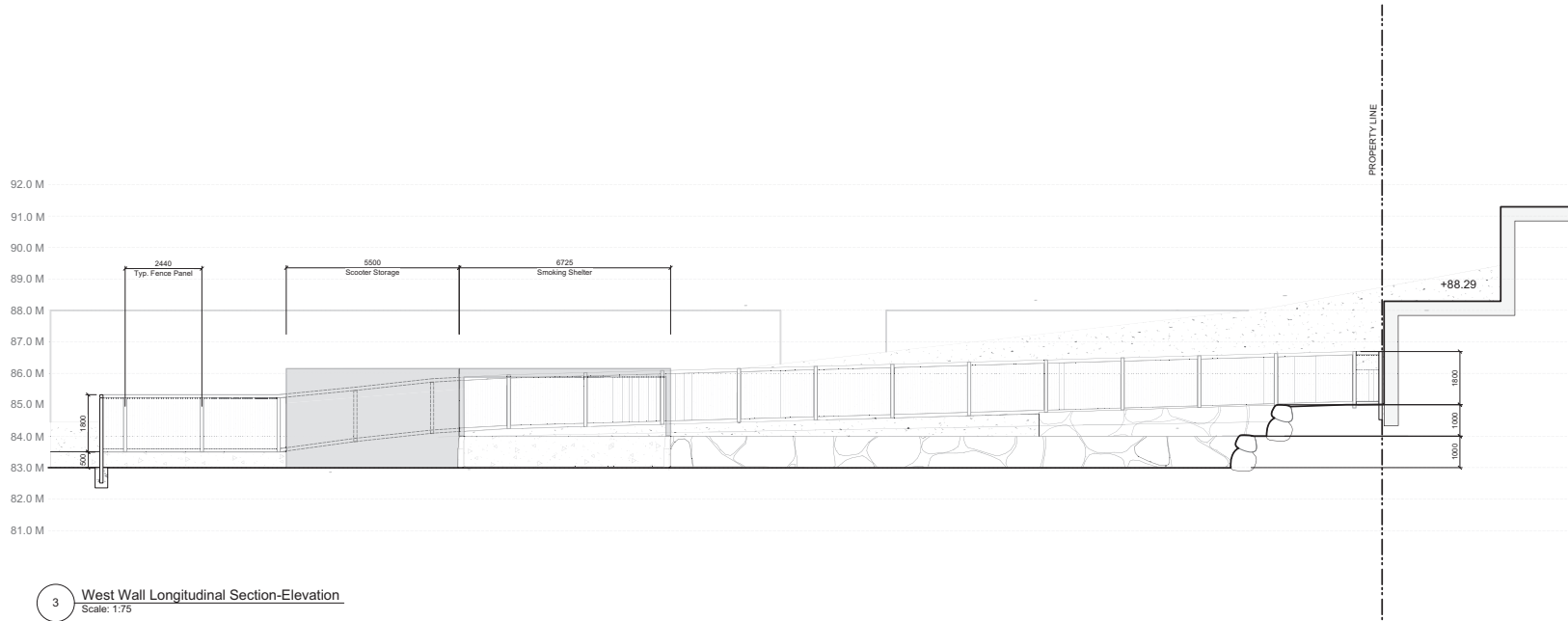
client
BCH / IH

project
BCH Complex Care - Nanaimo
1850 Boxwood Road
Nanaimo, BC

sheet title
**Landscape Section -
Elevation**

project no. 124.13
scale AS SHOWN @ 24"x36"
drawn by MDI
checked by TB
sheet no.

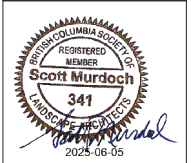
L5.01



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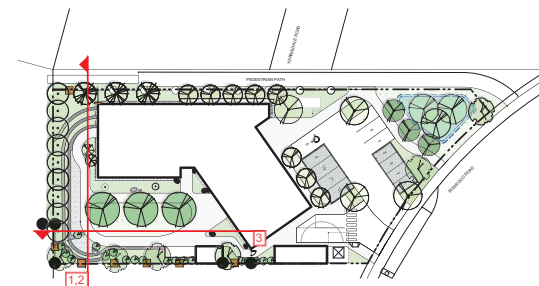
client
BCH / IH

project
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1850 Boxwood Road
Nanaimo, BC

sheet title
Landscape Section - Elevation

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sheet no.

L5.02



KEY PLAN

ATTACHMENT H
COMMUNITY ENGAGEMENT SUMMARY REPORT



Community Engagement Summary Report

Nanaimo – 1850 Boxwood Road
Complex Care Housing (CCH) Project

February - April 2025

TABLE OF CONTENTS

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INTRODUCTION

This report provides a summary of the community engagement sessions for a proposed Complex Care Housing (CCH) project at 1850 Boxwood Road in Nanaimo, B.C.

This CCH project is a partnership between BC Housing and Island Health, and will deliver 22 permanent, affordable studio homes with voluntary, person-centred health, cultural and social supports. These supports will include:

- Integrated health care supports provided by Island Health
- 24/7 staffing and wraparound services offered by a qualified, non-profit housing operator (to be selected), including life skills development, wellness checks, employment assistance, and community connection programs

BC Housing has initiated community engagement to provide accurate and transparent information to residents and businesses, respond to community questions and gather feedback that will assist with integrating the CCH project into the neighbourhood.

REZONING APPLICATION

This project requires rezoning from the City of Nanaimo. BC Housing submitted a combined Rezoning and Development Permit application on February 18, 2025.

COMMUNITY ENGAGEMENT SUMMARY

Project Webpages

Information about the project was published on the City of Nanaimo's [What's Building webpage](#) and on BC Housing's [Let's Talk Housing BC](#) webpage on February 28, 2025.

Neighbourhood Letter

On February 28, 2025, BC Housing mailed a letter (**Appendix A**) to neighbours within a 200 m radius of the CCH site at 1850 Boxwood Road (**241** addresses). This letter included:

- An introduction to the CCH project, project partners and the services to be provided
- A project description and summary of municipal processes required
- A link to BC Housing's project webpage and direct email address for questions
- An invitation and RSVP link to two small group information sessions on April 2, 2025
- An invitation to a community open house on April 3, 2025

Interest-holder Email and Invitation

On March 3, 2025, BC Housing sent an email (**Appendix B**) to **44** interest-holders and affected parties including local businesses, agencies, schools, community service organizations, Snuneymuxw First

Nation, Nanaimo Fire Rescue Station #2, BC Ambulance and the Greater Nanaimo Chamber of Commerce.

This email included:

- An introduction to the CCH project, project partners and the services to be provided
- A project description and summary of municipal processes required
- A link to BC Housing's project webpage and direct email address for questions
- An invitation and RSVP link to two small group information sessions on April 2, 2025
- An invitation to a community open house on April 3, 2025
- An offer to interest-holders to book meetings with BC Housing Community Engagement at a time and date of their choosing, either virtually or in-person.

COMMUNITY RELATIONS INBOX

As of this report, 1850 Boxwood Road CCH project has received **one** email to BC Housing's Community Relations inbox (communityrelations@bchousing.org). The email, from a local resident, was supportive of the project, and encouraged BC Housing to increase the size of the project to more than 20 units of housing to meet local need.

EVENT SUMMARY – SMALL GROUP INFORMATION SESSIONS

Event Name and Date:	Small Group Information sessions – Wednesday, April 2, 2025 <ul style="list-style-type: none"> ○ 5-6 p.m. – Session #1 ○ 7-8 p.m. – Session #2
Location	Oliver Woods Community Centre, 6000 Oliver Road, Nanaimo
First Nations Territory:	Snuneymuxw First Nation
Organizers:	BC Housing Project and Community Engagement <ul style="list-style-type: none"> • Trudi Beutel, Senior Communications Advisor • Maggie Sheeshka, Communications Specialist • Jennifer Giesbrecht, Manager
BC Housing Staff	<ul style="list-style-type: none"> • Jennifer Fox, Regional Director • Elsabe Fourie, Development Manager • Jerry Michael, Coordinated Access and Assessment Manager • Maggie Sheeshka, Senior Communications Specialist • Trudi Beutel, Senior Communications Advisor
Other Event Representatives	<ul style="list-style-type: none"> • Christy Wood, Manager, Social Planning, City of Nanaimo • Lisa Brinkman, Manager, Community Planning, City of Nanaimo • Lisa Murphy, Director of Mental Health and Substance Use, Island Health • Adam James, Principal, Ryder Architecture

	<ul style="list-style-type: none"> Jaimi Yra, Project Manager, Altus Group <p>Facilitators</p> <ul style="list-style-type: none"> Natalie Hill – Principal, Spur Communication Zack Bulick- Director of Engagement, Spur Communication
Event Audience:	<p>Interested parties, neighbours and wider community.</p> <ul style="list-style-type: none"> 241 letters with invitations mailed to neighbours within a 200 m radius of the project site
Number of Attendees:	<ul style="list-style-type: none"> 5-6 p.m. – Session #1 <ul style="list-style-type: none"> 7 RSVPs / 6 attendees (two community members, two neighbours and two people representing a nearby business) 7-8 p.m. – Session #2 <ul style="list-style-type: none"> 0 RSVPs / 0 drop-ins / session closed at 7:15 pm
Event Summary:	<p>Purpose:</p> <ul style="list-style-type: none"> To mitigate barriers to success and increase community understanding of the proposed 20-unit Complex Care Housing project at 1850 Boxwood Road. <p>Format:</p> <ul style="list-style-type: none"> Small Group Information Sessions allow neighbours a place to have an in-depth, one-hour discussion about the CCH with the project team. Pastries, coffee and water served. <p>Tone:</p> <ul style="list-style-type: none"> Small group information session attendees came with a willingness to listen and ask questions. Conversations were cordial and respectful, but all attendees were vocal in their concern about the location of this project.
Further Information and Resources:	<ul style="list-style-type: none"> Let's Talk Housing BC webpage: Nanaimo – 1850 Boxwood Road Let's Talk Housing BC Presentation: 1850 Boxwood Rd Nanaimo - Small-Group Information Session

EVENT SUMMARY – COMMUNITY OPEN HOUSE

Event Name and Date:	<p>1850 Boxwood Road Complex Care Housing (CCH) Community Engagement</p> <ul style="list-style-type: none"> Community Open House – Thursday, April 3, 2025 5:30-7:30 p.m.
Location	<p>Community Open House</p> <p>Beban Park Social Centre, 2300 Bowen Road, Nanaimo</p>
First Nations Territory:	<p>Snuneymuxw First Nation</p>
Organizers:	<p>BC Housing Project and Community Engagement</p> <ul style="list-style-type: none"> Trudi Beutel, Senior Communications Advisor Maggie Sheeshka, Communications Specialist

	<ul style="list-style-type: none"> Jennifer Giesbrecht, Manager
BC Housing Staff	<p>BC HOUSING:</p> <ul style="list-style-type: none"> Jennifer Fox, Regional Director Sarah Smith, Director, Regional Development Elsabe Fourie, Development Manager Jerry Michael, Coordinated Access and Assessment Manager Johanna Stauffer, Regional Operations Manager Emily Kendy, Senior Communications Advisor Maggie Sheeshka, Senior Communications Specialist Jennifer Giesbrecht, Manager, Project and Community Engagement Trudi Beutel, Senior Communications Advisor
Other Event Representatives	<p>Island Health</p> <ul style="list-style-type: none"> Lisa Murphy – Director of Mental Health and Substance Use Tracy Hamilton – Regional Clinical Initiatives Lead <p>City of Nanaimo</p> <ul style="list-style-type: none"> Christy Wood – Manager, Social Planning Caleb Horn – Planner, Current Planning Jeremy Holm – Director, Planning and Development <p>Architects</p> <ul style="list-style-type: none"> Adam James – Principal, Ryder Architecture Annabelle Blyton – Ryder Architecture <p>Development Consultant</p> <ul style="list-style-type: none"> Jaimi Yra – Project Manager, Altus Group <p>Facilitators</p> <ul style="list-style-type: none"> Natalie Hill – Principal, Spur Communication Zack Bulick- Director of Engagement, Spur Communication
Event Audience:	<p>Interested parties, neighbours and wider community.</p> <ul style="list-style-type: none"> 241 letters with invitations were mailed to neighbours within a 200 m radius of the project site 44 email invitations were sent to interest-holders and affected parties
Number of Attendees:	<p>Community Open House – 18 attendees</p> <ul style="list-style-type: none"> Notable guests included, Paul Manly, a Nanaimo city councillor, members of the not-for-profit organization Island Crisis Care Society (ICCS) and a representative of the Newcastle Community Association.
Event Summary:	<p>Purpose:</p> <ul style="list-style-type: none"> To mitigate barriers to success and increase community understanding of the proposed 20-unit Complex Care Housing project at 1850 Boxwood Road. <p>Format:</p> <ul style="list-style-type: none"> Community Open House – Drop-in style event for community members to view presentation boards and ask questions of project team. Pastries, soft drinks and water served.
Further Information and Resources:	<ul style="list-style-type: none"> Let's Talk page: Nanaimo – 1850 Boxwood Road Let's Talk Housing BC Presentation: Poster boards from Community Open House

WHAT WE HEARD – SUMMARY

Topics

General & Safety Concerns

- Perception that the building may attract crime or undesirable behavior in the area
- Concerns about:
 - the location of the smoking area and whether smoke will affect nearby properties or children (mitigation strategies such as locating the smoking area farthest away from the public path were also discussed)
 - loitering and unwanted visitors around the building and in the neighbourhood
 - site proximity to a childcare facility and the safety of children
 - visitor traffic and the management of non-resident access
 - community upkeep and potential for graffiti or improper waste disposal in and around the neighbourhood
 - increased visibility of homelessness, public substance use and social disorder

Location and Development

- Questions about:
 - why this site was selected over other options, particularly vacant or existing buildings
 - fencing height, site privacy and visibility into/out of the property
 - whether the City's Community Amenity Contribution policy was waived and how the City balances these policies
- Perception that neighbours had little influence over the site choice or were provided the ability to provide input into site location.
- Desire to understand the land-use and rezoning process and whether there will be a public hearing
- Concerns:
 - that the development does not meet the community's expectations for land use on the site
 - about property values decreasing and effect on character of the neighbourhood
 - about perceived changes to city planning standards for density, parking and amenity contributions

Operations and Resident Supports

- Confusion/questions about the population to be housed and how tenants will be selected
- Questions about:
 - whether people with complex needs will be appropriately supported
 - eviction and incident policies, disruptive behaviour management
 - substance use and whether it will be allowed in the building
 - on-site staffing levels
- Concern about how people with different support needs will live together successfully

Communications and Engagement

- Criticism of the 200 m radius for engagement promotion, concern that this excludes many neighbours who pass the site regularly
- Dissatisfaction with insufficient notice/publicity of the open house and information sessions
- Comments that the community was expecting more comprehensive consultation and transparency about the project earlier in the process

ENGAGEMENT OUTCOMES

The combination of direct neighbourhood and interest-holder communications, a publicly accessible webpage, small-group sessions and an open house gave community members ample opportunity to learn more about the need for Complex Care Housing in Nanaimo and the important role this project plays in helping meet that need and to provide feedback on this proposed project.

In total, we reached out to **285** neighbours and interest holders – by either direct mail or email – with project information and direct invitations to our Small Group Information sessions, Community Open House, or both. These invitations resulted in **24** people attending an engagement session in person to ask questions or voice concerns about the Boxwood CCH project. As of this report’s writing, our Let’s Talk Housing BC webpage for this project has logged **179** site visits.

Overall, BC Housing and our project partners aimed to produce communications and project information that was simplified in format and language to provide equitable, accessible and inclusive opportunities for learning, asking questions and voicing concerns.

The format of the sessions allowed BC Housing and partners to build relationships with neighbours and the surrounding community to open the lines of communication about the project and its ongoing development.

Site security

During the Small Group Information Session specifically, neighbours shared questions and concerns about safety and security. The project site shares a corner of its back lot line with a commercial property that includes a private daycare. Additionally, the daycare’s muster point is along the property line’s back fence which served as a point of concern for some community members. It is important to note that the elevation difference between the rear neighbor (elevated) and this proposed project (lower elevation) ranges between 7 and 9 m, depending where you are standing on the site.

Thanks to our engagement sessions, BC Housing and the architect were able to share that BC Housing Design and Construction Standards apply Crime Prevention through Environmental Design (CPTED) practices in all building projects. These include security measures such as fenced grounds, a single point of entry, fob access, 24/7 staffed reception, security cameras and lighting. BC Housing was also able to share that many supportive housing sites have been operating near schools for 10+ years with no issues and with support from the community.

Regarding overall security at the site and for the surrounding neighbourhood, BC Housing and the project partners were able to discuss these concerns openly with neighbours. We shared that housing staff would be on site 24/7 to support residents and provide a point of contact for neighbours and were willing to work with residents and the surrounding community on an ongoing basis to address any concerns.

Site maintenance

Regarding community concerns over cleanliness and property maintenance, engagement participants were assured that BC Housing will work together with the non-profit operator, once chosen, to be good neighbours. We will manage and maintain the Boxwood property as a good neighbour would, while the City of Nanaimo will provide maintenance to public spaces near the property.

As a good neighbour, we will share a direct phone number for the housing with neighbours when it is available. We will also continue working with residents, staff and the surrounding community on an ongoing basis to address any concerns about cleanliness on the property.

Municipal processes

Community Open House attendees expressed a strong interest in the municipal processes guiding this project and whether land-use changes were happening without meaningful public consultation. In response to these queries, City of Nanaimo representatives indicated that although final rezoning is a decision that rests with City Council, the public can request to speak as a delegation at City Council to express their support or opposition to any project.

What CCH is and isn't

These communications and engagement efforts also enabled BC Housing and project partners to clarify the kinds of care that would be provided, and to whom, in this building. During our engagement sessions, representatives were able to clarify that this project is not a shelter. Rather, this project will offer stable housing with onsite services for people with overlapping needs, such as mental health or substance use challenges, functional needs, brain injuries, intellectual or developmental disabilities, trauma, chronic illnesses, mobility impairments and other health-care challenges. Island Health will offer on-site health services in addition to the supports provided by a non-profit housing operator.

Future engagement commitments

During these engagements, project partners assured community members we would continue to connect with them at milestone points along the development timeline for this project. This will include sharing construction information by email or letter and organizing an opportunity (either virtual or in person) to meet the non-profit housing operator when selected.

Appendix A: Letter to neighbours within 200m



February 21, 2025

Complex Care Housing Proposal

1850 Boxwood Road, Nanaimo

Hello Neighbour,

We are writing to share that BC Housing is working with Island Health on a proposal to build approximately 20 units of Complex Care Housing (CCH) at 1850 Boxwood Road. This project is an important part of our continued effort to address and prevent homelessness and improve access to health services, including mental health and substance-use services, in Nanaimo.

BC Housing plans to submit a rezoning application to the City of Nanaimo in February 2025. If approved, these new homes would give people facing or at risk of homelessness, and who have complex health challenges, a better chance at leading healthy, stable lives. The rezoning process would take 6-12 months. A development permit and a building permit would also be required.

About the Building

The proposed three-storey building at 1850 Boxwood Road would have approximately 20 studio homes with kitchenettes and private bathrooms. There would also be a central kitchen, communal dining and amenity spaces and clinical spaces for residents to receive on-site health care services. The building would be designed to provide a welcoming, home-like atmosphere that fits into the local neighbourhood.

What is Complex Care Housing?

The CCH program provides deeply affordable homes with voluntary person-centered health, cultural and social supports. These supports are available to residents under one roof and in their own home, for as long as they need. CCH is for people who require additional support to manage their health needs, including those with mental health and substance-use challenges, brain injury, disabilities and chronic illness. The program provides deeply affordable homes with voluntary person-centered health, cultural and social supports. These supports are available to residents under one roof and in their own home, for as long as they need. Residents would be adults (19+) of all genders, including seniors.

Services and Supports

BC Housing would select an experienced non-profit housing operator through a fair and open process to manage the building and provide support services to residents, including daily meals, life skills training, and social, cultural and recreational programs. Health services would be delivered in partnership with Island Health and would include primary care, nursing, and specialized mental health and substance use care. Staff would be on site 24/7 to support residents and provide a point of contact for neighbours.

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Small-Group Information Sessions with Neighbours

We are inviting neighbours of 1850 Boxwood Road to join us for in-person small-group information sessions (max. 15 people each) to learn more about the proposed project, meet project partners and ask questions. The following two sessions are identical. RSVP to the session that works best for you.

INFORMATION SESSION #1:

- **Date:** Wednesday, April 2, 2025
- **Time:** 12:00 – 1:00 pm
- **Venue:** Oliver Woods Community Centre (F Hemlock Room) 6000 Oliver Rd, Nanaimo
- **RSVP:** [Boxwood-Road-Nanaimo-Info-Sessions.eventbrite.ca](https://boxwood-road-nanaimo-info-sessions.eventbrite.ca)

INFORMATION SESSION #2:

- **Date:** Wednesday, April 2, 2025
- **Time:** 6:30 – 7:30 pm
- **Venue:** Oliver Woods Community Centre (F Hemlock Room) 6000 Oliver Rd, Nanaimo
- **RSVP:** [Boxwood-Road-Nanaimo-Info-Sessions.eventbrite.ca](https://boxwood-road-nanaimo-info-sessions.eventbrite.ca)

Please note each session is limited to 15 people to ensure meaningful participation. RSVPs will be first come, first served. Should there be a demand for an overflow session, we will do our best to accommodate.

Community Open House

We are inviting neighbours, businesses and any other interested parties to join us in-person for a Community Open House to learn more about this project. There will be poster boards featuring information about the proposed development. Subject matter experts will also be on hand from Island Health, BC Housing and the City of Nanaimo to provide more information and answer questions.

- **Date:** Thursday, April 3, 2025
- **Time:** 5:30 – 7:30 pm
- **Venue:** Beban Park Social Centre (Room 1, 2 and 3) 2300 Bowen Rd, Nanaimo
- **RSVP:** [Boxwood-Road-Nanaimo-Community-Open-House.eventbrite.ca](https://boxwood-road-nanaimo-community-open-house.eventbrite.ca)

Drop-in format; all are welcome. Registration is appreciated to help with planning.

Keep up to date about this project by visiting letstalkhousingbc.ca/nanaimo-1850-boxwood-road.

We also welcome questions any time by email to communityrelations@bchousing.org.

Sincerely,
BC Housing

Appendix B: Email to interest-holders



Interested Party Email for CCH, Nanaimo

<SUBJECT LINE> Update - 1850 Boxwood Road, Nanaimo

<BODY> Dear <ORG NAME>,

We are writing to share that BC Housing is working with Vancouver Island Health Authority on a proposal to build approximately 20 units of Complex Care Housing (CCH) at 1850 Boxwood Road. This project is an important part of our continued effort to address and prevent homelessness and improve access to health services, including mental health and substance-use services, in Nanaimo.

BC Housing plans to submit a rezoning application to the City of Nanaimo in February 2025. If approved, these new homes would give people facing or at risk of homelessness, and who have complex health challenges, a better chance at leading healthy, stable lives. The rezoning process would take 6-12 months. A development permit and a building permit would also be required.

About the Building

The proposed three-storey building at 1850 Boxwood Road would have approximately 20 studio homes with kitchenettes and private bathrooms. There would also be a central kitchen, communal dining and amenity spaces, and clinical spaces for residents to receive on-site health care services. The building would be designed to provide a welcoming, home-like atmosphere that fits into the local neighbourhood.

What is Complex Care Housing?

The CCH program provides deeply affordable homes with voluntary person-centered health, cultural and social supports. These supports are available to residents under one roof and in their own home, for as long as they need. CCH is for people who require additional support to manage their health needs, including those with mental health and substance-use challenges, brain injury, disabilities and chronic illness. Residents would be adults (19+) of all genders, including seniors.

Services and Supports

BC Housing would select an experienced non-profit housing operator through a fair and open process to manage the building and provide support services to residents, including daily meals, life skills training, and social, cultural and recreational programs. Health services would be delivered in partnership with Island Health and would include primary care, nursing, and specialized mental health and substance use care. Staff would be on site 24/7 to support residents and provide a point of contact for neighbours.

In- Person Community Open House

We're inviting neighbours, businesses and other interested parties, as well as the greater community of Nanaimo, to join us for an in-person open house. There will be poster boards featuring information

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about the proposed development. Subject matter experts will also be on hand from Island Health, BC Housing and the City of Nanaimo to provide more information and answer questions.

- **Date:** Thursday, April 3, 2025
- **Time:** 5:30 – 7:30 pm
- **Venue:** Beban Park Social Centre (Room 1, 2 and 3) 2300 Bowen Rd, Nanaimo
- **RSVP:** <https://www.eventbrite.ca/e/1255831619179?aff=oddtcreator>

Drop-in format; all are welcome. Registration is appreciated to help with planning.

Community Engagement

BC Housing and our partners are dedicated to being good neighbours. If your organization would like to learn more about Complex Care Housing and the proposal for 1850 Boxwood Road, we will be happy to arrange a meeting. If you are interested, please respond to this email with your availabilities (days/times). We will do our best to accommodate your request whether in-person or virtually.

Keep up to date about this project by visiting letstalkhousingbc.ca/nanaimo-1850-boxwood-road. We also welcome questions any time by email to communityrelations@bchousing.org.

Sincerely,
BC Housing

CITY OF NANAIMO

BYLAW NO. 4500.241

A BYLAW TO AMEND THE "CITY OF NANAIMO ZONING BYLAW 2011 NO. 4500"

WHEREAS the Council may zone land, by bylaw, pursuant to Sections 464, 467, 479, 480, and 481 of the *Local Government Act*;

THEREFORE BE IT RESOLVED the Municipal Council of the City of Nanaimo, in open meeting assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited as "ZONING AMENDMENT BYLAW 2025 NO. 4500.241".
2. The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is hereby amended as follows:
 - (a) By rezoning the lands legally described as LOT 6, SECTION 15, RANGE 8, MOUNTAIN DISTRICT, PLAN EPP70084 (1850 Boxwood Road) to allow Personal Care Facility as a site-specific use in the High Tech Industrial (I3) zone, as shown on Schedule A of this Bylaw.
 - (b) By amending the table in subsection 13.2.1 by adding the following row after 'Office' and permitting 'Personal Care Facility' as a site-specific use in the I3 zone:

Use	Zones				Conditions of Use
	I1	I2	I3	I4	
Personal Care Facility	--	--	SS	--	

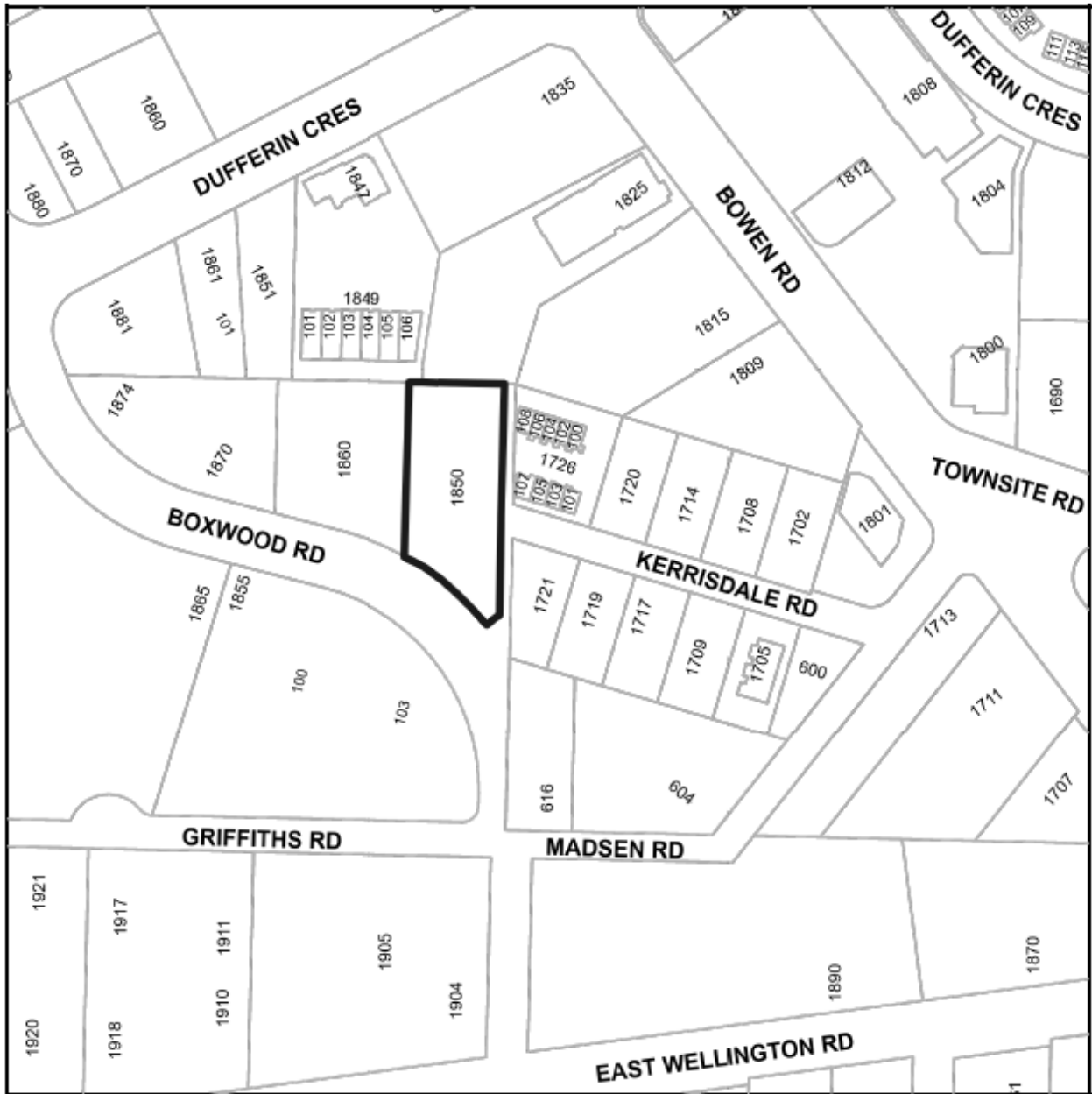
- (c) By amending the table in subsection 13.2.3 to permit 'Personal Care Facility' as a site-specific use at 1850 Boxwood Road.

PASSED FIRST READING: _____
PASSED SECOND READING: _____
PASSED THIRD READING: _____
ADOPTED: _____

MAYOR

CORPORATE OFFICER

SCHEDULE A

**REZONING APPLICATION NO. RA000522**

CIVIC: 1850 BOXWOOD ROAD

□

Subject Property

LEGAL: LOT 6 SECTION 15 RANGE 8 MOUNTAIN DISTRICT PLAN EPP70084