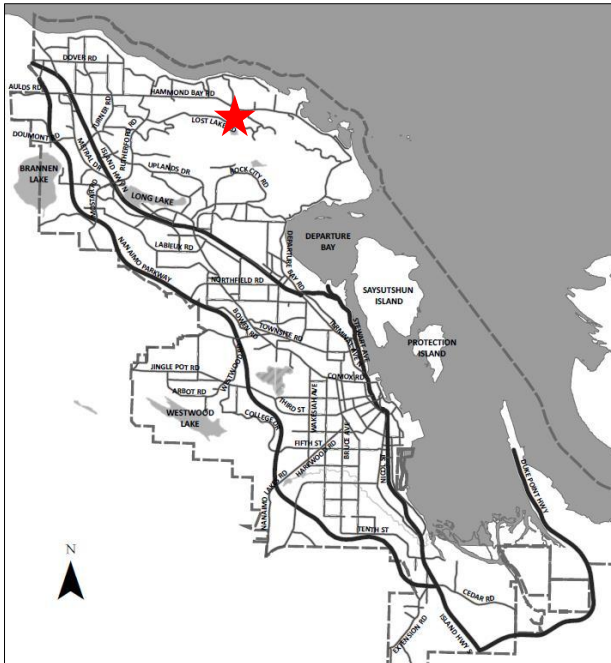


FOR: COUNCIL MEETING

MEETING DATE: June 22, 2026

DEPARTMENT: PLANNING AND DEVELOPMENT

SUBJECT: **DEVELOPMENT PERMIT APPLICATION NO. DP1357 – 5180 UNIVERSAL PLACE**



Proposal:
A 29-unit multi-family residential development



Zoning:
R6 – Low Density Residential

City Plan Land Use Designation:
Suburban Neighbourhood

Development Permit Areas:
DPA6 – Steep Slope Development
DPA8 – Form & Character

Lot Area:
1.25 ha



OVERVIEW**Purpose of Report**

To present for Council’s consideration a development permit application for a multi-family residential development at 5180 Universal Place. |

Recommendation

That Council issue Development Permit No. DP1357 for a multi-family cohousing development at 5180 Universal Place with variances as outlined in the “Proposed Variances” section of the Staff Report titled “Development Permit Application No. DP1357 – 5180 Universal Place”, dated 2026-JUN-22. |

BACKGROUND

A development permit application, DP1357, was received from Human Studio Architecture and Urban Design Ltd. on behalf of Lost Lake Cohousing Inc., to permit a 29-unit multi-family cohousing development at 5180 Universal Place.

Subject Property and Site Context

The subject property is an irregularly shaped lot, located in the Rocky Point – Hammond Bay – Stephenson Point neighbourhood with an 83m-long panhandle extending from Universal Place that provides access to the site. While the property directly abuts the unconstructed Lost Lake Road dedication, pedestrian access from Lost Lake Road to Universal Place is not currently possible due to steep terrain and the lack of developed trail access. The property is undeveloped, forested and slopes downward approximately 20m from south to north. The surrounding neighbourhood is characterized by single residential dwellings and a series of parks and trails, including Oceanview Park, Linley Valley Cottle Lake Park and Lost Lake Trail. |

DISCUSSION**Proposed Development**

The applicant proposes to construct a 29-unit cohousing development clustered into five distinct buildings. The proposed buildings range from two to three storeys and contains five to ten units each.

The proposed unit composition is as follows:

Unit Type	Number of Units	Unit Size
1-Bedroom Apartment	8 (4 Accessible)	50m ² - 59m ²
2-Bedroom Apartment	7 (2 Accessible)	65m ² - 72m ²
2-Bedroom Townhouse	9	76m ² - 87m ²
3-Bedroom Townhouse	5	125m ² - 128m ²

A 284m² amenity building (Building 2B) is also proposed on-site and will include two guest rooms, a workshop, a children’s activity room, workspace, lounge, communal kitchen and dining area. The

proposed gross floor area for all buildings is 2,967m² and the proposed Floor Area Ratio (FAR) is 0.24, which is below the permitted FAR of 0.45 in the R6 zone.

Site Design

The proposed buildings are clustered towards the eastern portion of the site and have been oriented to minimize disturbance to the slope as well as maintain existing views to the ocean (north) and surrounding forested area. Existing site grades provide an opportunity for shared courtyards and terraced walkways between the buildings, as well as interconnected trails around the perimeter of the buildings. Elevated walkways overlook a shared courtyard below, and space at the rear of the site is dedicated for a future communal garden for the residents. The three-storey amenity building is centrally located to serve the development.

A surface parking area is proposed in the southern portion of the lot and includes the refuse area, which is designed to support three-stream waste management practices. A secure long-term bicycle storage shed containing 29 spaces is located west of the parking area, while six short-term bicycle spaces are provided adjacent to the entrance of the amenity building. The “Off-Street Parking Regulations Bylaw 2018 No. 7266” (the “Parking Bylaw”) requires 50 parking spaces, of which two must be accessible and two must be dedicated to visitors. The Parking Bylaw also requires 15 long-term and three short-term bicycle parking spaces, all of which are exceeded by the proposal.

Building Design

The buildings have been designed to respond to the existing topography, and the proposed grading enables each unit to have direct outdoor access and semi-private outdoor space. The elevated walkways and private balconies provide weather protection for the building entries below. The amenity building is accessible via elevator, features a flat roof design incorporating green roof elements and programming within the building. The residential units are well-defined with a complementary natural colour palette and shed roofs. Building materials include hardie siding in various shades, wood plank soffits, and wood decking.

Landscape Design

A 3.0m wide landscape buffer is provided along the east property line to provide screening for the neighbouring property, incorporating a combination of newly planted trees and groundcover plantings, as well as low height landscape retaining walls to support the grading. Stormwater retention will occur at the base of the slope and existing trees located within the sloped areas of the site are to be retained. Additional plantings are proposed within the semi-private patio areas and shared courtyards. A 2.0m wide soft surface trail (public) is proposed along the west property line, to connect to Lost Lake Road and Dewar Road, and a 1.5m wide paved public connection will extend from the soft surface trail through the panhandle to Laguna Way, in accordance with the covenant modification (CA7166551). A retaining wall is proposed behind Building 2C, intended to support the exterior walkway and timber fencing is proposed along the panhandle and along the east property line.

The proposed development substantially meets the intent of the applicable design guidelines and Steep Slope Development Permit Area Guidelines including pedestrian connections; siting the development with consideration to existing site features and topography; accent materials and detailing to break up the

facades and emphasize building entrances; retention of significant and mature trees and vegetation; and landscape materials that provide screening and visual interest.

Design Advisory Panel

The Design Advisory Panel (DAP), at its meeting held on 2024-NOV-14, accepted DP001357 as presented and provided the following recommendations:

- Consider adding an outdoor play area;
- Consider adding shade trees on the perimeter of the parking lot;
- Consider constructing the community garden during the construction phase;
- Consider adding a bike rail on the stairs for easy bike access to the lower levels of the property;
- Consider adding green roofs or other additions to improve the view of rooftops from the upper buildings; and
- Consider more handicapped parking to accommodate the number of accessible suites.

The applicant subsequently submitted revised plans in response to the DAP recommendations, including the following key design revisions:

- Revising the landscape plan to add six pacific dogwood trees around the parking area; and
- Communal gardens for the residents will be finished with wood chip;
- Bike access to the lower levels of the property will be accommodated via the elevator in the amenity building, eliminating the need for a bike rail on the stairs.

The applicant also considered other recommendations but did not incorporate them into the design due to cost implications and site grading challenges.

Proposed Variances

Maximum Building Height

The maximum permitted height of a principal building with a roof pitch less than 4:12 in the R6 zone is 7m. The proposed building height is 7.53m for Building 1; 7.43m for Building 2A; 7.89m for Building 2B; 7.21m for Building 2C; and 9.0m for Building 3; requested variances of 0.53m, 0.43m, 0.89m, 0.21m and 2.0m respectively. City Plan supports and encourages cluster housing design in the Suburban Neighbourhood future land use designation typically as ground-oriented buildings up to three-storeys in height.

The City of Nanaimo's *Consideration of Variances Policy* outlines considerations for evaluating variances such as land use justification, and potential aesthetic, functional, or environmental impacts. The proposed height variances are primarily due to the steep topography and the calculation of average building height from lower grades. Furthermore, the site is well-buffered from adjacent properties, and a provided shadow study demonstrates that the proposed heights will not create adverse shadowing impacts on any neighbouring properties.

Staff support the proposed height variances to achieve a more compact building form, up to three-storeys, given the unique constraints and steep grading of the site. The development has been designed to follow the existing topography, which helps reduce the visual impact of building height on neighbouring

properties. In addition, stacking units provide an efficient means of increasing density while preserving open space for landscaping and retaining existing vegetation.

Minimum Required Off-Street Parking

The minimum number of parking spaces required for the development is 50 parking spaces. The applicant is proposing to reduce the number of parking spaces from 50 to 39 parking spaces, a requested variance of 11 off-street parking spaces.

In accordance with the City's Policy for *Consideration of a Parking Variance*, and in support of the variance request, the applicant has provided a Parking Study prepared by Watt Consulting Group. The parking study concluded that the anticipated parking demand of 37 spaces (based on ICBC vehicle ownership data for similar projects in Nanaimo at a rate of 1.19 vehicle parking spaces per unit, plus three visitor parking spaces). The applicant proposes to include Transportation Demand Management (TDM) measures that would be secured as a condition of the development permit to reduce parking demand. These measures include excess long-term, secure bike parking (29 spaces), 15 spaces are required, and excess short-term bike parking (6 spaces), 3 spaces are required.

Staff note that a reduction to 39 vehicle parking spaces may result in spillover parking in the surrounding neighbourhood. However, the applicant has demonstrated that compliance with the parking requirements would significantly hinder the cohousing development within this uniquely constrained site.

Staff support the proposed variance to facilitate a residential development with substantial onsite amenities within the developable area of the site. Additionally, the applicant has demonstrated, through the submitted parking study, that the proposed supply is expected to meet actual parking demand for this unique cohousing development while balancing site constraints, retaining more open space and existing vegetation, and supporting alternative transportation through enhanced bicycle parking.

COMMUNICATION AND COMMUNITY ENGAGEMENT

The applicant hosted a Public Information Meeting (PIM) on 2025-AUG-26 at Oliver Woods Community Centre where approximately 20 members of the public attended. The attendees were supportive of increased density on the site and the cohousing development. Some attendees expressed concerns regarding neighbourhood character and scale, building height and views, traffic, parking and driveway conditions in winter, and stormwater and runoff. Following the PIM, the applicant provided a letter outlining the strategies on how the community concerns are being addressed, including utilizing the steep slope to minimize building height and view impacts, clarifying there is no road access to impact Lost Lake Road traffic, providing sufficient on-site parking to prevent reliance on winter street parking, and implementing an engineered on-site stormwater detention system to meet City requirements. |

KEY MESSAGES

- Development Permit Application No. DP1357 is for a 29-unit multi-family cohousing development at 5180 Universal Place.
- The building design substantially meets the intent of the applicable design guidelines and Steep Slope Development Permit Area Guidelines.

- Variances are proposed to increase the maximum permitted building height and to reduce the number of required parking spaces.
- Staff support the proposed variances. |

ATTACHMENTS

- ATTACHMENT A: Permit Terms and Conditions
- ATTACHMENT B: Subject Property Map
- ATTACHMENT C: Site and Parking Plans
- ATTACHMENT D: Building Elevations and Details
- ATTACHMENT E: Building Renderings
- ATTACHMENT F: Shadow Study
- ATTACHMENT G: Landscape Plans and Details |

Authored by:

Vidhi Kyada
Planner I, Current Planning |

Concurrence by:

Lainya Rowett
Manager, Current Planning

Jeremy Holm
Director, Planning and Development |

ATTACHMENT A PERMIT TERMS AND CONDITIONS

PERMIT TERMS

The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum permitted height of a principal buildings as follows and shown on Attachment D;

Location	Permitted Height	Proposed Height
Building 1	7.0m	7.53m
Building 2A	7.0m	7.43m
Building 2B	7.0m	7.89m
Building 2C	7.0m	7.21m
Building 3	7.0m	9.0m

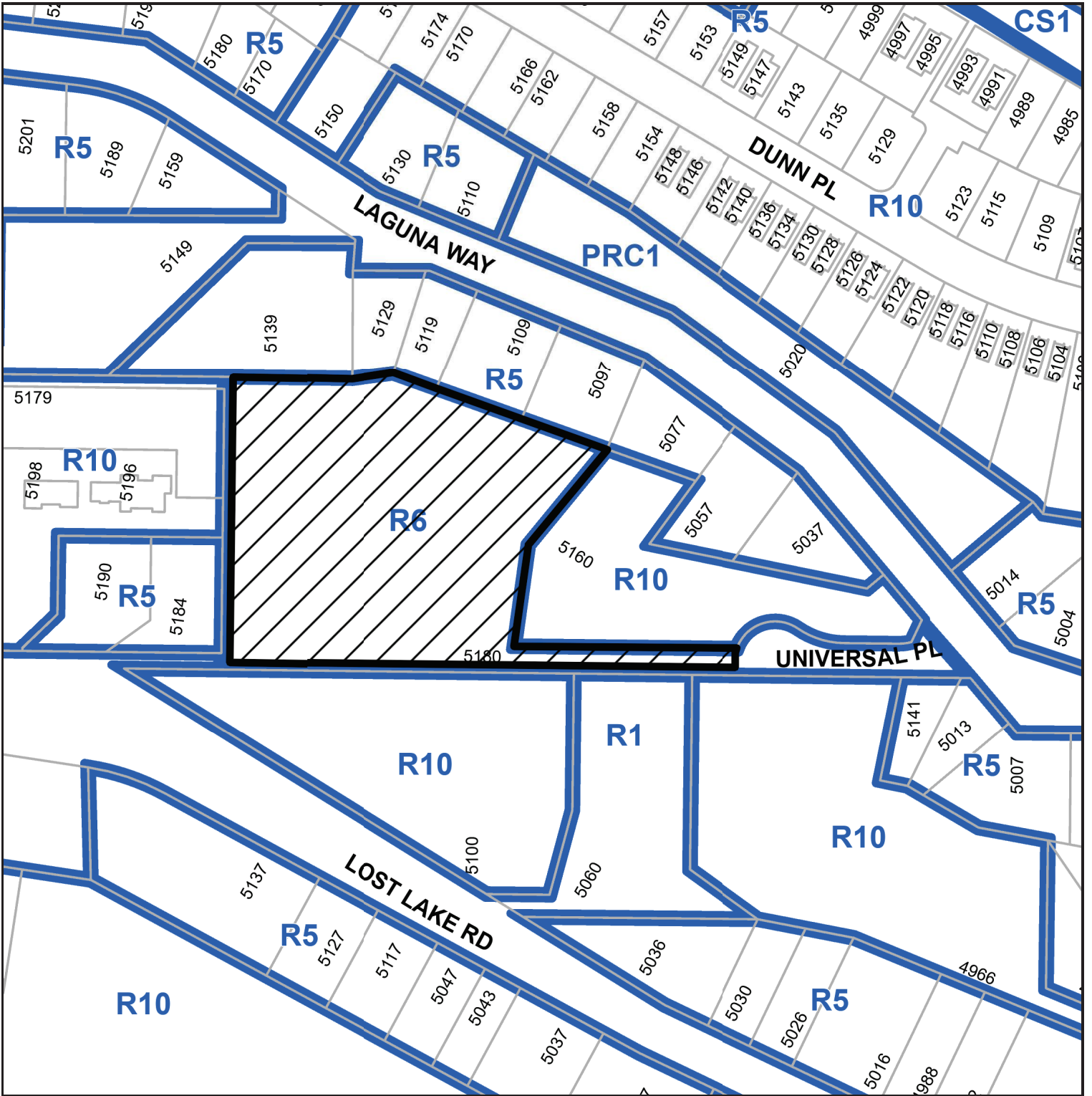
The City of Nanaimo “Off-Street Parking Regulations Bylaw 2018 No. 7266” is varied as follows:

1. *Section 7.1 Multiple-Family Dwelling Parking Table* – to reduce the minimum required number of parking spaces from 50 spaces to 39 spaces.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site and Parking Plan prepared by Human Studio Architecture and Urban Design, dated 2026-JAN-30, as shown on Attachment C.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Human Studio Architecture and Urban Design, dated 2026-JAN-30, as shown on Attachment D.
3. The subject property shall be developed in substantial compliance with the Landscape Plans and Details prepared by Macdonald Gray, dated 2026-JAN-29 and 2025-APR-10, as shown on Attachment G.
4. Provision of the following Transportation Demand Management (TDM) measures, prior to building occupancy:
 - 29 Long-term secure bicycle parking spaces and 6 Short-term bicycle spaces.
5. The subject property shall be developed in accordance with the registered covenant modification (CA7166551).

ATTACHMENT B
SUBJECT PROPERTY MAP



 5180 UNIVERSAL PLACE

ATTACHMENT C SITE AND PARKING PLANS

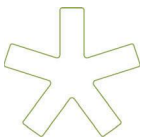


1 Site Plan - Proposed Site Plan

A1.01 1:250

Urban Soft Surface Trail (2.0m wide)

Paved Trail (1.5m wide)



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#200 - 68 E 2nd Ave, Vancouver, Canada

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RECEIVED
DP1357
2026-FEB-03
Current Planning

2026-01-30	4	DP REV 3
2025-10-01	3	DP REV 2
2025-07-14	2	DP RESUBMISSION
2024-08-26	1	ISSUED FOR DP

DATE	REV	DESCRIPTION
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LOST LAKE COHOUSING

Amisto
HS-106

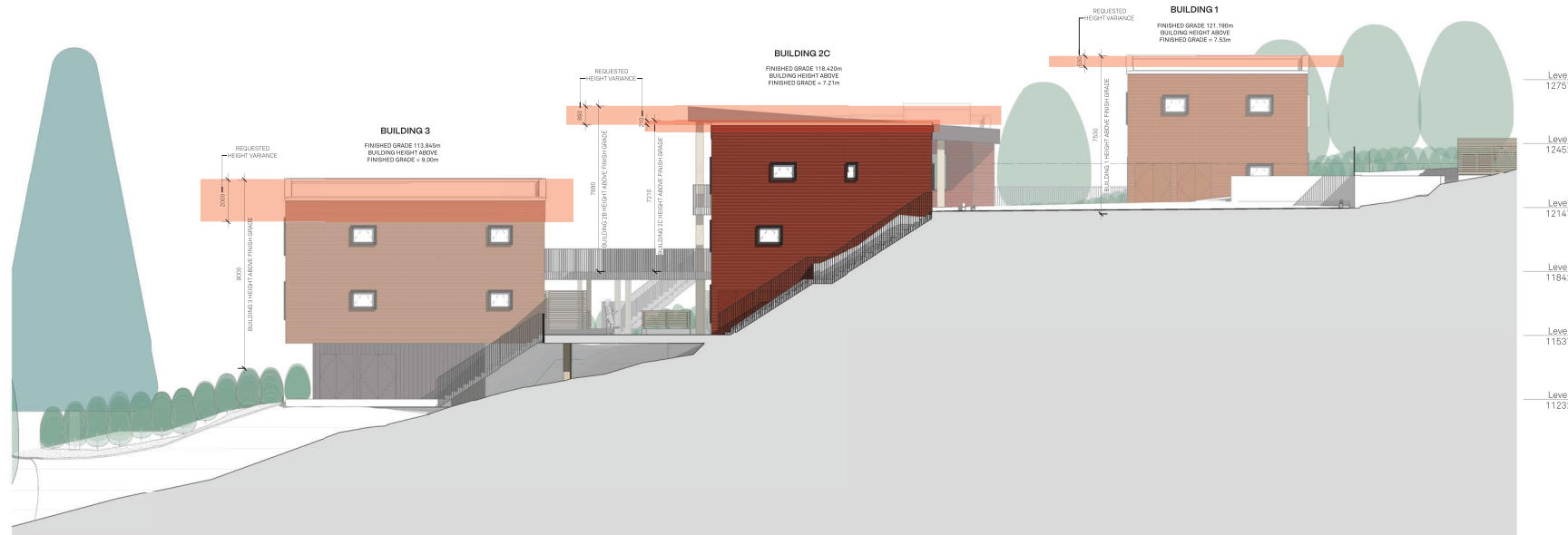
Proposed Site Plan
A1.01

ATTACHMENT D BUILDING ELEVATIONS AND DETAILS



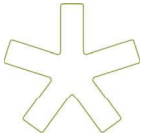
1 East Elevation

A3.01 1:100



2 West Elevation

A3.01 1:100



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2025-07-14 2 DP RESUBMISSION
2024-08-26 1 ISSUED FOR DP

DATE	REV	DESCRIPTION
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2025-07-14	2	DP RESUBMISSION
2024-08-26	1	ISSUED FOR DP

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HS-106

East-West Elevations

A3.01



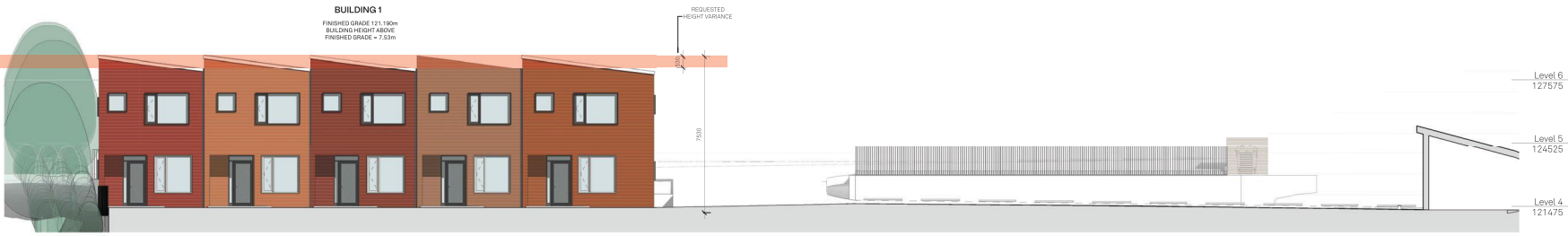
1 North Elevation - Laguna Way

A3.02 1:100



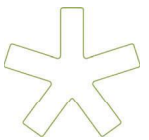
2 North Elevation - Lower Courtyard

A3.02 1:100



3 North Elevation - Upper Courtyard

A3.02 1:100



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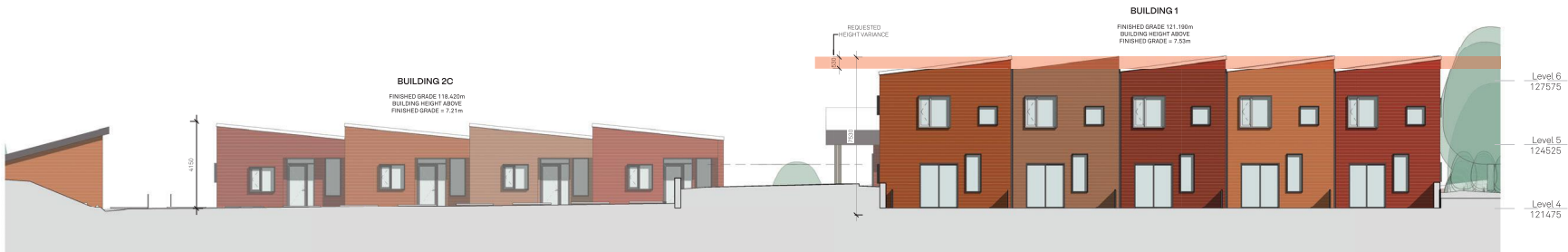
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2026-JUN-09
Current Planning

DATE	REV	DESCRIPTION
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2025-07-14	2	DP RESUBMISSION
2024-08-26	1	ISSUED FOR DP

LOST LAKE COHOUSING

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HS-106

North Elevations
A3.02



1 South Elevation - Upper Parking Lot

A3.03 1:100



2 South Elevation - Upper Courtyard

A3.03 1:100



3 South Elevation - Lower Courtyard

A3.03 1:100



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Current Planning

DATE	REV	DESCRIPTION
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2025-07-14	2	DP RESUBMISSION
2024-08-26	1	ISSUED FOR DP

LOST LAKE COHOUSING

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HS-106

South Elevations
A3.03

ATTACHMENT E BUILDING RENDERINGS

View From Downslope



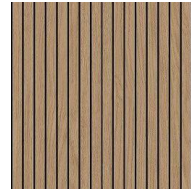
View in Courtyard



Material Overview

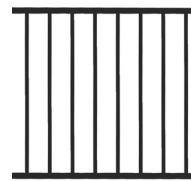
This project embraces traditional West Coast cladding materials and proposes beveled Hardie siding along the facade of the buildings as a reference to the traditional wood siding of many surrounding existing residences while also providing the durability and longevity of a cement board panel. The earthy colour palette takes its cue from the existing natural context of the site, referencing the colours or fallen leaves among the surrounding evergreen vegetation. The colours bring a sense of warmth and intimacy to the grey-green forest surroundings. Wood elements are introduced through the soffits and decking for additional notes of warmth. Concrete pavers are proposed for the courtyard walkways and the scaled-down versions of the same pavers are used for the ground-floor patios to highlight the transition and gradation from public to private. The railings and trim frame the colours and living spaces with a darker tone to recede from the foreground to help highlight the colours of the cladding.

Roof Soffit

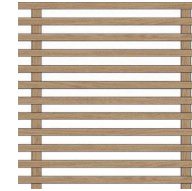


Wood Planks

Fencing Railing and Screen



Charcoal Aluminum Railing



Privacy Screen
50mm x 50mm/50mm x 100mm Wood Slats



Building Facade Hardie Siding



Colour 01



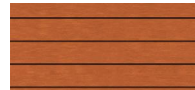
Colour 02



Colour 03



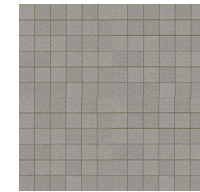
Colour 04



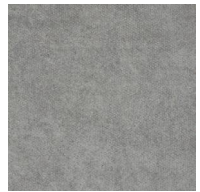
Colour 05



Exterior Floor Surfaces Walkways and Patios



Patio
0.15m x 0.15m Concrete Pavers



Exterior Stairs
Concrete



Courtyard Walkway
0.6m x 0.6m Concrete Pavers



Exterior Walkway at Grade
Wood Decking Boards

ATTACHMENT F SHADOW STUDY



1 Spring Equinox (March 19, 2024, 9am)
A5.01 1:500

2 Spring Equinox (March 19, 2024, 12pm)
A5.01 1:500

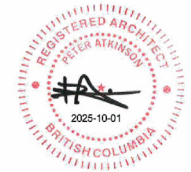


3 Spring Equinox (March 19, 2024, 3pm)
A5.01 1:500



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2025-OCT-03
Current Planning

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2025-07-14	2	DP RESUBMISSION
2024-08-26	1	ISSUED FOR DP

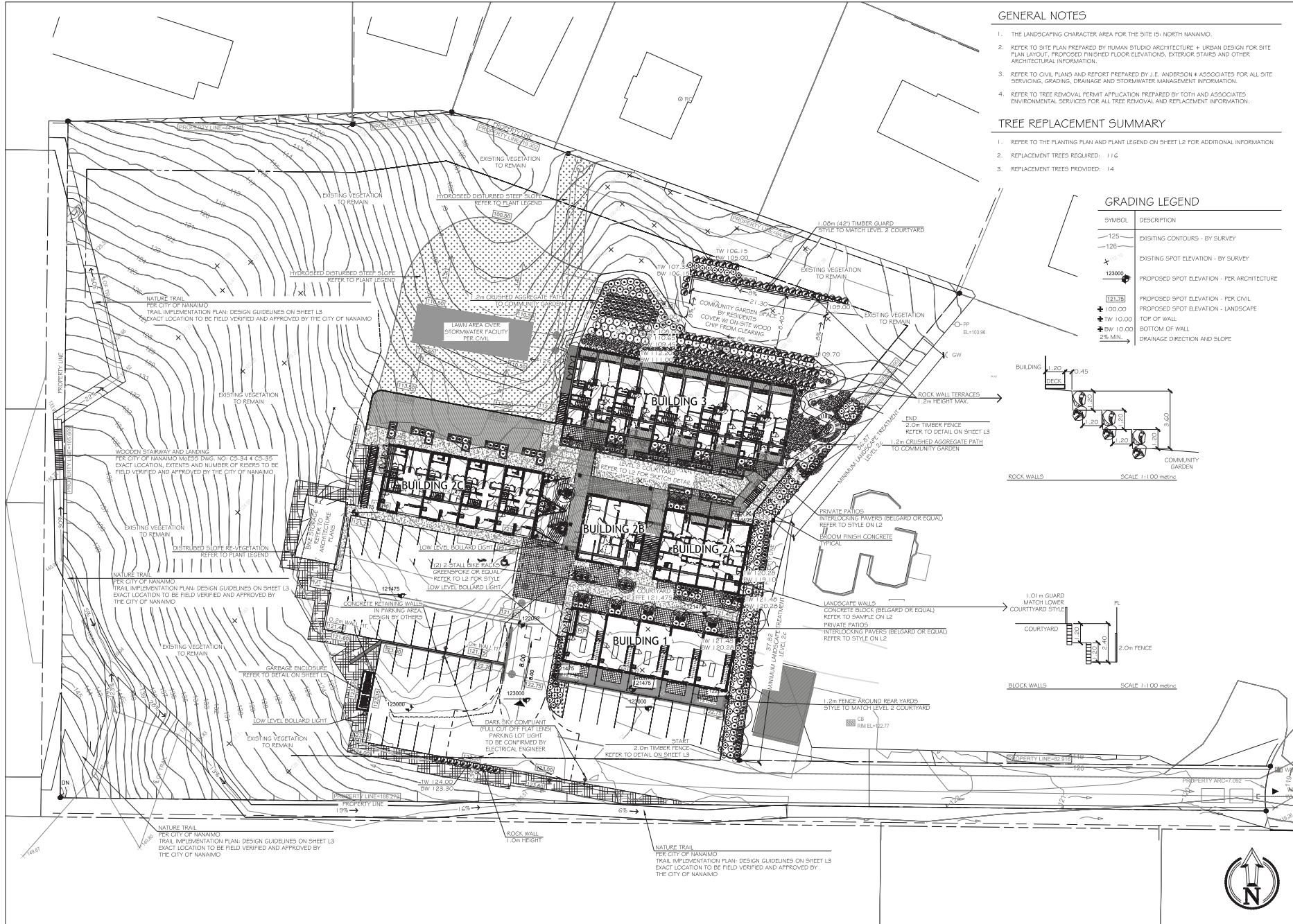
DATE	REV	DESCRIPTION
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LOST LAKE COHOUSING

TRUE NORTH
①
Amisto
HS-106

Shadow Studies
A5.01

ATTACHMENT G LANDSCAPE PLANS & DETAILS



GENERAL NOTES

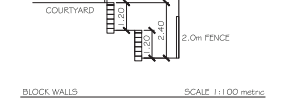
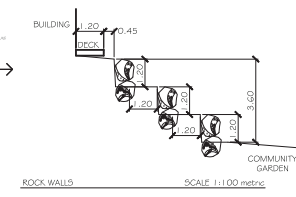
1. THE LANDSCAPING CHARACTER AREA FOR THE SITE IS: NORTH NANAIMO.
2. REFER TO SITE PLAN PREPARED BY HUMAN STUDIO ARCHITECTURE + URBAN DESIGN FOR SITE PLAN LAYOUT, PROPOSED FINISHED FLOOR ELEVATIONS, EXTERIOR STAIRS AND OTHER ARCHITECTURAL INFORMATION.
3. REFER TO CIVIL PLANS AND REPORT PREPARED BY J.E. ANDERSON & ASSOCIATES FOR ALL SITE SERVING, GRADING, DRAINAGE AND STORMWATER MANAGEMENT INFORMATION.
4. REFER TO TREE REMOVAL PERMIT APPLICATION PREPARED BY TOTH AND ASSOCIATES ENVIRONMENTAL SERVICES FOR ALL TREE REMOVAL AND REPLACEMENT INFORMATION.

TREE REPLACEMENT SUMMARY

1. REFER TO THE PLANTING PLAN AND PLANT LEGEND ON SHEET L2 FOR ADDITIONAL INFORMATION
2. REPLACEMENT TREES REQUIRED: 116
3. REPLACEMENT TREES PROVIDED: 114

GRADING LEGEND

SYMBOL	DESCRIPTION
—125—	EXISTING CONTOURS - BY SURVEY
—126—	EXISTING SPOT ELEVATION - BY SURVEY
✱	PROPOSED SPOT ELEVATION - PER ARCHITECTURE
123.79	PROPOSED SPOT ELEVATION - PER CIVIL
± 100.00	PROPOSED SPOT ELEVATION - LANDSCAPE
± TW 10.00	TOP OF WALL
± BW 10.00	BOTTOM OF WALL
→	DRAINAGE DIRECTION AND SLOPE



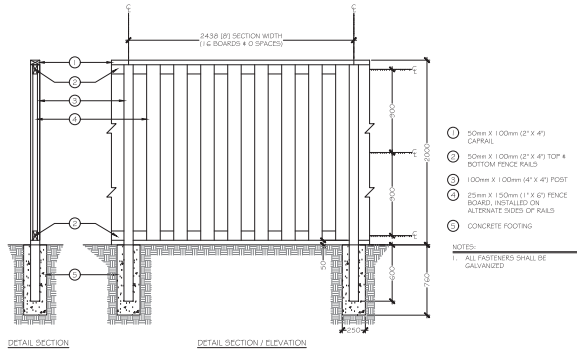
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DP1357
2026-FEB-03
Current Planning

Lost Lake Cohousing Inc.
5180 Universal Place, Nanaimo, BC

LANDSCAPE ARCHITECTURE PLAN	
Date:	January 29, 2026
Drawn:	CW
Checked:	CW
Scale:	1:250 metric
Project Number:	23-0341
DRAWING NUMBER:	L1 of 6

REVISION SCHEDULE	
#	NOTES
0	03JUN2024 DP Coordination
1	19JUN2024 DP Coordination
2	25JUN2024 Issued for DP
3	10SEP2025 Issued for DP
4	29JAN2026 Reissued for DP



A 2.0m Timber Fence
Section/Elevation
1:25 metric

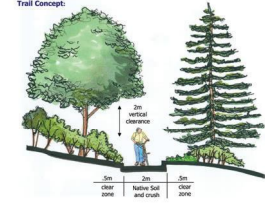
Nature Trail:

Plant Name	Species	Native	Planting Season	Water	Soil	Planting Method	Remarks	Planting	Planting Material	Planting Location	Planting Orientation	Planting Notes
...

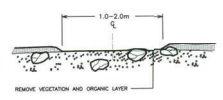


View opp Park Park trail.

Trail Concept:



Construction Detail: Typical Trail



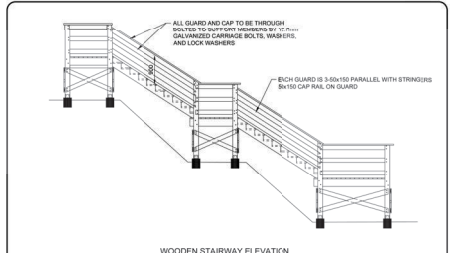
DRAFT Trail Plan: Design Guidelines
March 2021

PLANTING NOTES

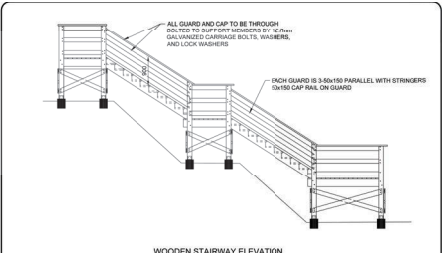
- ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN LANDSCAPE NURSERY ASSOCIATION (CLNA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
- SOIL DEPTHS: SHRUBS - 450mm
TREES - 900mm AROUND AND BELOW ROOTBALL IN PLANTERS
- MULCH SHALL BE COMPOST PER SECTION 1.0 MULCHING OF THE BONTVA BC/SLA BC LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREE AND SHRUB PLANTING AREAS AND PLANTERS.
- PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH BONTVA BC/SLA STANDARDS FOR NURSERY STOCK.
- ALL PLANTING AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR DRIP EQUIPMENT.
- ALL PLANTERS SHALL BE WATERED VIA THE AUTOMATIC IRRIGATION SYSTEM. IRRIGATION EMISSION DEVICES SHALL BE DRIP EQUIPMENT.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
- ALL PLANT MATERIAL SHALL MATCH SPECIES AS INDICATED ON THE PLANTING LEGEND. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

IRRIGATION NOTES

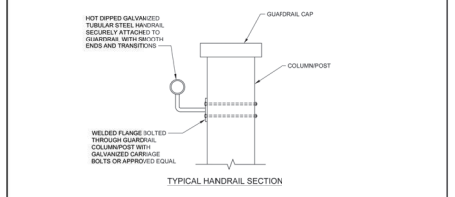
- IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CLNA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
- ALL PLANTING AREAS SHALL BE WATERED VIA THE UNDERGROUND AUTOMATIC IRRIGATION SYSTEM. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR DRIP EQUIPMENT.
- ALL PLANTERS SHALL BE WATERED VIA THE AUTOMATIC IRRIGATION SYSTEM. IRRIGATION EMISSION DEVICES SHALL BE DRIP EQUIPMENT.
- THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPRINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
- ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 50mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
- OPERATE IRRIGATION CONTROLLER WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.



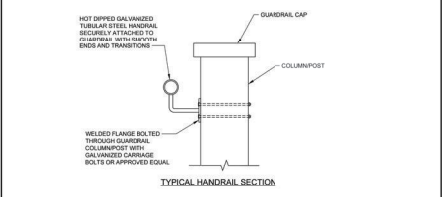
WOODEN STAIRWAY ELEVATION



WOODEN STAIRWAY ELEVATION



TYPICAL HANDRAIL SECTION



TYPICAL HANDRAIL SECTION

- NOTES:**
- ALL TIMBER TO BE PRESSURE TREATED OR APPROVED EQUAL.
 - ALL GUARDRAILS TO BE CONSTRUCTED AS SHOWN.
 - GUARDRAILS REQUIRED ON BOTH SIDES OF STAIRWAY.
 - NO NAILS OR EXPOSURE SCREWS ONLY FOR ATTACHING CAP RAIL AND POSTS.
 - HANDRAILS TO BE INSTALLED ON STAIRS WITH MORE THAN THREE RISERS.
 - HANDRAILS MUST BE GRABABLE 50mm x 40mm REQUIRES VERTICALLY FROM STAIR NOSING LINE.
 - HANDRAILS TO BE HOT DIPPED GALVANIZED STEEL TUBULAR SECTION 48mm DIA x 3.55mm WALL OR APPROVED EQUAL.
 - FOR STAIRWAY DETAILS REFER TO STD. CIVIL CS-26.
 - DIMENSIONS ARE IN MILLIMETERS UNLESS OTHERWISE NOTED.

CITY OF NANAIMO
Date: NTS
Checked: M072021
Rev. Date: M072021
Dwg No: CS-26

HANDRAILS AND STAIRWAYS
GUARDRAIL FOR WOODEN STAIRWAY

CITY OF NANAIMO
Date: NTS
Checked: M072021
Rev. Date: M072021
Dwg No: CS-26

HANDRAILS AND STAIRWAYS
GUARDRAIL FOR WOODEN STAIRWAY



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Current Planning

Lost Lake Cohousing Inc.
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NOTES & DETAILS

Date: April 10, 2023
Drawn: CW
Checked: CW
Scale: 1:250 metric
Project Number: 24-0341
DRAWING NUMBER: **L3** of **6**

#	REVISION	SCHEDULE	NOTES
0	03JUN2024	DP Coordination	
1	19JUN2024	DP Coordination	
2	25JUN2024	Issued for DP	
3	10APR2025	Revised for DP	



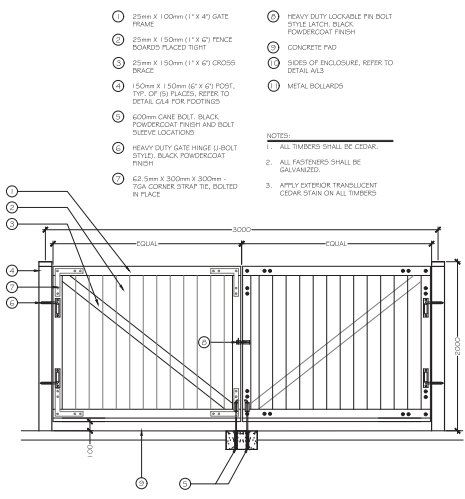
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Lost Lake Cohousing Inc.
 5180 Universal Place, Nanaimo, BC

LEVEL 2 PLAN & DETAIL
 Date: April 10, 2025
 Drawn: CM
 Checked: CM
 Scale: 1:250 metric
 Project Number: 24-0341
 DRAWING NUMBER: **L5 of 6**

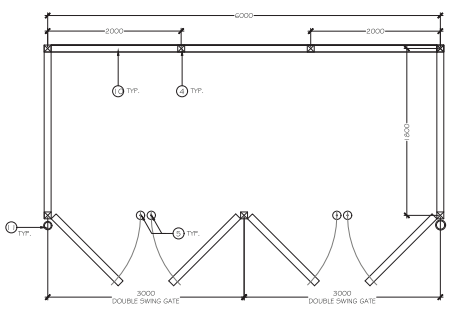
#	REVISION SCHEDULE	NOTES
0	03JUN2024	DP Coordination
1	19JUN2024	DP Coordination
2	25JUN2024	Issued for DP
3	10MPPR2025	Revised for DP



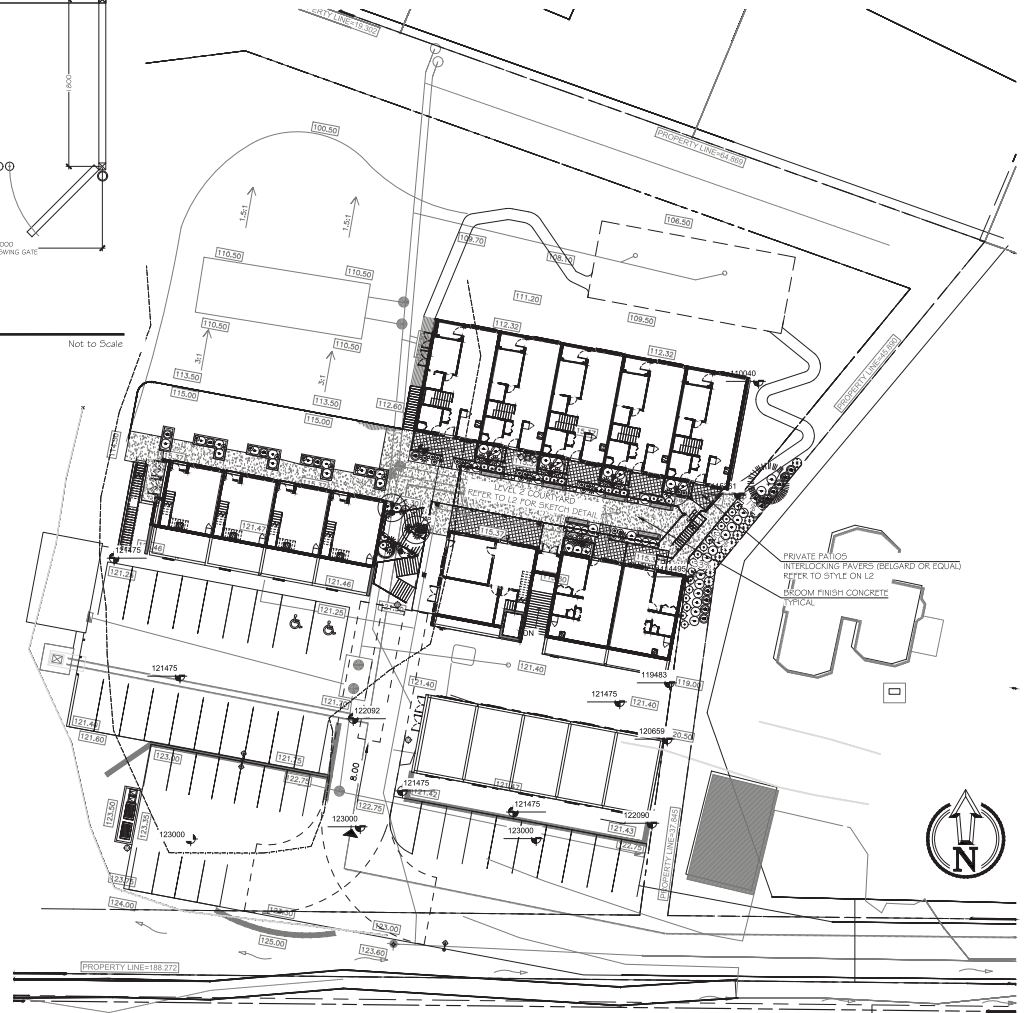
A 2.0m Garbage Enclosure
 Plan Elevation

- 1 25mm x 100mm (1" x 4") GATE FRAME
- 2 25mm x 150mm (1" x 6") FENCE BOARD PLACED TIGHT
- 3 25mm x 150mm (1" x 6") CROSS BRACE
- 4 150mm x 150mm (6" x 6") POST, TYP. OR SS BRACES, REFER TO DETAIL C14 FOR FOOTINGS
- 5 600mm GATE BOLT, BLACK, POWDERCOAT FINISH AND BOLT SLEEVE LOCATIONS
- 6 HEAVY DUTY GATE HINGE IS BOLT STYLE, BLACK POWDERCOAT FINISH
- 7 62.5mm x 300mm x 300mm 70% CORNER STRAP TIE BOLTED IN PLACE
- 8 HEAVY DUTY LOCKABLE PIN BOLT STYLE LATCH, BLACK, POWDERCOAT FINISH
- 9 CONCRETE FND
- 10 SERIES OF ENCLOSURE, REFER TO DETAIL M13
- 11 METAL BOLLARDS

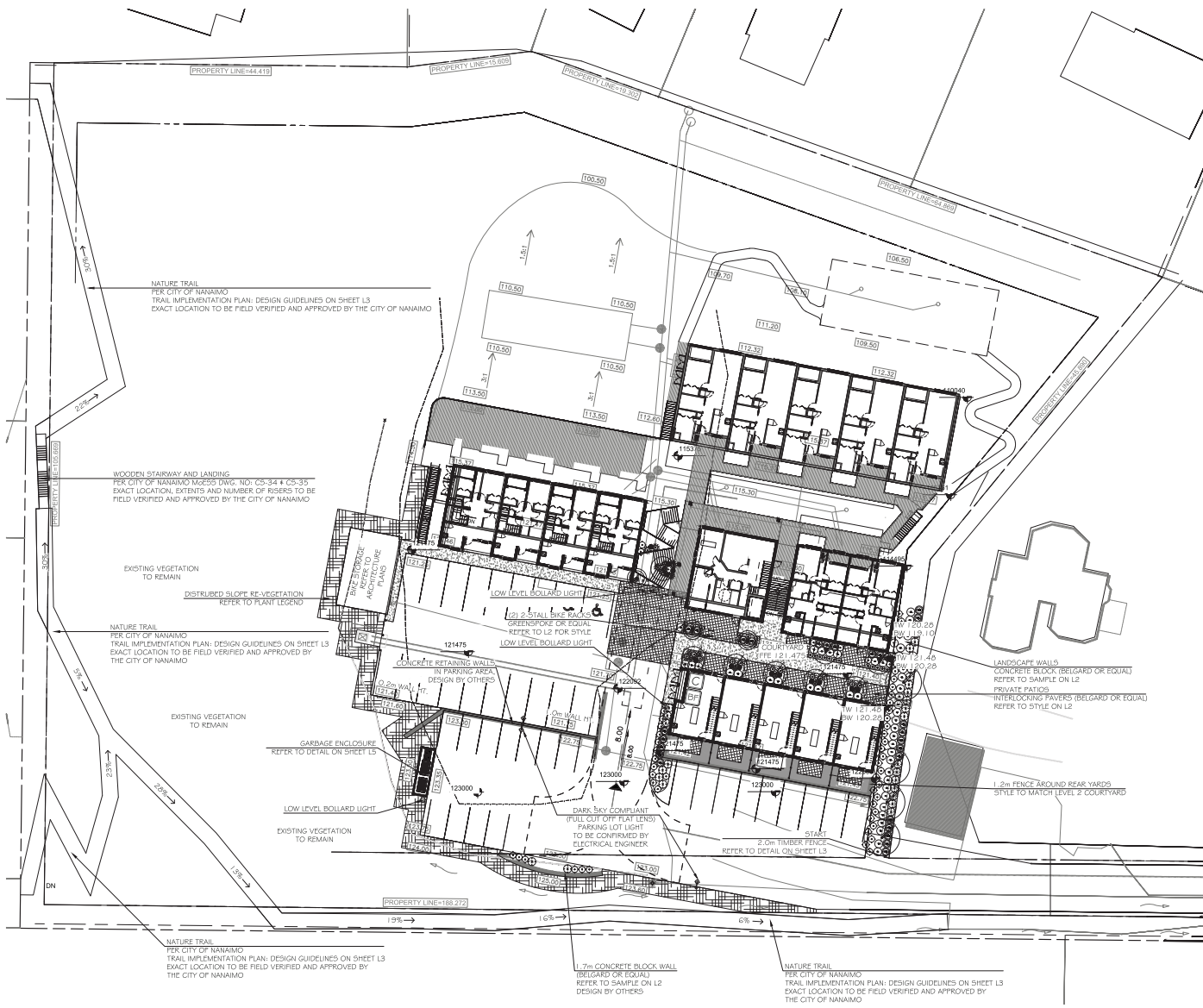
NOTES:
 1. ALL TIMBERS SHALL BE CEDAR.
 2. ALL FASTENERS SHALL BE GALVANIZED.
 3. APPLY EXTERIOR TRANSLUCENT CEDAR STAIN ON ALL TIMBERS



DETAIL PLAN LAYOUT
 NOT TO SCALE



Level 2



Level 4



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LEVEL 4 PLAN	
Date:	April 10, 2023
Drawn:	CW
Checked:	CW
Scale:	1:250 metric
Project Number:	24-0341
DRAWING NUMBER:	L6 of 6

REVISION SCHEDULE		
#	DATE	NOTES
0	03JUN2024	DP Coordination
1	19JUN2024	DP Coordination
2	25JUN2024	Issued for DP
3	10MAY2025	Reissued for DP

