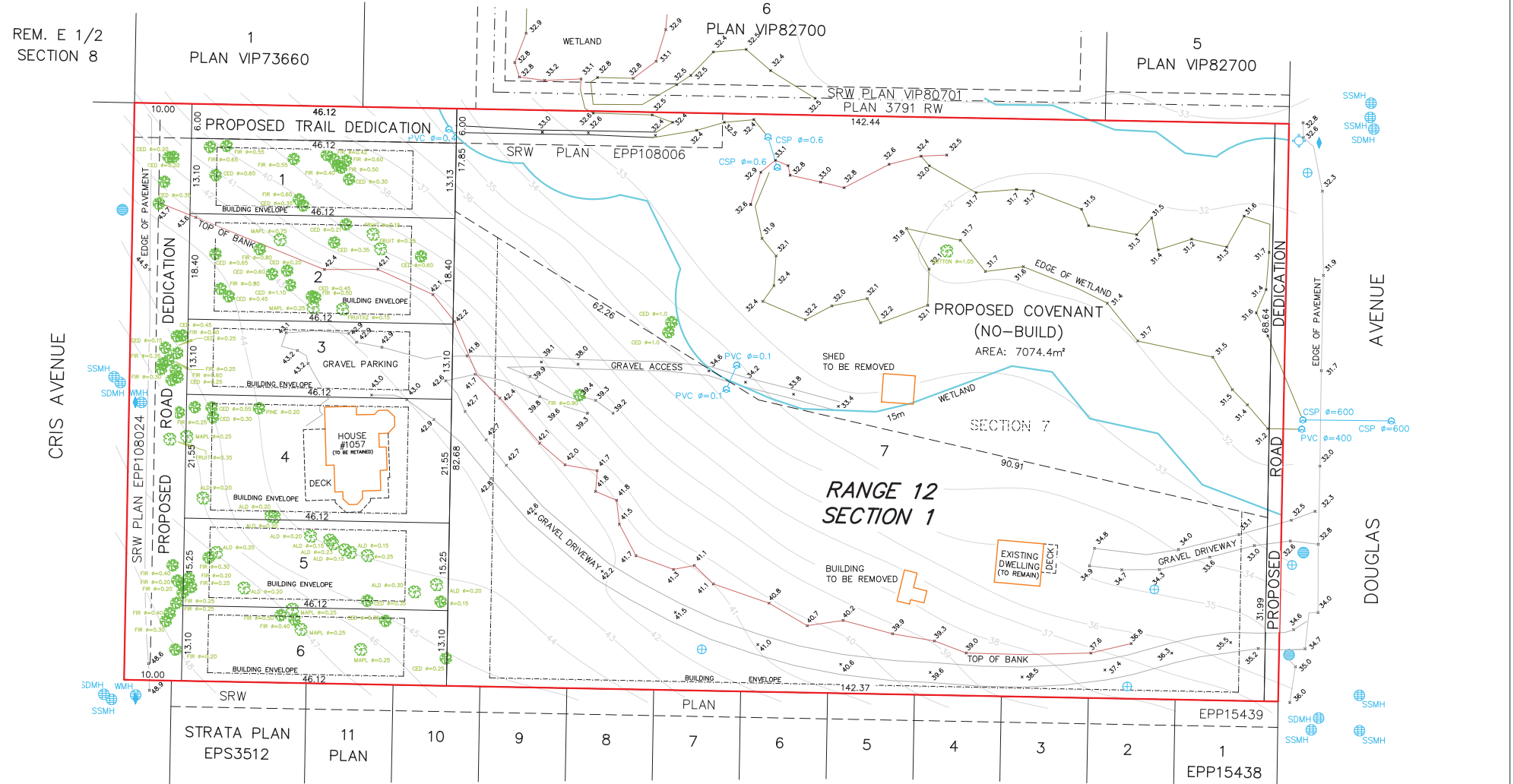


ATTACHMENT C SUBDIVISION PLAN

LEGEND:

- ⊕ DENOTES UTILITY POLE
- ⬠ DENOTES FIRE HYDRANT
- ⬆ DENOTES WATER VALVE
- ⊙ DENOTES ROUND CATCH BASIN
- ⊕ SSMH DENOTES SANITARY SEWER MANHOLE
- ⊕ SDMH DENOTES STORM DRAIN MANHOLE
- ⊕ WMH DENOTES WATER MANHOLE
- ⬆ DENOTES CULVERT

BOOK OF REFERENCE - AREA				
PROPOSED LOT	TOTAL AREA	STEEP SLOPE	REMAINING AREA	BUILDABLE AREA
1	604.9 m ²	4.9 m ²	600.0 m ²	345.1 m ²
2	848.7 m ²	213.1 m ²	635.6 m ²	525.5 m ²
3	604.2 m ²	1.6 m ²	602.6 m ²	348.3 m ²
4	994.0 m ²	--	994.0 m ²	--
5	703.3 m ²	95.9 m ²	607.4 m ²	418.0 m ²
6	604.2 m ²	--	604.2 m ²	344.1 m ²
7	14320.6 m ²	1097.2 m ²	13223.4 m ²	6301.4 m ²



NOTE:
THE REGISTERED TITLE OF THIS PROPERTY IS AFFECTED BY
THE FOLLOWING LEGAL NOTATIONS AND REGISTERED
CHARGES, LIENS AND INTERESTS:
M76301, CA9352020, CA9352022, CA9352025.
THIS SITE PLAN DOES NOT VERIFY COMPLIANCE WITH THE
ABOVE NOTED DOCUMENTS.

SITE PLAN SHOWING PROPOSED SUBDIVISION ON:
SECTION 7, RANGE 12, SECTION 1,
NANAIMO DISTRICT, PLAN 630

CLIENT: BILL FRENCH
CIVIC ADDRESS: 1057 DOUGLAS AVENUE
FILE: 23-028A SCALE: 1:500 DRAWN BY: BEP ZONING: R10

0 20 40
SCALE 1:500
DISTANCES AND ELEVATIONS ARE IN METRES.
GEODETIC ELEVATIONS ARE DERIVED FROM
CONTROL MONUMENT 83H6010 (CGVD28BC DATUM).

THE FIELD SURVEY REPRESENTED BY THIS PLAN WAS COMPLETED
ON THE 8th DAY OF JANUARY, 2024

B.C.L.S. #994
(THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED AND SEALED.)

DATE
JUNE 10, 2024
JULY 3, 2024
AUGUST 28, 2024
MAY 14, 2026
JUNE 24, 2026

REVISION
PROPOSED SUBDIVISION R4-KEEP HOUSE
UPDATE TO INCORPORATE CITY COMMENTS
ADD IN TREE SURVEY
PROP SUB R5 - NEW CITY COMMENTS
PROP SUB R6 - ADJUST TO MEET 600m2

THIS SITE PLAN SHOWS THE RELATIVE LOCATION OF THE EXISTING AND PROPOSED
STRUCTURES/IMPROVEMENTS WITH RESPECT TO THE BOUNDARIES OF THE
DESCRIBED PARCEL ONLY.
THIS SITE PLAN SHALL NOT BE USED TO DEFINE PROPERTY LINES OR PROPERTY
CORNERS.
THE SIGNATORY ACCEPTS NO RESPONSIBILITY FOR AND HEREBY DISCLAIM ALL
OBLIGATIONS AND LIABILITIES FOR DAMAGES ARISING OUT OF OR IN CONNECTION
WITH ANY DIRECT OR INDIRECT USE OR RELIANCE UPON THE SITE PLAN BEYOND
ITS INTENDED USE.

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