



DEVELOPMENT PERMIT NO. DP001355

**TURNER ROAD NOMINEE LTD.
Owner of Land (Permittee)**

**5730 TURNER ROAD
Civic Address**

1. This development variance permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied by this permit.
2. This permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 10 DISTRICT LOTS 20 AND 30 WELLINGTON DISTRICT PLAN
VIP65104
PID NO. 023-751-720**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit, and any plans and specifications hereto shall form a part thereof.

**Schedule A Subject Property Map
Schedule B Site & Parking Plans
Schedule C Building Elevations & Details
Schedule D Landscape Plan & Details
Schedule E Schedule D – Amenity Requirements for Additional Density**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit prevails over the provisions of the bylaw in the event of conflict.
6. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

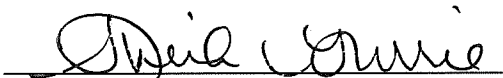
The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 9.7.1 Siting of Buildings* – to increase the maximum permitted height for a principal building from 14.0m to 16.5m.

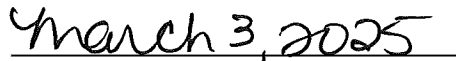
CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site & Parking Plans, prepared by dHK architects, dated 2025-FEB-12 as shown on Schedule B.
2. The development shall be developed in substantial compliance with the Building Elevations & Details, prepared by dHK architects, dated 2024-DEC-20 as shown on Schedule C.
3. The development shall be in substantial compliance with the Landscape Plan and Details prepared by Durante Kreuk Ltd. Landscape Architects, dated 2025-FEB-12, as shown on Schedule D.
4. The subject property shall be developed in accordance with the 'Schedule D – Amenity Requirements for Additional Density', as shown on Schedule E, and to include the following items:
 - a. A letter from the coordinating professional submitted prior to building permit issuance outlining how the required items for additional density will be achieved; and,
 - b. A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 24TH DAY OF FEBRUARY, 2025.


Corporate Officer

Sheila Gurrie
Corporate Officer
City of Nanaimo


Date

Schedule A

[illegible]

5730 TURNER ROAD

SITE & PARKING PLANS



3	25-03-12	ISSUED FOR DP REQUIREMENT	
2	24-10-00	ISSUED FOR DP REQUIREMENT	
1	24-09-04	ISSUED FOR DP	


File:	D:\	Item:	ItemGroup
File Date:	24-03-20	Working File:	Site Plan.dwg
Model:	ORD	Uploaded by:	GTH
Size:	1,300	Project Number:	2405

5730 TURNER

5730 Turner Road
Nanaimo BC

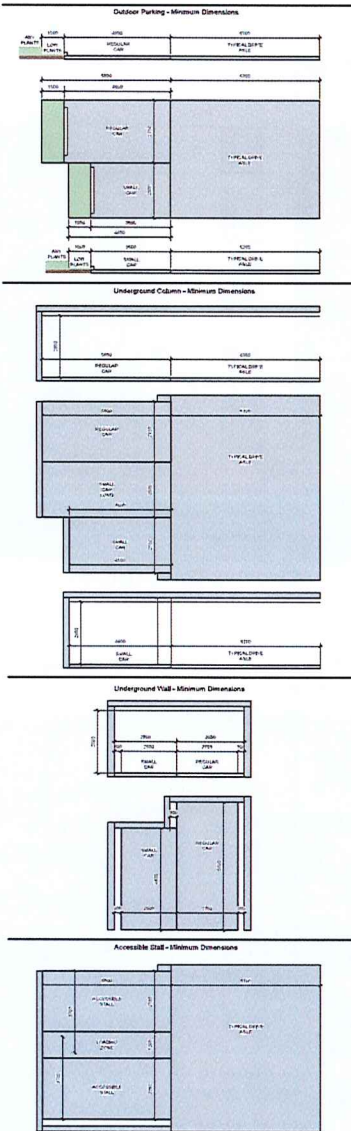
Site Plan

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DP1355
2025-FEB-12
Current Planning

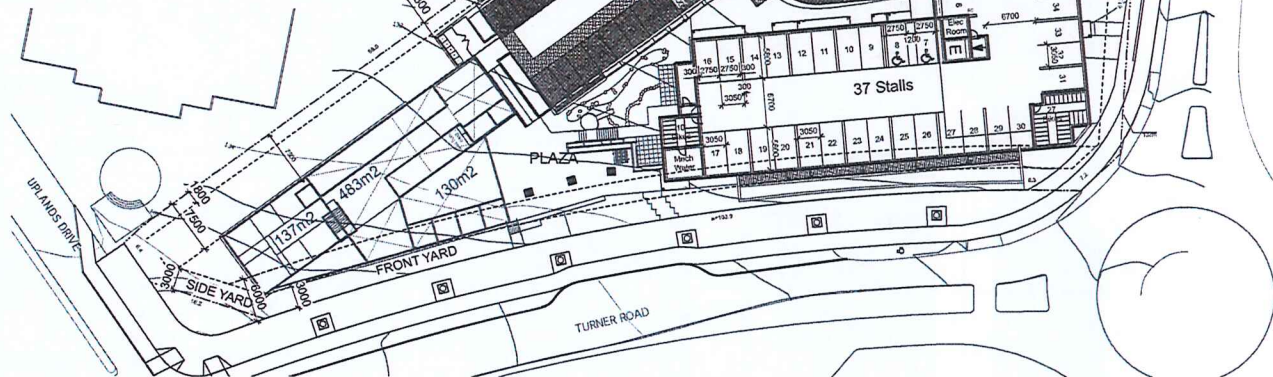
 **A100**

dHKAarchitects
Victoria
677 Fort Street V0V 3K3
Remainle
102-5110 Dublin Way V0V 2K8
T1-250-585-3810

FOR RECENT QUALITY, WE'VE PLANNED AND DESIGNED AND BUILT THE PROPERTY OF DOWNSIDE LTD. IT IS USED FOR THE PROJECT SHOWN AND FOR THE REMAINING OF THE BUILDING. THE DOWNSIDE LTD. PROJECT SHOWN AND FOR THE REMAINING OF THE BUILDING.



Parking		
2025-02-10		
Parking (Area 3)		
2 Bed Stalls	1.44	35
1 Bed Stalls	1.07	48
Studio Stalls	0.9	15
Resident Req	7.3 - 100% Total	98
Resident Provided	-	98
Comm CRU 1 (126m ²)	1/30m ²	4.2
Comm CRU 2 (582m ²)	1/30m ²	19.4
Comm CRU Req		24
Comm provided		24
Total Req	-	122
Total Provided	-	122
Loading	1	1
Accessible	3 for 100 + 1	4.0
Visitor	1 to 22 res stalls	4
EV level 2 (240V) Ready	25%	25
EV level 2 (240V) Wired	75%	74
EV level 1 (120V) Wired	-	0.0
Comm EV level 2 (240V)	5%	1
Total EV		99
Res Bike Short	0.1	9
Res Bike Long	0.5	43
Comm Bike short	.2 / 100 min-6	6
Comm Bike long	.1 / 100	1
33% Small Car Stalls (40 Stalls noted with "sc")		
EV Stall location TBD		
Visitor stalls 54-57 Stalls noted with "V"		



1 PARKING PLAN
Scale: 1:500

2 PARKING DIMS
Scale: 1:100



25-03-12 ISSUED FOR DP REVISIONS
24-10-08 ISSUED FOR DP REVISIONS
24-09-04 ISSUED FOR DP

5730 TURNER
5730 Turner Road
Nanaimo BC
Parking Plan

RECEIVED
DP 1255
2015-FEB-12
Council Planning

A103

dk&K
Victoria
277 Fort Street V8V 3A3
Tel: 250-698-3367
Fax: 250-698-3368
Email: info@dk&k.ca
Website: www.dk&k.ca

2025-02-10
2025-02-10
2025-02-10

Architectural drawing of the West Elevation of the proposed building. The drawing shows a multi-story structure with a central entrance and a parking area below. The elevation is divided into sections by vertical lines, with section numbers 1 through 12 and 15 through 25 indicated. The building height is 148.20m, and the average grade is 131.5m. The drawing includes a scale of 1:100 and a north arrow.

dhka **A301**

dhKardzeds
Victoria
 677 Fort St George V8V 3K3
Herzegovina
 102-5190 Dublin Way V8T 2K8

T 1-250-656-3367
T 1-250-585-5810

CUSTOMERS ADVISED: THESE PLANS AND DESIGNS ARE NOT A FINAL, BIDDING-ADDITIONAL PROPERTY OF DINKARDZEDS LTD. TO BE USED FOR THE PROJECT SHOWN AND MAY ONLY BE MODIFIED BY DINKARDZEDS LTD.



1 South Elevations
Scale: 1:100

Facing Turner Road (South)



2 East Elevations
Scale: 1:100

Facing Turner Road (East)

MATERIAL PALETTE	
1 VERTICAL BOARD AND BATTEN CEMENT PANEL SIDING DARK GREY	14 ALUMINUM CURTAINWALL SYSTEM, IN BLACK
2 VERTICAL PLANK CEMENT PANEL SIDING LIGHT GREY	15 ALUMINUM STOREFRONT GLAZING, IN BLACK
3 PERFORATED SOFFIT, IN DARK GREY	16 ALUMINUM STOREFRONT DOORS, IN BLACK
4 PERFORATED SOFFIT WOODLOOK PLANK, IN DOUGLAS FIR	17 VINYL DIVING GLASS DOOR, IN BLACK
5 WOODLOOK PLANK CLADDING, IN DOUGLAS FIR	18 VINYL WINDOWS, IN BLACK
6 FIBRE CEMENT PLANK LAP SIDING, WOOD GRAIN FINISH, IN DARK GREY	19 CONCRETE WALL, SACK FINISHED, PAINT SEALED
7 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WHITE	20 LOW SLOPED MEMBRANE ROOF, IN DARK GREY TONES, WITH PARAPET AND CAP FLASHING
8 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN LIGHT GRAY	21 BRICK, FIBRE CEMENT PANEL SIDING, WITH ALUMINUM CAP FLASHING COLOUR TO MATCH FAZCA
9 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN DARK GRAY	22 SIGNAGE
10 VINYL DECKING, LIGHT GREY TONES	23 PLANTERS, REFER TO LANDSCAPE ARCHITECT PACKAGE
11 PASCA-MOUNTED ALUMINUM GUARDRAIL AND RAILING, POWDER COATED, BLACK, WITH CLEAR GLASS INFILL VISION PANELS	24 ELEVATOR OVER-RUN
12 COLUMNS, COLOUR TO MATCH DARK GREY	25 MECHANICAL ROOM
13 LOW SLOPED MEMBRANE DECK, IN DARK GREY TONES	26 PORCHADE OVERHEAD DOOR, PICKET STYLE, IN BLACK
	27 STEEL DOOR, IN BLACK
	28 STONE
	29 WOOD STRUCTURE

*NOTE: FLASHING TO COLOUR MATCH MATERIALS
*NOTE: ILLUSTRATED BUILDING DAMAGE IS PLACEHOLDER AND IS TO BE COMPLETED VIA SEPARATE DAMAGE APPLICATION TO THE CITY OF NANAIMO
*NOTE: DAMAGE REQUIREMENTS

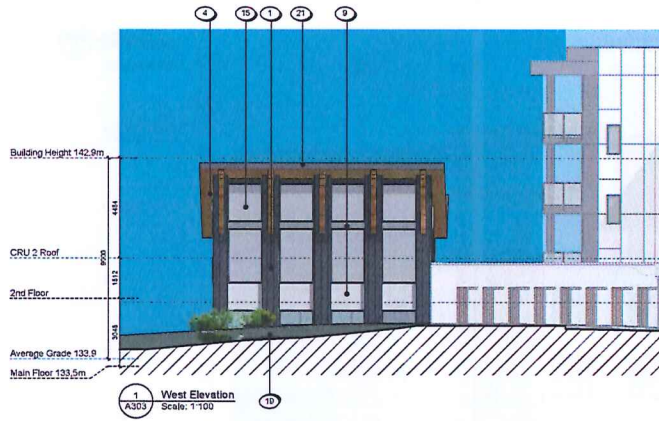
RECEIVED
DP1355
2025-JAN-08
Current Planning

2 24-10-24 ISSUED FOR DP REQUIREMENTS
1 24-05-24 ISSUED FOR DP

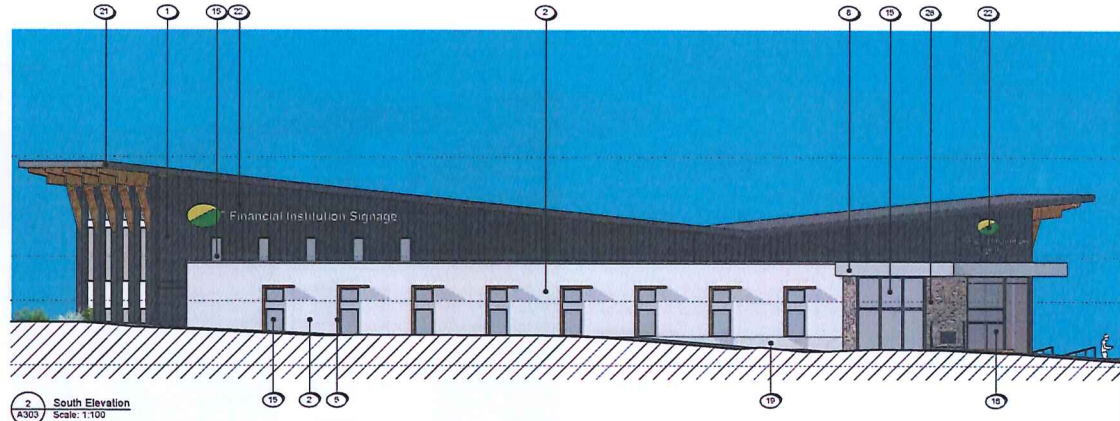
File	Date	Description	Site Plan.pdf
24-09-24	24-09-24	ISSUED FOR DP	0204
24-05-24	24-05-24	ISSUED FOR DP	2403

5730 TURNER
5730 Turner Road
Nanaimo, BC
South and East
Elevations - Residential

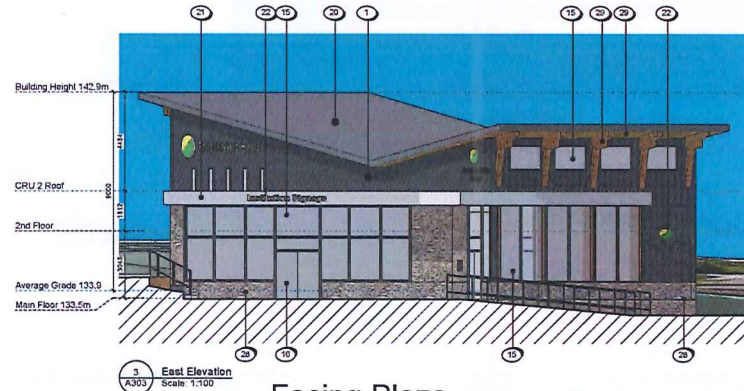
A302
dHKA
5730 Turner Road
Nanaimo, BC
V9T 2G8
T 1-250-555-3357
F 1-250-555-3357
www.dhka.ca



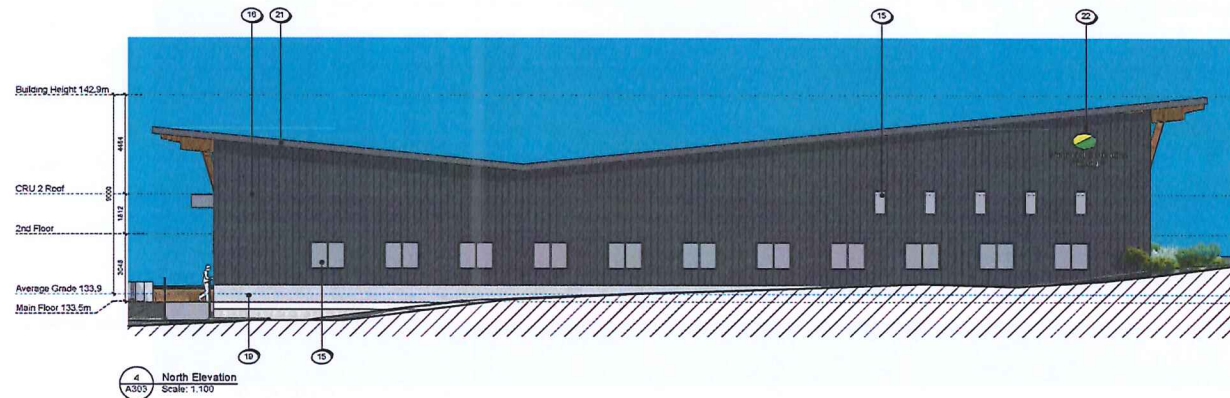
Facing Uplands Drive



Facing Turner Road



Facing Plaza



MATERIAL PALETTE

- | | |
|---|---|
| 1 VERTICAL BOARD AND BATTEN CEMENT PANEL SIDING DARK GREY | 16 ALUMINUM CURTAINWALL SYSTEM, IN BLACK |
| 2 VERTICAL PLANK CEMENT PANEL SIDING LIGHT GREY | 17 ALUMINUM STOREFRONT GLAZING, IN BLACK |
| 3 PERFORATED SOFFIT, IN DARK GREY | 18 ALUMINUM STOREFRONT DOORS, IN BLACK |
| 4 WOOD-LOOK PLANK CLADDING, IN DOUGLAS FIR | 19 VINYL SIDING SLATE DOOR, IN BLACK |
| 5 FIBRE CEMENT PLANK SIDING, SMOOTH FINISH, IN WHITE | 20 VINYL SIDING, IN BLACK |
| 6 WOOD GRAIN FINISH, IN DARK GREY | 21 CONCRETE WALL, SACK FINISHED, PAINT SEALED |
| 7 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN LIGHT GREY | 22 LOW SLOPED MEMBRANE ROOF, IN DARK GREY TONES, WITH PARAPET AND CAP FLASHING |
| 8 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN DARK GREY | 23 FLASHING, FIBRE CEMENT PANEL SIDING, WITH ALUMINUM CAP FLASHING COLOUR TO MATCH FASCIA |
| 9 VINYL DECAYS, LIGHT GREY TONES | 24 SIGNAGE |
| 10 FASCIA-MOUNTED ALUMINUM GUARDRAIL AND RAILING, POWDER COATED, BLACK, WITH CLEAR GLASS INFILL VISION PANELS | 25 PLANTERS, REFER TO LANDSCAPE/ARCHITECT PACKAGE |
| 11 COLUMNS, COLOUR TO MATCH DARK GREY | 26 ELEVATOR OVER-RUN |
| 12 LOW SLOPED MEMBRANE DECK, IN DARK GREY TONES | 27 MECHANICAL ROOM |
| | 28 PARADE OVERHEAD DOOR, PICKET STYLE, IN BLACK |
| | 29 STEEL DOOR, IN BLACK |
| | 30 STONE |
| | 31 WOOD STRUCTURE |

* NOTE: FLASHING TO COLOUR MATCH MATERIALS

* NOTE: ILLUSTRATED BUILDING SIGNAGE IS PLACEHOLDER AND IS TO BE CONFIRMED IN A SEPARATE SIGNAGE APPLICATION TO MEET CITY OF NANAIMO SIGNAGE REQUIREMENTS

RECEIVED
DP1355
2025-JAN-08
Current Planning

2	24-12-20	ISSUED FOR DP REVIEW/DESIGN
1	24-09-24	ISSUED FOR DP
DATE	DATE	DESCRIPTION
24-12-20	24-09-24	Site Plan/perm
DATE	DATE	DESCRIPTION
24-12-20	24-09-24	DTN
DATE	DATE	DESCRIPTION
24-12-20	24-09-24	DATE

NOTE: All dimensions are shown in millimeters.

5730 TURNER
5730 Turner Road
Nanaimo, BC
Elevations - Commercial

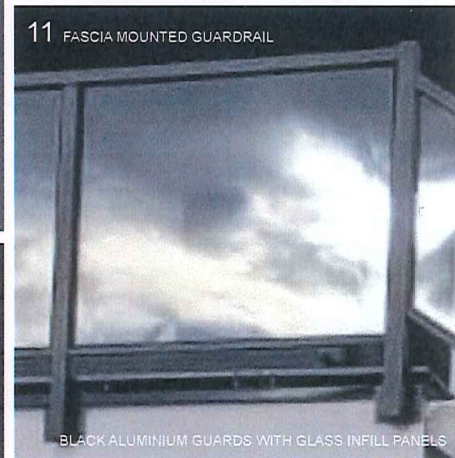
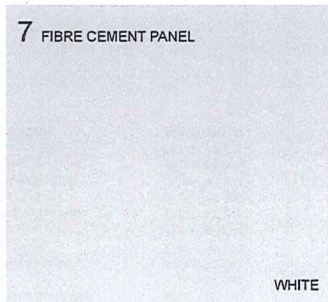
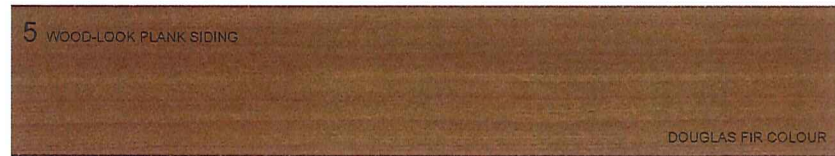
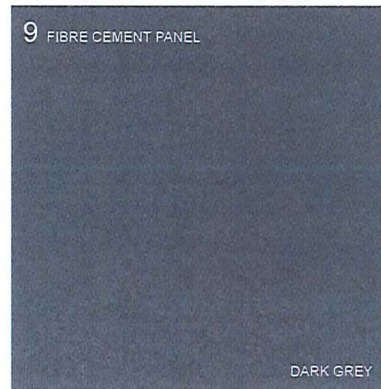
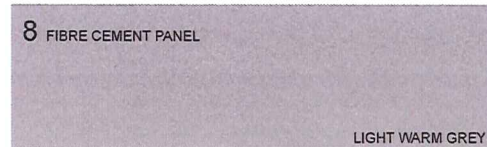
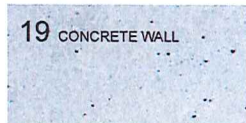
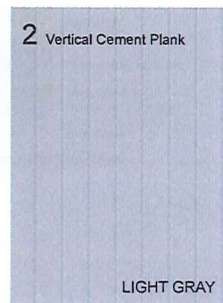
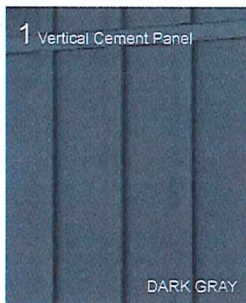


MATERIAL PALETTE

- 1 VERTICAL BOARD AND BATTEN CEMENT PANEL, SIDING DARK GRAY
- 2 VERTICAL PLANK CEMENT PANEL, SIDING LIGHT GRAY
- 3 PERFORATED SOFFIT, IN DARK GRAY
- 4 WOOD-LOOK PLANK CLADDING, IN DOUGLAS FIR
- 5 FIBRE CEMENT PLANK (LAP SIDING), WOOD GRAIN FINISH, IN DARK GRAY
- 6 FIBRE CEMENT PANEL, SIDING, SMOOTH FINISH, IN WHITE
- 7 FIBRE CEMENT PANEL, SIDING, SMOOTH FINISH, IN LIGHT GRAY
- 8 FIBRE CEMENT PANEL, SIDING, SMOOTH FINISH, IN DARK GRAY
- 9 VINYL DECOR, LIGHT GRAY TONES
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- 11 COLLARNS, COLOUR TO MATCH DARK GRAY
- 12 LOW SLOPED MEMBRANE DECK, IN DARK GRAY TONES

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- 16 VINYL WINDOW GLASS DOOR, IN BLACK
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- 18 CONCRETE WALL, BACK FINISHED, PAINT EDGLED
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- 20 FASCIA, FIBRE CEMENT PANEL, SIDING, WITH ALUMINIUM CAP FLASHING COLOUR TO MATCH FASCIA
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- 22 PLANTERS, REFER TO LANDSCAPE ARCHITECT PACKAGE
- 23 ELEVATOR OVER-TURN
- 24 MECHANICAL ROOM
- 25 PARKADE OVERHEAD DOOR, PICKET STYLE, IN BLACK
- 26 STEEL DOOR, IN BLACK
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- 28 WOOD STRUCTURE

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DP1355
2025-JAN-08
Current Planning

2	34-10-08	ISSUED FOR DP REVISIONS
1	24-05-04	ISSUED FOR DP
Proj	24-09-05	Project No.
Drawn by	DRS	Drawn by
Scale	1:500	Scale

5730 TURNER
5730 Turner Road
Nanaimo, BC
Material Board



LANDSCAPE PLAN & DETAILS

DRAWING LIST

SHEET	DRAWING TITLE	SCALE
L000	Cover Page	
L100	Landscape Site Plan	1/32" = 1'-0"
L101.1	Material and Grading Plan Ground Level West	1/16" = 1'-0"
L101.2	Material and Grading Plan Ground Level East	1/16" = 1'-0"
L102.1	Planting Plan Ground Level West	1/16" = 1'-0"
L102.2	Planting Plan Ground Level East	1/16" = 1'-0"
L201	Sections	AS SHOWN
L301	Details	AS SHOWN

LANDSCAPE NOTES

- All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
- Plant sizes and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes J3 and smaller, plant sizes shall be as shown in the plant list and the Standard; for all other plants, both plant size and container class shall be as shown in the plant list. Specifically, when the plant list call for J5 class containers, these shall be as defined in the CNLA (ANSI) Standard.
- Area of search for specified plant material shall include the Lower Mainland of British Columbia, Vancouver Island, Washington and Oregon States.
- All plant material used on this project shall be hardy in this climate. Plant types have been selected with this as a primary criteria. This Contractor shall guarantee that plant material supplied has equal provenance, i.e. it is developed from cuttings or seeds collected in an area of similar climatic characteristics.
- Substitutions in plant material will not be considered unless written proof is submitted thirty (30) days prior to scheduled installation stating a specified plant cannot be obtained within the specified area of search.
- All trees to be staked in accordance with CNLA Standards.
- For all existing on site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within six (6) months of the date of issuance of any required occupancy permit, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good conditions.

OFF-SITE PLANTING NOTES

- Street tree final spacing and quantity to the approval of City of Nanaimo Engineering.
- Street tree final species to the approval of City of Nanaimo Parks, Recreation and Culture Department.
- Approved root barrier to be installed per City of Nanaimo standard, 6" (2.4m) long and 18" (450mm) deep.







ADDITIONAL NOTES

- All sidewalk between curb and property line are to be reconstructed fully at the applicant's expense.
- This plan is NOT FOR CONSTRUCTION and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans receive "For Construction" approval and related permits are issued. Please contact Engineering, Development Services and/or your Engineering Building Site Inspector for details.
- Final spacing, quantity and tree species to the satisfaction of the General Manager of Engineering Services. New trees must be of good standard. Installed with approved root barriers and appropriate soil. Root barriers shall be of rigid construction, 8 feet long and 18 inches in depth. Planting depth of root ball must be below sidewalk grade. Call Parks, Recreation and Culture Department for inspection after tree planting completion.









IRRIGATION NOTES

- All on-site "Soft Landscape Areas" are to be irrigated with high-efficiency automatic irrigation systems, including rain sensors, to IABC Standards.
- Irrigation sub-outs and hose bib locations will be provided to mechanical and electrical consultants for coordination.
- Irrigation system is a design-build. Landscape contractor to provide irrigation design/layout for review by Landscape Consultant for approval.
- No visible irrigation lines will be accepted.
- All irrigation boxes to be equipped with quick couplers.
- Irrigation controller to be located in mechanical room.



SOFT LANDSCAPE

Legend	Description
	ORNAMENTAL PLANTING NATIVE OR ADAPTIVE
	NATURALIZED PLANTING
	LAWN AREA
	PROPOSED DECIDUOUS TREE
	PROPOSED CONIFEROUS TREE
	EXISTING TREES TO BE REMAINED

HARD LANDSCAPE

Legend	Description
	CIP CONCRETE SIDEWALK Pedestrian only - to CoN Engineering Standard
	CIP CONCRETE PAVING Finish: Broom
	HYDRAPRESSED SLABS Type: Textada Size: 24" x 24"
	UNIT PAVER Size: 4" x 8"
	GRAVEL Type: 1 1/2" Rounded River Rock
	PARKING LOT PAVING ASPHALT - REFER TO CIVIL
	BIKE LANE PAVING ASPHALT - REFER TO CIVIL
	PERMEABLE PAVING PERMEABLE PAVERS

FURNISHING + STRUCTURE

Legend	Description
	METAL BIKE RACK Model: Hi-Lo
	WOOD TIMBER BENCH Cedar Wood

Note: Deficit of 29 replacement trees will be resolved by cash in lieu. Client to confirm.

PLANT LIST

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	1	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	6 cm cal. B+B
	2	Acer rubrum 'October Glory'	October Glory Red Maple	6 cm cal. B+B
	6	Alnus rubra	Red Alder	6 cm cal. B+B
	3	Cercis canadensis	Eastern Redbud	6 cm cal. B+B
	9	Chamaecyparis nootkatensis	Yellow cedar	2 mht. B+B
	4	Cornus 'Eddie's White Wonder'	Eddie's White Wonder Dogwood	6 cm cal. B+B
	1	Cornus controversa	Giant Dogwood	5 cm cal. B+B
	3	Cornus nuttallii	Pacific dogwood	5 cm cal. B+B
	15	Pseudotsuga menziesii	Douglas fir	2 mht. B+B
	1	Quercus garryana	Oregon white oak	8 cm cal. B+B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	160	Arbutus unedo	Compact Strawberry Bush	#3 pot / 48" O.C.
	550	Buxus microphylla 'Green Beauty'	Littleleaf Boxwood	#2 pot / 24" O.C.
	123	Calluna vulgaris 'Aurea'	Aurea Heather	#1 pot / 16" O.C.
	112	Ceanothus velutinus	Snowbrush	#3 pot / 48" O.C.
	151	Fothergilla gardenii	Fothergilla gardenii	#2 pot / 24" O.C.
	29	Holodiscus discolor	Ocean Spray	#2 pot / 48" O.C.
	73	Hydrangea arborescens	Anabel hydrangea	#2 pot / 24" O.C.
	23	Leodum groenlandicum	Bog Labrador Tea Plant	#3 pot / 48" O.C.
	8	Morella californica	Pacific Wax Myrtle	#5 pot / 72" o.c.
	68	Myrica gale	Sweetgale	#4 pot / 48" O.C.
	98	Rhododendron macrophyllum	Pacific Rhododendron	#3 pot / 48" o.c.
	306	Rosa nutkana	Nootka Rose	#2 pot / 24" O.C.
	105	Salix purpurea 'Nana'	Dwarf Arctic Blue Leaf Willow	#3 pot / 48" O.C.
GROUNDCOVERS, GRASSES, FERNS & VINES	QTY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
	49	Achillea millefolium	Common Yarrow	#2 pot / 10" O.C.
	17	Aronium dioicus	Goat's Beard	#2 pot / 36" O.C.
	335	Cassiope mertensiana	White Mountain Heather	#2 pot / 18" O.C.
	88	Erica x darleyensis 'Mediterranean white'	Heath	#1 pot / 24" O.C.
	411	Iris missouriensis	Road Mountain Iris	#1 pot / 12" O.C.
	464	Juncus effusus	Rush or Sedge	#1 pot / 12" O.C.
	388	Juniperus horizontalis 'Willowii'	Blue Rug Juniper	#2 pot / 24" O.C.
	44	Lavandula angustifolia 'Blue Cushion'	Blue Cushion Lavender	#2 pot / 30" O.C.
	878	Liriope muscari	Big Blue Lily Turf	#1 pot / 18" O.C.
	45	Pennisetum alopecuroides 'Hamelii'	Dwarf Fountain Grass	#2 pot / 30" O.C.
	771	Polystichum munitum	Sword Fern	#3 pot / 24" O.C.
	70	Rosa White Meidland	Groundcover Rose	#2 pot / 24" o.c.
	132	Spiraea betulifolia	Birch-leaf Spiraea	#2 pot / 36" O.C.

2	2025-03-12	ISSUED FOR DP REVISIONS
2	2024-10-20	ISSUED FOR DP REVISIONS
1	2023-10-18	ISSUED FOR DP

REV.	Date	Notes
Revisions:		
Stamp:		

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P 604.684.0571 | F 604.684.0577 | www.dkla.ca

DISTRICT

Project:
TURNER ROAD
5730 TURNER ROAD,
NANAIMO, BC

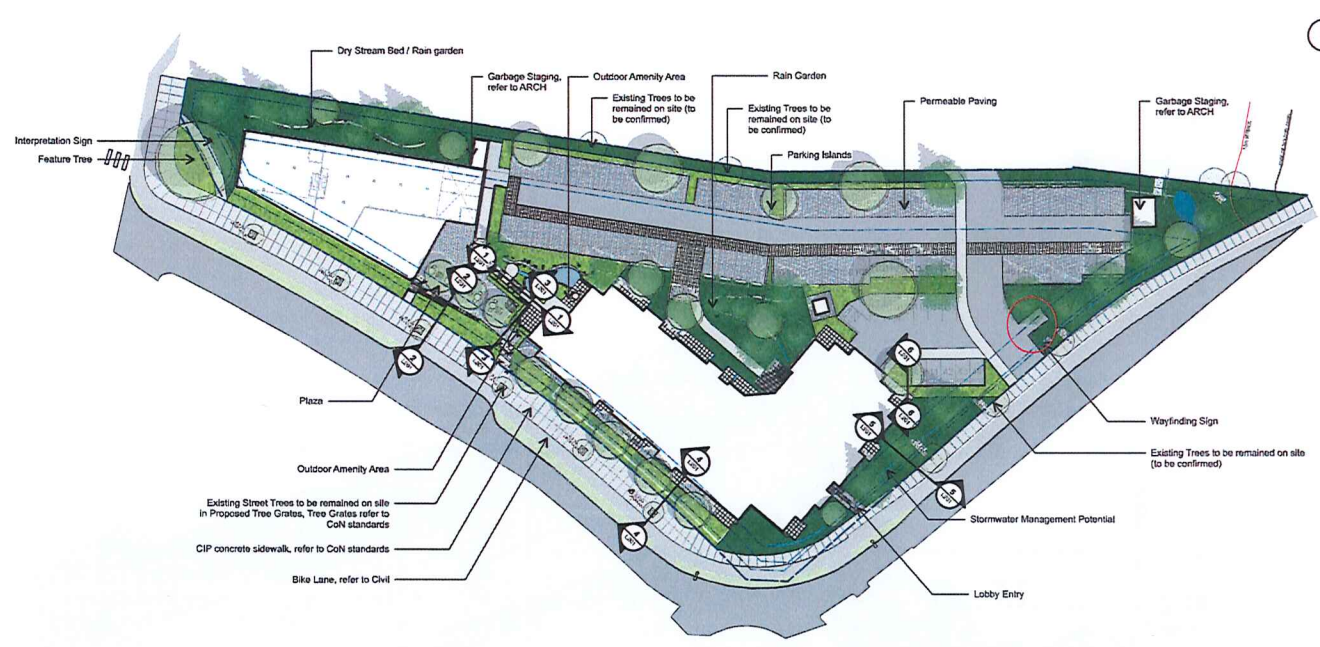
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Date:	FEB 12 2025
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Drawing Title:	

Cover Page

Project No.:	23034
Sheet No.:	

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3	2025-02-12	ISSUED FOR DP REDUSSION
2	2024-10-20	ISSUED FOR DP REDUSSION
1	2023-10-18	ISSUED FOR DP
rev.	date	item
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 Client:
DISTRICT

Project:
TURNER ROAD

**5730 TURNER ROAD,
 NANAIMO, BC**

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Landscape Site Plan

Project No.:	23034
Sheet No.:	

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GROUND LEVEL DESIGN



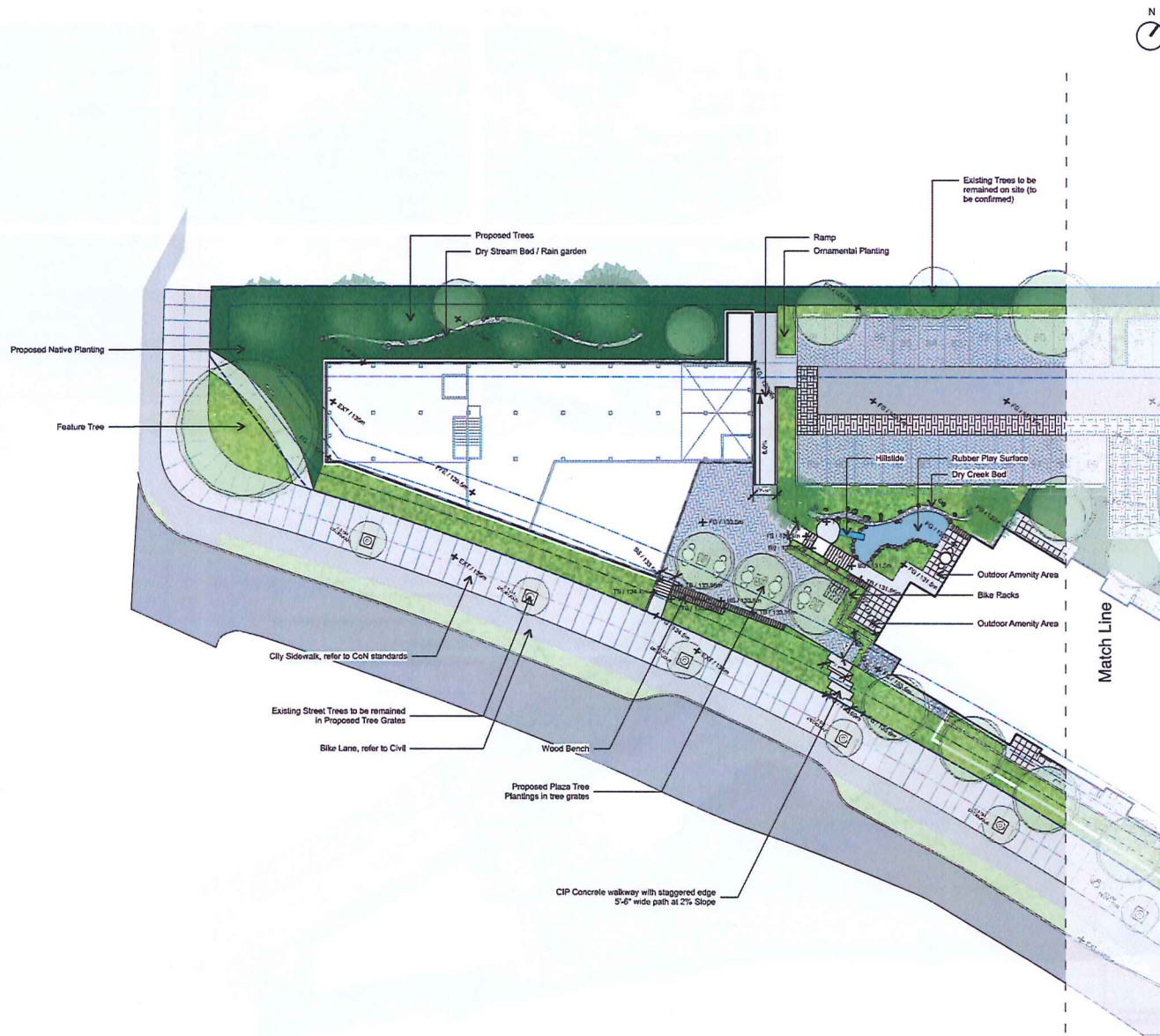
NATIVE PLANTINGS



RAIN GARDENS



LOWER LEVELS PATIO SEATING



3	2023-04-12	ISSUED FOR DP REVIEW/REVISION
2	2024-10-20	ISSUED FOR DP REVIEW/REVISION
1	2023-10-18	ISSUED FOR DP

Revisions:

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Client:

DISTRICT

Project:

TURNER ROAD

**5730 TURNER ROAD,
NANAIMO, BC**

Drawn by:	DC
Checked by:	DC
Date:	FEB 12 2025
Scale:	1/16" = 1'-0"
Drawing Title:	

**Material and Grading
Plan Ground Level
West**

Project No.:
23034

Sheet No.:

L101.1

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3	2025-02-12	ISSUED FOR DP REVISION
2	2024-12-01	ISSUED FOR DP REVISION
1	2023-10-18	ISSUED FOR DP
Rev.	Date	Notes
Revisions:		
Stamp:		

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 P 604.694.6511 | F 604.694.6577 | www.dk-lab.com
 Client:

DISTRICT

Project:
TURNER ROAD

**5730 TURNER ROAD,
 NANAIMO, BC**

Drawn by: DC
 Checked by: DC
 Date: FEB 12 2025
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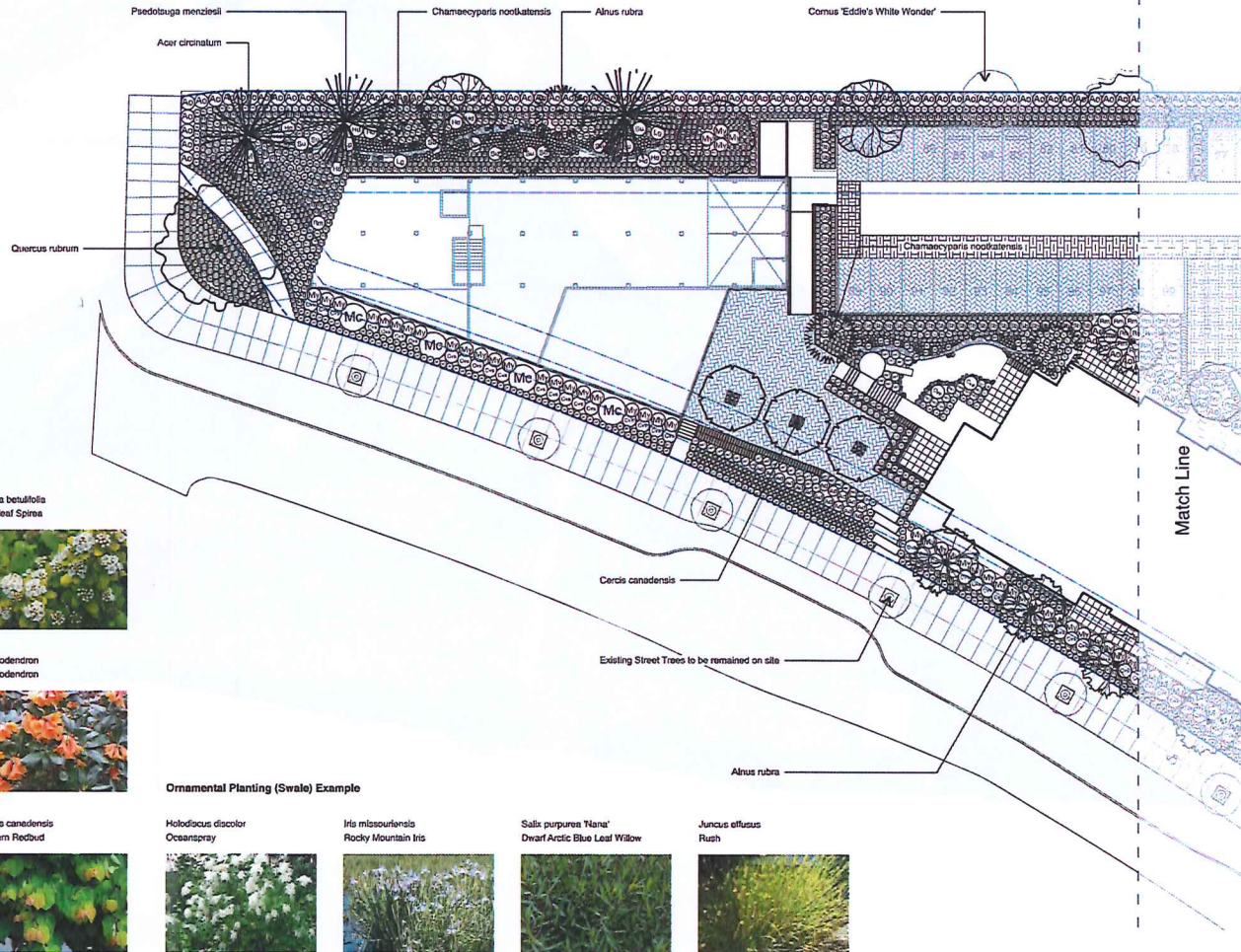
**Material and Grading
 Plan Ground Level
 East**

Project No.:
23034
 Sheet No.:

L101.2

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 DP1355
 2025-FEB-12
 Current Planning

Note: Deficit of 33 replacement trees will be resolved by cash in lieu. Client to confirm.



Ornamental Planting Example

Buxus microphylla 'Green Beauty'
Littleleaf Boxwood



Kalmia latifolia 'Alba'
Mountain Laurel



Calluna vulgaris 'Silver Knight'
Silver Knight



Liriope muscari
Big Blue Lily Turf



Lavandula angustifolia 'Blue Cushion'
Blue Cushion Lavender



Spiraea betulifolia
Birchleaf Spirea



Rhododendron
Rhododendron



Cercis canadensis
Eastern Redbud



Ornamental Planting (Swale) Example

Holodiscus discolor
Oceanspray



Iris missouriensis
Rocky Mountain Iris



Salix purpurea 'Nana'
Dwarf Arctic Blue Leaf Willow



Juncus effusus
Rush



2	2023-04-10	ISSUED FOR DP REVISION
2	2024-10-20	ISSUED FOR DP REVISION
1	2025-10-18	ISSUED FOR DP
Rev.	Date	Item

Revisions:

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Client:

DISTRICT

Project:

TURNER ROAD

**5730 TURNER ROAD,
NANAIMO, BC**

Drawn by:	DC
Checked by:	DC
Date:	FEB 12 2025
Scale:	1/16" = 1'-0"
Drawing Title:	

**Planting Plan Ground
Level West**

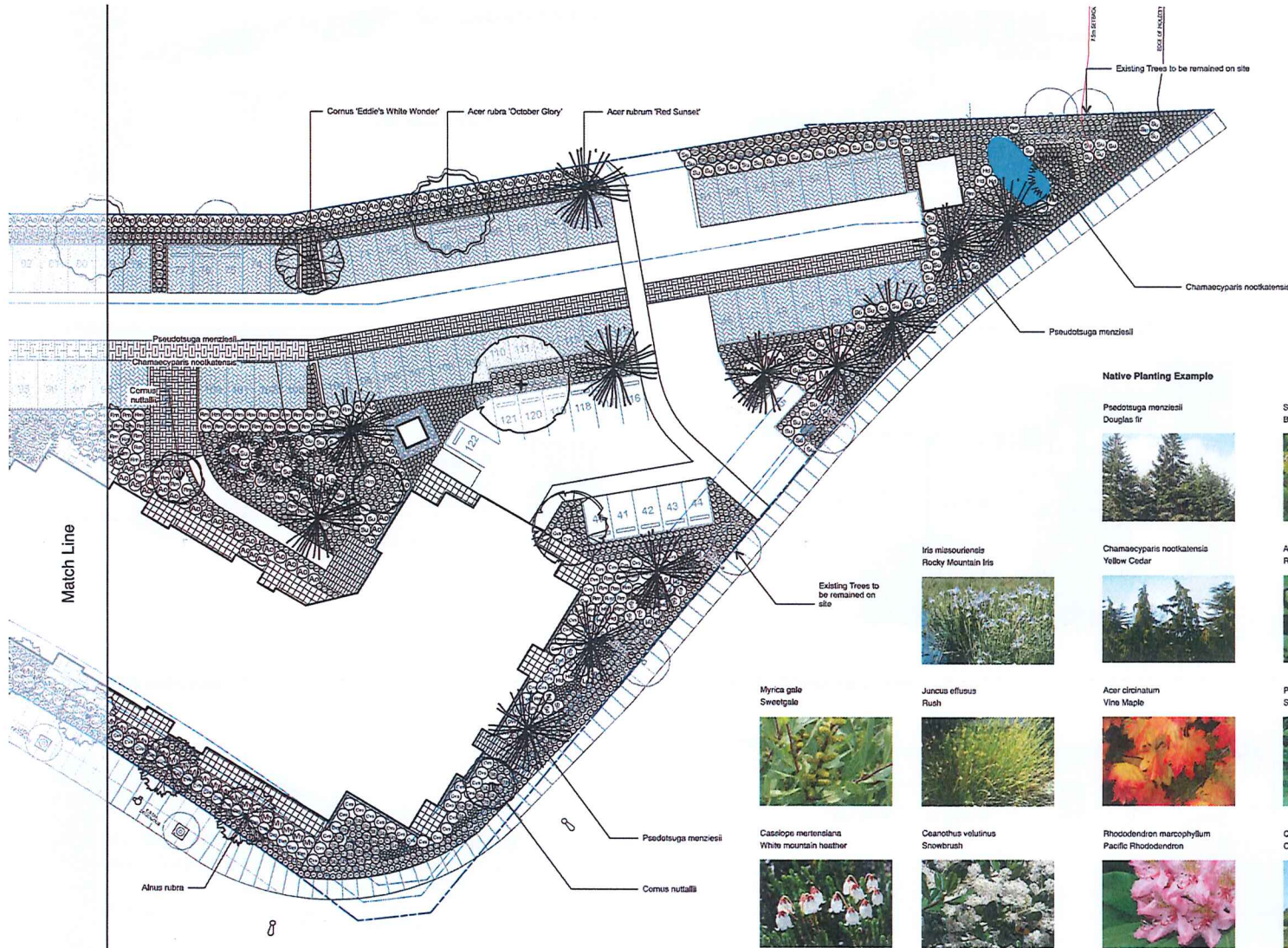
Project No.:
23034

Sheet No.

L102.1

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2025-FEB-12
Current Planning

Note: Deficit of 33 replacement trees will be resolved by cash in lieu. Client to confirm.



3	2025-02-12	ISSUED FOR DP REVISION
2	2024-12-01	ISSUED FOR DP REVISION
1	2023-10-18	ISSUED FOR DP
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 Client:
DISTRICT

Project:
TURNER ROAD

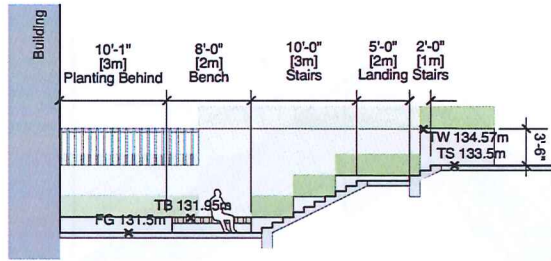
**5730 TURNER ROAD,
 NANAIMO, BC**

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Checked by:	DC
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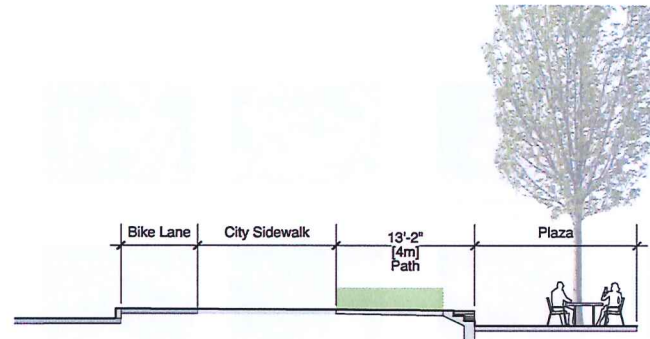
**Planting Plan Ground
 Level East**

Project No:
23034
 Sheet No.:
L102.2

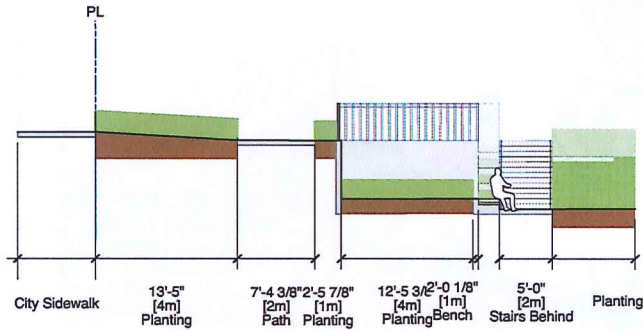
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 2025-FEB-12
 Current Planning



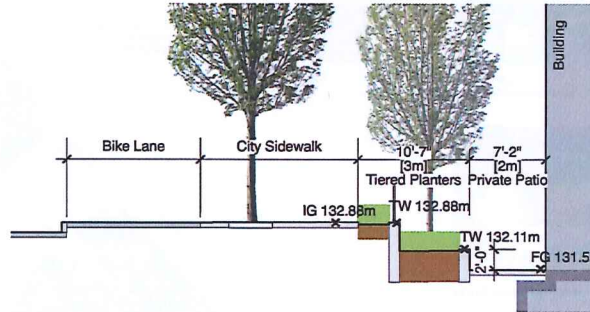
1 PLAZA TO LOWER AMENITY SPACE
L201 Scale = 3/16" = 1'-0"



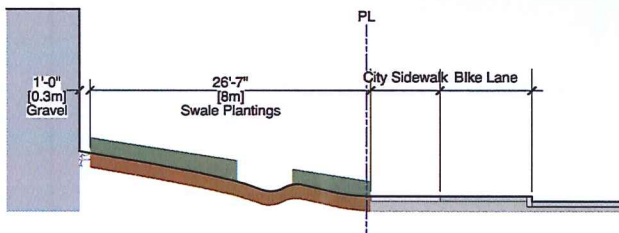
2 TURNER ROAD TO SUNKEN PLAZA
L201 Scale = 3/16" = 1'-0"



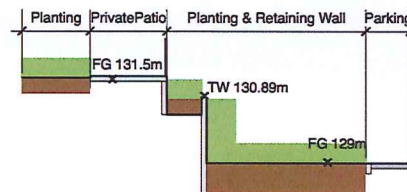
3 CITY SIDEWALK TO LOWER AMENITY SPACE
L201 Scale = 3/16" = 1'-0"



4 BUILDING TO TURNER ROAD
L201 Scale = 3/16" = 1'-0"



5 BUILDING TO TURNER ROAD
L201 Scale = 3/16" = 1'-0"



6 PARKING ENTRY TO TURNER ROAD
L201 Scale = 3/16" = 1'-0"

3	2025-09-10	ISSUED FOR DP REVISION
2	2024-10-20	ISSUED FOR DP REVISION
1	2023-10-18	ISSUED FOR DP
Rev:	Date:	By:
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Client:
DISTRICT

Project:
TURNER ROAD

**5730 TURNER ROAD,
NANAIMO, BC**

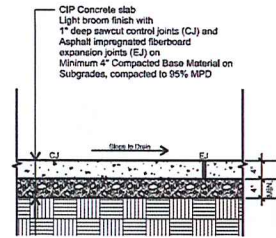
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Sections

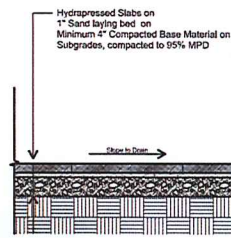
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Sheet No.:	

L201

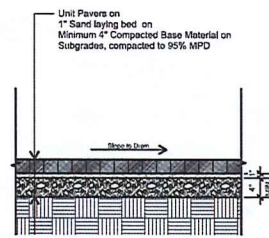
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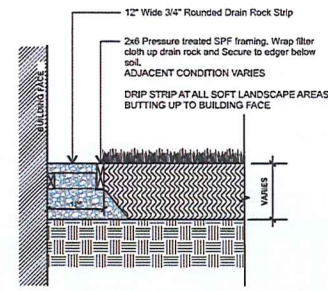
1 CIP CONCRETE - ON GRADE
Scale = 1" = 1'-0"



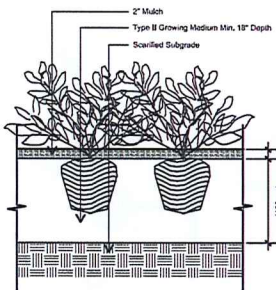
2 HYDOPRESSED SLABS - ON GRADE
Scale = 1" = 1'-0"



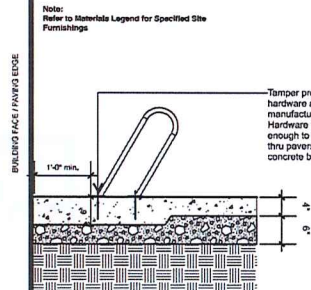
3 UNIT PAVERS - ON GRADE
Scale = 1" = 1'-0"



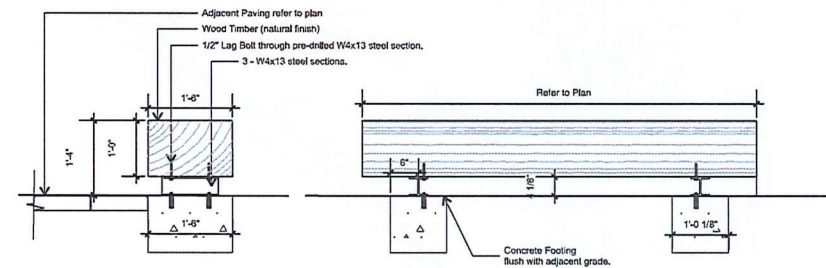
4 DRIP STRIP AT BUILDING FACE
Scale = 1" = 1'-0"



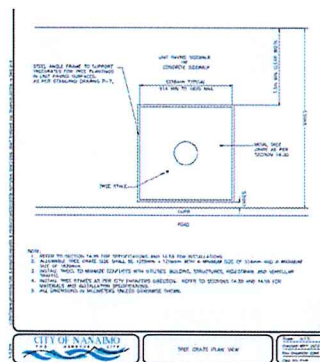
5 TYPICAL SHRUB PLANTING - ON GRADE
Scale = 1" = 1'-0"



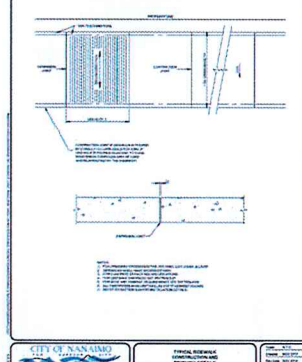
6 BIKE RACK - ON GRADE
Scale = 1" = 1'-0"



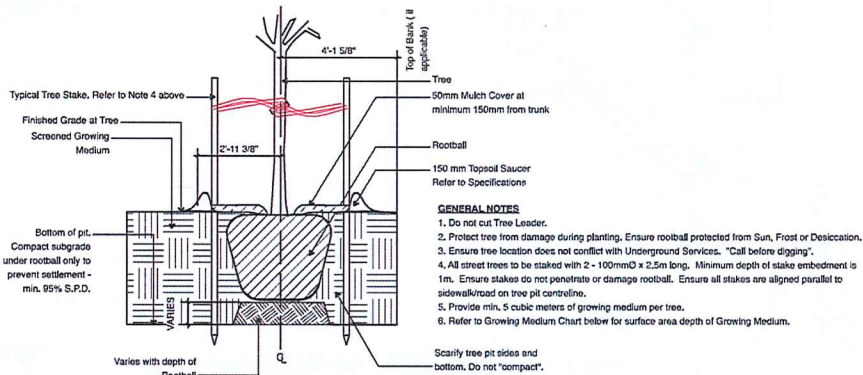
7 WOOD TIMBER BENCH
Scale = 1" = 1'-0"



8 TREE GRATES - CITY OF NANAIMO STANDARDS
Scale = 1" = 1'-0"



9 SIDEWALK - CITY OF NANAIMO STANDARDS
Scale = 1" = 1'-0"



Depth of Growing Medium Total (mm)	Area (M2)	Variation 1 Size of Surface Square	Variation 2 Size of Surface Circle
450	11.11	3.3 M x 3.3 M	3.80 M D
600	8.33	2.9 M x 2.9 M	3.25 M D
750	6.67	2.6 M x 2.6 M	2.90 M D

NOTE
Ensure top of rootball is at or slightly above finished grade. Remove top 1/3 of burlap from rootball and twine from base of trunk, (and/or wire basket "lifting loops" and top row of burlap). Remove any soil on top of "original" rootball.

10 TYPICAL TREE PLANTING - ON GRADE
Scale = 1/2" = 1'-0"

3 2025-04-12 ISSUED FOR DP REVISION
2 2024-12-20 ISSUED FOR DP REVISION
1 2023-10-18 ISSUED FOR DP

Revisions: _____
Date: _____
By: _____
Checked by: _____
Scale: _____

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C/Site:
DISTRICT

Project:
TURNER ROAD

**5730 TURNER ROAD,
NANAIMO, BC**

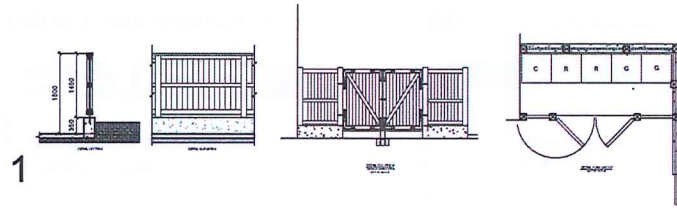
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Date: FEB 12 2025
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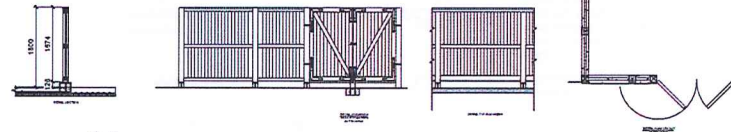
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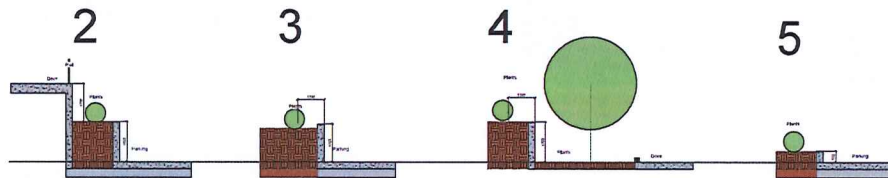


1



11

2 Refuse Enclosures
A403 Scale: 1:50

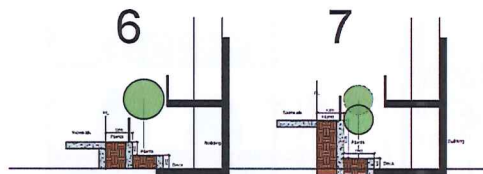


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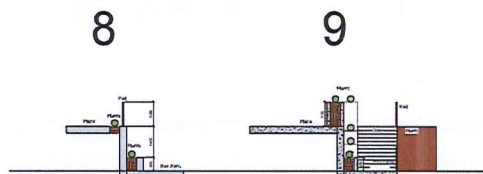
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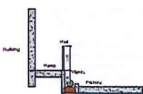
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7



8

9



10

3 Retaining Wall Sections
A403 Scale 1:100



1 Retaining Wall Reference Map
A403 Scale: 1:300

3	25-02-12	ISSUED FOR DP RESUBMISSION
2	24-12-00	ISSUED FOR DP RESUBMISSION

Price	Date	Description	
price type	2009-09-29	drinking tip	
price type	ORG	checked by	GTH
price type	1,300	project number	2009

NOTE: All dimensions are shown in millimeters.

5730 TURNER
5730 Turner Road
Nanaimo BC

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Retaining Walls And Details

2025-05-12

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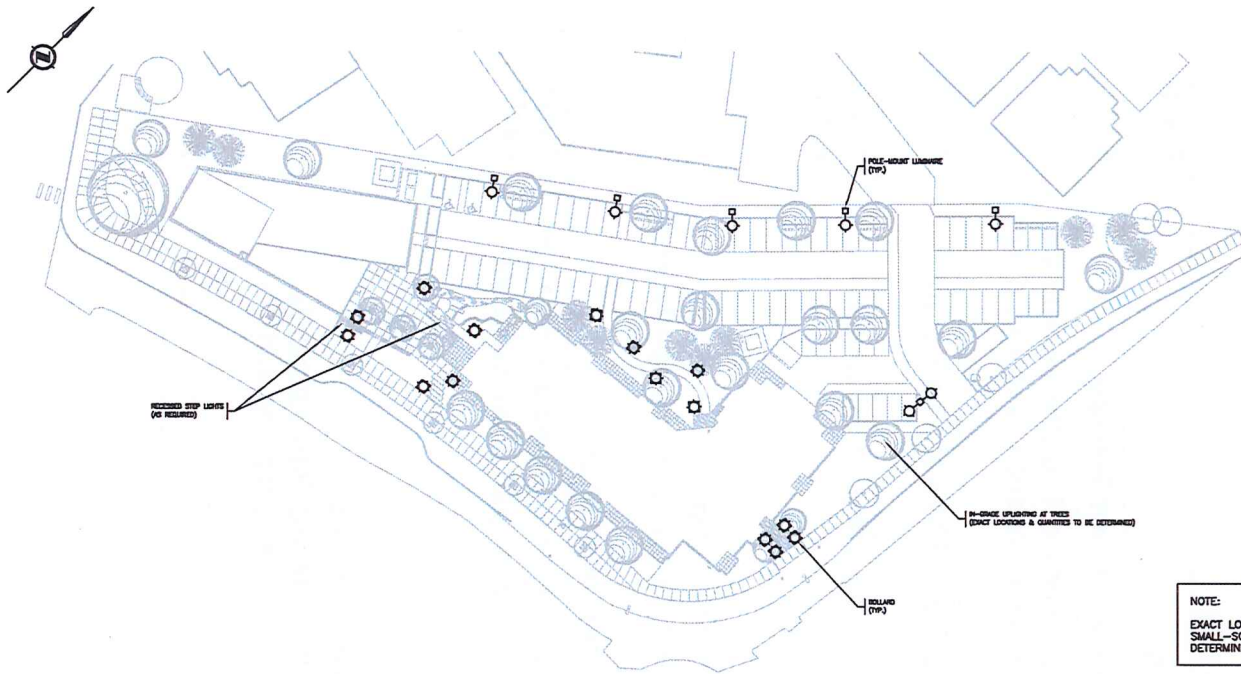
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A403

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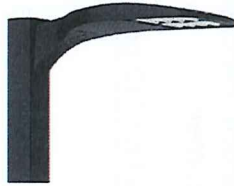



Address	Phone Number
777 Fort Street VSB 3K3	T 1-250-856-3367
152-1192 Dublin VSB 2K8	T 1-250-585-0310

FOR MORE INFORMATION, PLEASE CONTACT THE DEPARTMENT OF CORRECTIONS AT 1-250-856-3367. THE DEPARTMENT OF CORRECTIONS IS A MEMBER OF THE MINISTRE DU JUSTICE DU QUÉBEC.



NOTE:
EXACT LOCATIONS FOR FIXTURES AND ADDITIONAL SMALL-SCALE BUILDING-MOUNTED LIGHTING TO BE DETERMINED DURING DETAILED DESIGN.

SITE LUMINAIRE GUIDE

	
POLE-MOUNT LUMINAIRE (ZERO UPLIGHT)	BOLLARD (ZERO UPLIGHT)
	
RECESSED STEP LIGHT (AS REQUIRED)	IN-GRADE UPLIGHTING AT TREES (EXACT LOCATIONS & QUANTITIES TO BE DETERMINED)

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2025-JAN-08
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1770 TURNER ROAD
NANAIMO, BC V9X 1S3

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CLIENT

PROJECT
5370 TURNER ROAD
NANAIMO, BC

TITLE
SITE PLAN
LIGHTING LAYOUT

PROJECT NO.
24-4474
DATE
AUGUST, 2024
SCALE
1/32" = 1'-0"

DRAWING NO.
DP-E1

SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY

Schedule D

Amenity Requirements for Additional Density

In order for a development to include the additional Tier 1 density provided for within this Bylaw, the proposed development must achieve sufficient minimum points required in at least three of the categories set out in the following table which allocates points for amenities, affordable housing and the location of the development.

In order for a development to include the additional Tier 2 density provided for within this Bylaw, the proposed development must achieve at total of 65 or more points set out in the following table which allocates points for amenities, affordable housing and the location of the development.

Category 1: Site Selection (10 points required)

Category 1: Site Selection (10 points required)		Points
Amenity		
A	The proposed development is located on a brownfield site.	5
B	The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks.	③
C	The proposed development is located within 200m of a park or trail network. Molecky Creek Park	①
D	<p>The proposed development is located within 400m of any of the following:</p> <ul style="list-style-type: none"> ● retail store; ● daycare facility; ● Nanaimo Regional District transit bus stop; ● any PRC (Parks, Recreation and Culture) Zoned property; and / or ● a CS-1 (Community Service One) zoned property. 	<p>1 point each</p> <p>5 Points</p>
E	<p>The proposed development will add any of the following amenities on the site, or immediately adjacent to the site, as part of the proposed development:</p> <ul style="list-style-type: none"> ● retail store or public market; ● daycare facility; ● Nanaimo Regional District transit bus stop; ● any PRC (Parks, Recreation and Culture) Zoned property; ● a CS-1 (Community Service One) zoned property; and / or ● public art. 	<p>1 point each</p> <p>1 Point</p>
Total		<p>Total Points = 10</p> <p>20</p>

Category 5: Energy Management (11 points required)

Amenity		Points
A	The proposed development meets at least the requirements of Step 2 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by one step.*	10*
B	The proposed development meets at least the requirements of Step 3 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by two steps.*	15*
C	The proposed development is considered a Part 3 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 (Net Zero Ready) within the BC Energy Step Code; or The proposed development is considered a Part 9 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 or 5 within the BC Energy Step Code.*	30*
D	The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite.	1
Total		Total Points = 11 31

* Points will be awarded for only one of A, B, or C.

Category 6: Water Management (8 points required)

Amenity		Points
A	At least 50% of the property is covered with a permeable surface area which may include a green roof.	2
B	The proposed buildings on the property include plumbing features which will use 35% less water than the BC Building Code standard.	2
C	A green roof is installed to a minimum 30% of the roof area.	3
D	A living wall is installed to cover at least 10% of the total available wall area for the proposed project.	2
E	A non-potable irrigation system is installed and used for all on-site irrigation.	3
F	A water efficient irrigation system (such as drip) is installed.	1
G	The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property.	2
H	The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site.	1
Total		Total Points = 8 16