



DEVELOPMENT PERMIT NO. DP001351

KEVIN THOMSON

Name of Owner(s) of Land (Permittee)

27 HISPANOLA PLACE

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 46, DOUGLAS ISLAND (ALSO KNOWN AS PROTECTION ISLAND),
NANAIMO DISTRICT, PLAN 14111
PID NO. 001-531-441**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map

Schedule B Site Survey

Schedule C Environmental Assessment

Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

The "City of Nanaimo Bylaw 2011 No. 4500" is varied as follows:

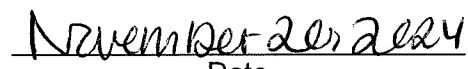
1. *Section 6.3.1.1 Location and Siting of Buildings and Structures to Watercourses* - to reduce the minimum required leave strip from the natural boundary of the sea from 15.0m to 4.5m to allow outdoor improvements and revegetation of existing landscape conditions.

CONDITIONS OF PERMIT

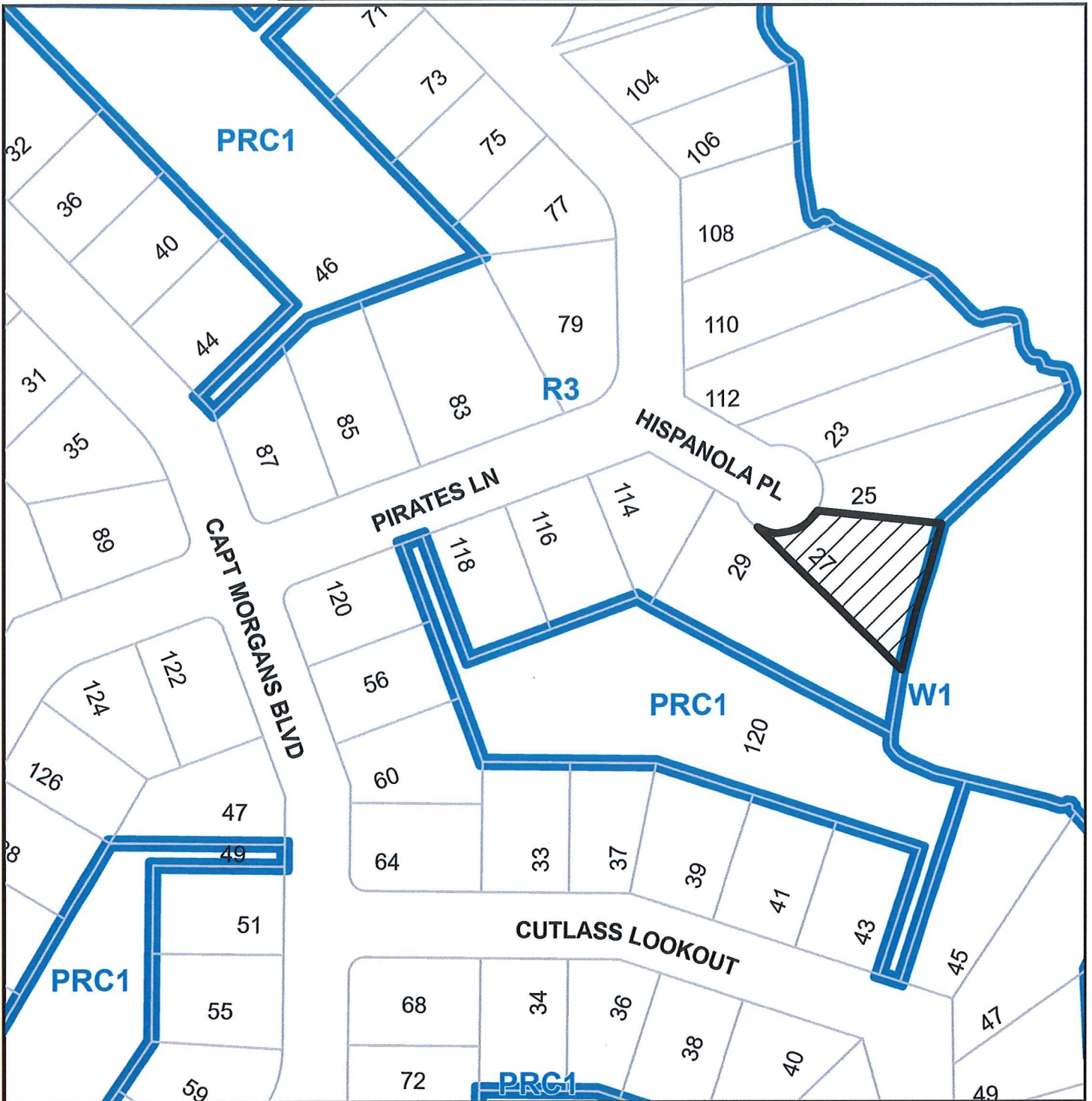
1. The subject property shall be developed in accordance with the Site Survey prepared by J.E. Anderson & Associates, dated 2024-OCT-24, as shown on Schedule B.
2. The subject property shall be developed in accordance with Environmental Assessment prepared by Toth and Associates Environmental Services, dated 2024-JUL-04, as shown on Schedule C.
3. Site restoration shall be completed in accordance with the Landscape Plan prepared by Kinship Design Art Ecology, dated 2024-OCT-24, as shown on Schedule D.
4. A landscape bond is required equal to 100% of the value of the vegetation restoration works to be held for a 3-year maintenance period. A certified letter of completion is required from the Qualified Registered Professional at the end of the 3-year maintenance period.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 4TH DAY OF NOVEMBER, 2024.


Corporate Officer


Date

SUBJECT PROPERTY MAP



 27 HISPANOLA PLACE

SITE PLAN

REDWOOD COASTAL
CONSTRUCTION LTD.

LOT 46, DOUGLAS ISLAND,
(ALSO KNOWN AS
PROTECTION ISLAND),
NANAIMO DISTRICT,
PLAN 14111

ADDRESS : 27 HISPANOLA PLACE,
PROTECTION ISLAND, B.C.

PROJECT SURVEYOR : D.W. HOLME

DRAWN BY : CDB DATE : OCT. 24/24

OUR FILE : 90705 REVISION :



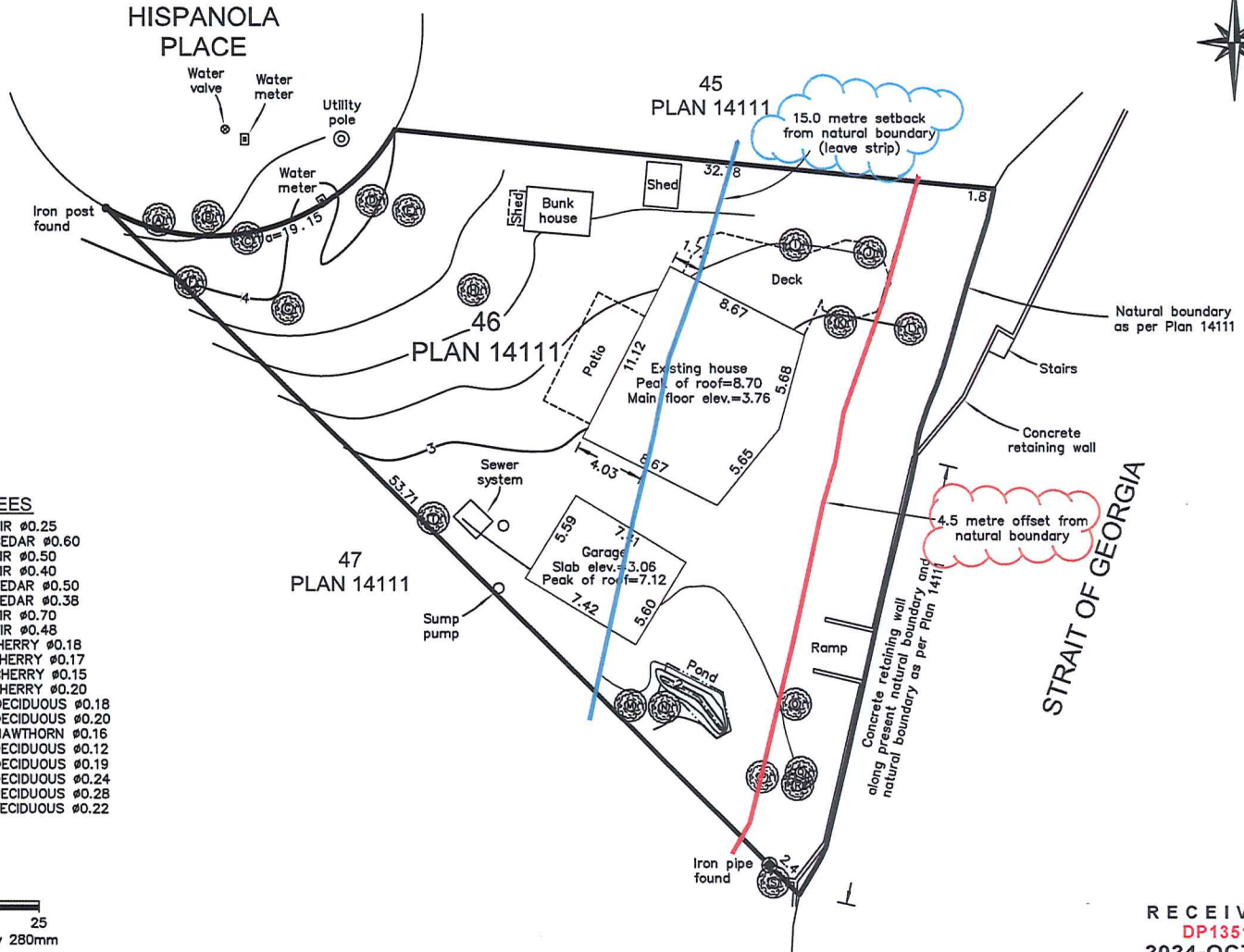
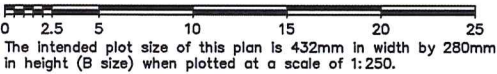
1A - 3411 SHENTON ROAD, NANAIMO, B.C. V8T 2H1
TEL: 250 - 758 - 4631 FAX: 250 - 758 - 4660
E-MAIL: nanaimo@jeanderson.com
NANAIMO - VICTORIA - PARKSVILLE - CAMPBELL RIVER

LEGEND

ALL DIMENSIONS ARE IN METRES
DATUM FOR ELEVATIONS, IN METRES,
IS GEODETIC (CGVD28)
CONTOUR INTERVAL = 0.25 METRES
SUBJECT TO CHARGES SHOWN
ON TITLE NO. CB1002977
(P.I.D. 001-531-441)
DIMENSIONS ARE DERIVED FROM
LAND TITLE OFFICE RECORDS
THIS PLAN HAS BEEN PREPARED IN
ACCORDANCE WITH THE PROFESSIONAL
REFERENCE MANUAL

TREES

- A-FIR Ø0.25
- B-CEDAR Ø0.60
- C-FIR Ø0.50
- D-FIR Ø0.40
- E-CEDAR Ø0.50
- F-CEDAR Ø0.38
- G-FIR Ø0.70
- H-FIR Ø0.48
- I-CHERRY Ø0.18
- J-CHERRY Ø0.17
- K-CHERRY Ø0.15
- L-CHERRY Ø0.20
- M-DECIDUOUS Ø0.18
- N-DECIDUOUS Ø0.20
- O-HAWTHORN Ø0.16
- P-DECIDUOUS Ø0.12
- Q-DECIDUOUS Ø0.19
- R-DECIDUOUS Ø0.24
- S-DECIDUOUS Ø0.28
- T-DECIDUOUS Ø0.22



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Current Planning

27 Hispanola Place

ENVIRONMENTAL ASSESSMENT**Toth and Associates Environmental Services**

6821 Harwood Drive, Lantzville, B.C. V0R 2H0

Tel: (250) 390-7602

E-mail: stoth@shaw.ca

July 4, 2024

Dustin Hilderley

Redwood Coastal Construction

7355 Venture Road,

Lantzville, BC V0R 2H0

Re: Assessment of proposed development within the City of Nanaimo's Marine Foreshore DPA on 27 Hispanola Place (PID# 001-531-441), Protection Island.

Toth and Associates Environmental Services were retained by Redwood Coastal Construction to conduct an assessment of proposed development within the City of Nanaimo's Marine Foreshore Development Permit Area (DPA) on 27 Hispanola Place on Protection Island. The proposed development is largely interior renovations, including replacement of the oceanfront side of the house. Schedule 6 (Environmentally Sensitive Areas) of the City's Official Community Plan (OCP Bylaw No. 6600, 2022) indicates that the previously developed 0.1 ha, R3 zoned oceanfront property is located within the Marine Foreshore DPA and that the DPA applies to all areas within 15 m of the natural boundary of the ocean. A field assessment of the property was conducted on April 9, 2024 by Steve Toth, R.P.Bio.

The field survey documented that the 15 m Marine Foreshore DPA on the property (Photographs 1 – 5) consists largely of manicured landscaping, decks, flagstone, gravel and lawn. The existing house and garage are within the 15 m DPA and were built with an approved variance. A concrete retaining wall forms the natural boundary.

The only native trees within the 15 m DPA are 2 Pacific crabapple trees and 4 trembling aspen trees in the southeast corner of the property. There are 4 ornamental cherry trees around a wooden deck in the northeast corner of the property.

There are no Bald eagle or Great Blue heron nest sites documented within 100 m of the subject property by the BC Wildlife Tree Stewardship Atlas¹ or the BC Great Blue Heron Management Team Atlas² and no bird nests were observed during the field survey. There are no freshwater watercourses on or adjacent to the subject property. A small rock-lined pond is located in the southeast corner of the property, and it is our understanding that this pond provides a secondary treatment for rainwater derived from the overflow from rock pits which receive water from the roof run-off.

Kinship Design has prepared a landscape plan for the proposed development. Our recommendations for native plant species to be included in the design are provided in Table 1. The Environmentally Sensitive Area Guidelines of the City of Nanaimo's Zoning Bylaw (No. 4500, 2011) are provided in Table 2, along with our comments.

1 https://cmnmaps.ca/WITS_gomap/

2 https://cmnmaps.ca/gbhe_gomap/

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*Assessment of proposed development within the Marine Foreshore DPA on 27 Hispanola Place,
Protection Island*

Table 1. Recommended Marine Foreshore DPA plant species for 27 Hispanola Place

Species	Common name
<i>Grindelia integrifolia</i>	Entire-leaved gumweed
<i>Elymus mollis</i>	Dune Grass
<i>Lathyrus japonicus</i>	Beach Pea
<i>Lupinus littoralis</i>	Seashore Lupine
<i>Vaccinium ovatum</i>	Evergreen huckleberry
<i>Lonicera hispidula</i>	Hairy honeysuckle
<i>Mahonia aquifolium</i>	Tall Oregon Grape
<i>Amelanchier alnifolia</i>	Saskatoon
<i>Symphoricarpos albus</i>	Common snowberry
<i>Rosa nutkana</i>	Nootka Rose
<i>Ribes sanguineum</i>	Red flowering currant
<i>Philadelphus lewisii</i>	Mock orange
<i>Holodiscus discolor</i>	Ocean spray

The proposed development appears to represent minimal potential to result in new impacts within the Marine Foreshore DPA.

Please contact us if you require any additional information.

Sincerely,
Steve Toth, R.P.Bio.



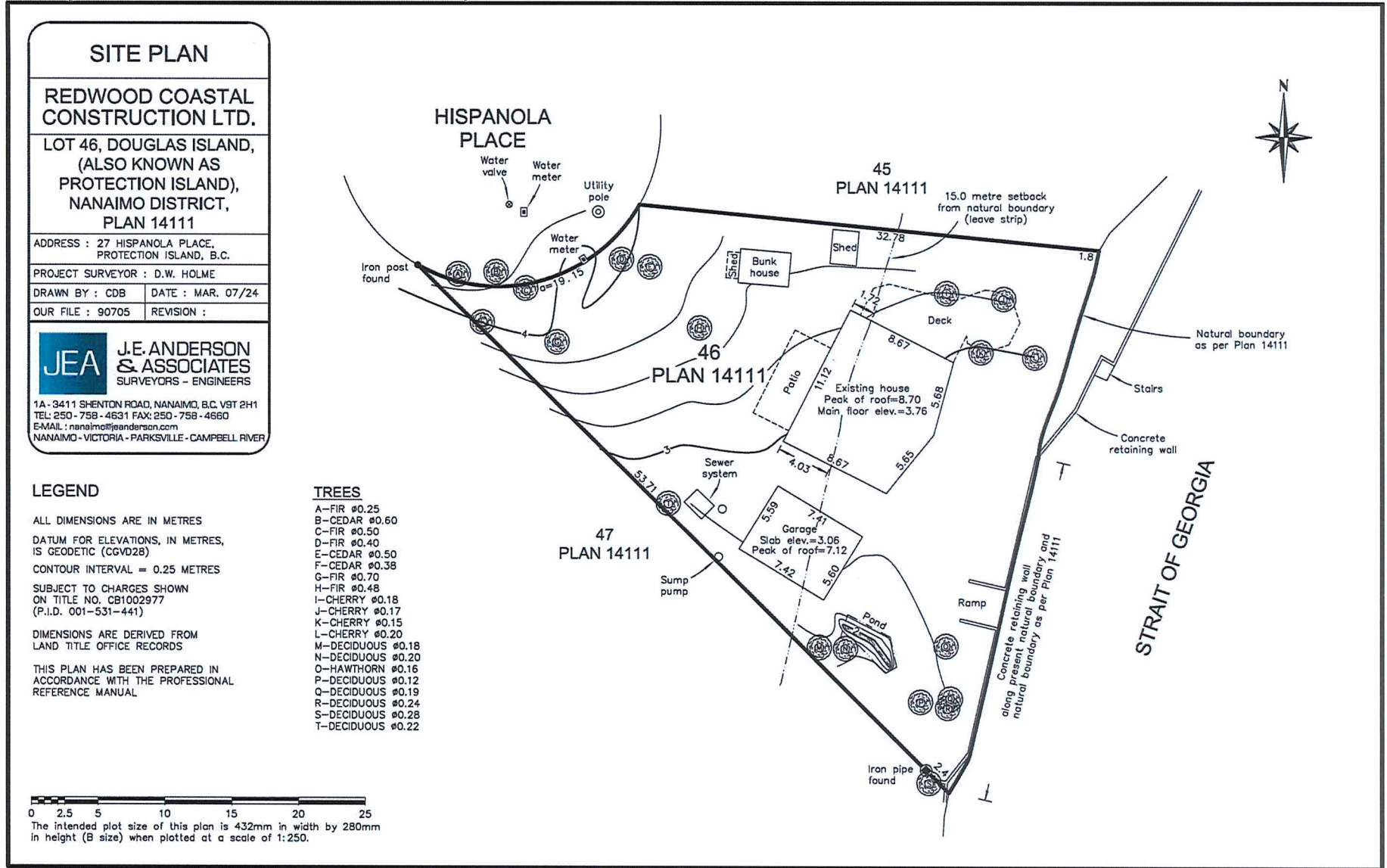
Toth and Associates Environmental Services



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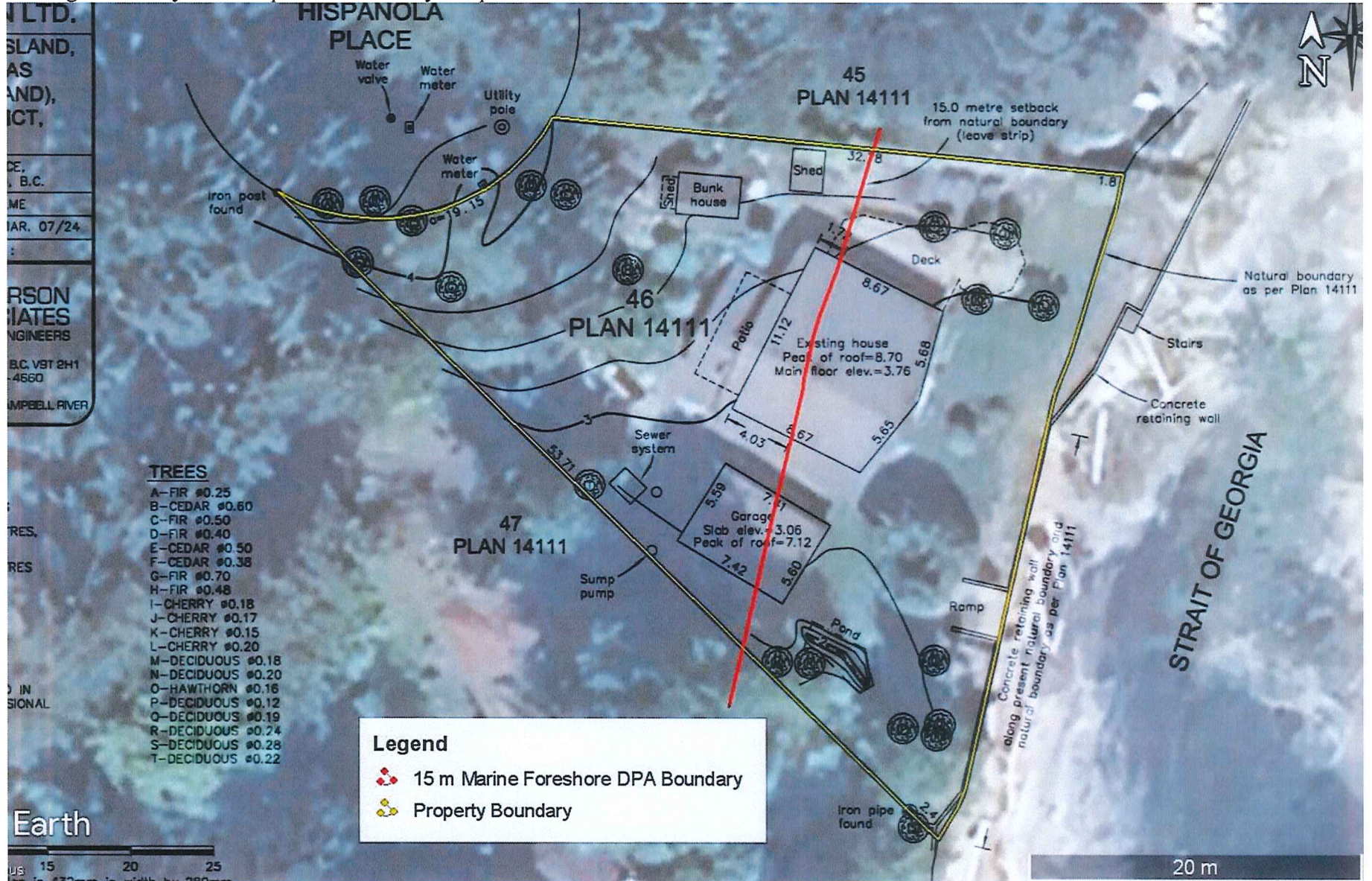
Assessment of proposed development within the Marine Foreshore DPA on 27 Hispanola Place, Protection Island

Figure 1. J.E. Anderson & Associates Survey Site Plan



Assessment of proposed development within the Marine Foreshore DPA on 27 Hispanola Place, Protection Island

Figure 2. May 2023 air photo with survey site plan overlaid



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Assessment of proposed development within the Marine Foreshore DPA on 27 Hispanola Place, Protection Island

Table 1. City of Nanaimo's Marine Foreshore DPA Guidelines

Guideline	Comments / Recommendations
Where disturbance within an <i>ESA</i> or <i>ESA leave strip</i> cannot be avoided, the following information must be provided to support the DPA1 development permit application in order to ensure protection, connectivity and increased functional habitat through mitigation, compensation and restoration of the <i>ESA</i> :	The subject property consists of a 0.1 ha previously developed oceanfront lot. The existing house and garage are within the 15 m DPA and were built with an approved variance. The DPA outside of the building footprints consists of manicured landscaping, decks, flagstone, gravel and lawn. A concrete retaining wall forms the natural boundary.
a) A detailed biophysical assessment of the property, prepared by a <i>Qualified Registered Professional</i> .	Due to the small size and developed nature of the property there were minimal natural biophysical features to assess.
b) A survey, completed by a registered BC Land Surveyor, of the <i>ESA</i> and <i>ESA leave strip</i> area.	JE Anderson & Associates survey plan is provided as Figure 1.
c) A <i>Riparian Areas Protection Regulation</i> (RAPR) assessment report prepared by a <i>Qualified Registered Professional</i> where applicable.	Not applicable. There are no freshwater watercourses on or adjacent to the subject property.
d) An assessment of the proposed development's impact to the site hydrology completed by a <i>Qualified Registered Professional</i> .	The proposed development is largely related to renovations to the existing dwelling. Site hydrology will not be altered by the proposed development.
e) An Executive Summary of the required strategy and recommended measures to protect the <i>ESA</i> prior to site disturbance, during the construction process and post construction must be included in the <i>Qualified Registered Professional</i> assessment.	As this report is so short, we hope that the City will consider it in lieu of an executive summary.
f) A restoration and enhancement management plan and detailed cost estimate for any restoration works, prepared by a <i>Qualified Registered Professional</i> , for the disturbed portion of the <i>ESA</i> and <i>ESA leave strip</i> . The plan shall meet the following criteria: i. include restoration and enhancement of <i>ESAs</i> that were impacted by previous development activities; ii. utilize vegetation that is indigenous to Vancouver Island; and iii. meet or exceed the landscaping and maintenance requirements in Part 14 of the City of Nanaimo <i>Manual of Engineering Standards and Specifications</i> (MoESS), as amended from time to time.	Kinship Design has prepared a restoration / landscape plan for the proposed development. We have provided a list of native marine coast plants for use in the landscape design.
g) The principle of net gain will be followed, and a <i>Qualified Registered Professional</i> must demonstrate how an increase in the quality and quantity of functional habitat within the <i>ESA</i> and <i>ESA leave strip</i> will be achieved once the proposed development is complete, such that any areas restored shall be of better ecological value, and shall be contiguous with the original <i>ESA</i> and <i>ESA leave strip</i> . The following principles will apply to establishing net gain: i. Outcomes through habitat creation, enhancement, and/or restoration; ii. Target condition (functional habitat in 20 years); and iii. Target metric (twice the area of encroachment into the leave strip).	The ability to meet the target metric is difficult due to the amount of existing development within the DPA. However, we believe that the outcome of the landscape plan will result in a net gain in functional habitat within the DPA.
To protect the <i>ESA</i> the following will be required: a) Prior to site clearing and construction: i. permanent fencing shall be installed to sufficiently protect the <i>ESA</i> from	As the 15 m DPA runs through the existing house and the detached garage there is no ability to fence the boundary of the 15 m DPA. As indicated in the site photographs, the subject property is largely flat and level. The

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Assessment of proposed development within the Marine Foreshore DPA on 27 Hispanola Place, Protection Island

Guideline	Comments / Recommendations
<p>construction and development activity;</p> <p>ii. the fencing must have signage that identifies the area as an environmentally sensitive area;</p> <p>iii. runoff, erosion and sediment control must be installed adjacent to the <i>ESA leave strip</i>; and</p> <p>iv. demarcation of wildlife corridors, wildlife trees, and significant trees as identified in the <i>Tree Bylaw</i> may also be required.</p>	<p>potential for the proposed renovations to result in sediment in run-off is essentially nil. There are no wildlife corridors or wildlife trees within the 15 m DPA on the subject property. The only native trees within the 15 m DPA are 2 Pacific crabapple trees and 4 trembling aspen trees in the southeast corner of the property. As these trees are located within a DPA they are considered "Protected Trees" under the tree bylaw.</p>
<p>b) Provision shall be made, and works undertaken, to provide for the disposal of surface runoff and stormwater flowing over the land, contributed by either the proposed development or past development. Such works shall be required to divert drainage away from areas subject to sloughing. Post development surface flow and groundwater must be maintained in volume and direction.</p>	<p>The potential for the proposed renovations to result in sediment in run-off is essentially nil. There are no areas subject to sloughing on the property and rainwater from rock pits / rain-leaders will continue to be directed to a small retention pond area in the southeast corner of the property.</p>
<p>c) Restricting development activity during sensitive life cycle times, as determined by a <i>Qualified Registered Professional</i> and following the Develop With Care – Environmental Guidelines for Urban and Rural Land Development in British Columbia as prepared by the Province and amended from time to time.</p>	<p>As the proposed works are largely related to interior renovations and replacement of the oceanfront side of the house, there is minimal potential that the works will conflict with wildlife or nesting birds.</p>
<p>d) The property owner or applicant will retain a <i>Qualified Registered Professional</i> to monitor and inspect the site during construction and during site restoration, for the duration of the project and the specified maintenance period, which will be the greater of three years from completion of restoration and enhancement, or as recommended by the <i>Qualified Registered Professional</i>. Post-completion monitoring and inspection reports will be provided to the City on a regular basis at a minimum of once every six months, or more frequently if recommended by the <i>Qualified Registered Professional</i>.</p>	<p>Considering the minor nature of the proposed works and that they are primarily interior renovations, we do not see a need for monitoring during construction. We would recommend that a post-completion site visit be conducted to document that the restoration / landscape plan has been successfully implemented. We also suggest that the twice annual monitoring & reporting requirements over the 3 year maintenance period represents a significant financial burden, and that the monitoring may be able to be conducted remotely via site photos provided by the landowners, with a final inspection after 3 years.</p>
<p>e) Indigenous trees and vegetation, as well as their root zones, within the <i>ESA</i> and <i>ESA leave strip</i> should not be cut, pruned, altered, removed or damaged.</p>	<p>The proposed project will not require removal or root zone disturbance of native trees or native vegetation. A large non-native hedge cedar (Photograph 2) will be removed as it occupies a large area that will be restored under the landscape plan.</p>
<p>f) Development should be located in the least environmentally sensitive areas, such as previously disturbed areas, to minimize impact on the ecology of the <i>ESA</i> and the <i>ESA leave strip</i>.</p>	<p>The development will be largely within the existing footprint of the existing dwelling.</p>
<p>g) Maintaining the connectivity of forested corridors is a priority and is strongly encouraged.</p>	<p>The proposed project will not require removal or root zone disturbance of native trees or native vegetation.</p>
<p>h) The 'green shores' principles and guidelines in the Stewardship Centre for British Columbia's Green Shores for Home shall be applied to minimize impacts to the marine foreshore area.</p>	<p>The project does not involve works on or below the present natural boundary.</p>
<p>i) Gravel, sand, <i>soils</i>, and peat must not be removed from the <i>ESA</i>, or <i>ESA leave strip</i>, and <i>soil</i> or other <i>fill</i> must not be deposited in the <i>ESA</i> or <i>ESA leave</i></p>	<p>The project does not require fill placement or soil removal.</p>

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Guideline	Comments / Recommendations
<i>strip.</i>	
j) ESAs and ESA leave strips must not be impacted by blasting or run-off of sediments and construction-related contaminants.	The project does not require blasting, and should not result in run-off. All potentially windblown construction materials should be collected and stored properly to prevent these materials from being deposited in the marine environment.
k) To ensure long-term protection of the ESA and ESA leave strip, the registration of a Land Title Act Section 219 covenant on the title of the property may be required.	Registration of a restrictive covenant is likely unnecessary, but is at the discretion of the City.
l) Varying or relaxing other bylaw requirements (e.g., building setbacks, building height, or parking requirements) will be considered to facilitate safeguarding an ESA and ESA leave strip, particularly where the relaxation can make possible the development of the remainder of the lot, while avoiding disturbance within the ESA and ESA leave strip.	It is our understanding that a variance was already granted for the siting of the existing dwelling.

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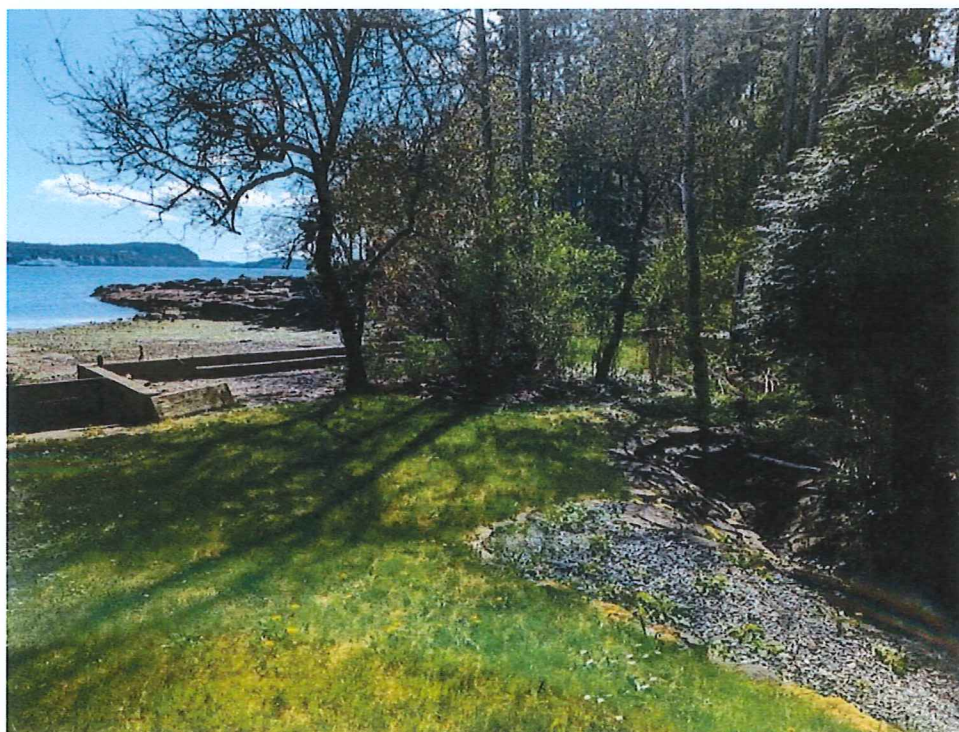


Photograph 1. April 9, 2024. View south – north along the east (oceanfront) side of the house.



Photograph 2. View north – south through the Marine Foreshore DPA with large non-native hedge cedar in background.

*Assessment of proposed development within the Marine Foreshore DPA on 27 Hispanola Place,
Protection Island*



Photograph 3. View to Pacific crabapple and Trembling aspens in the southeast corner of the property.



Photograph 4. View north – south along seawall forming natural boundary.

*Assessment of proposed development within the Marine Foreshore DPA on 27 Hispanola Place,
Protection Island*



Photograph 5. View of wood deck, ornamental cherry trees and landscaping along the north side of the house.

Development Permit No. DP001351 Schedule D
 27 Hispanola Place
LANDSCAPE PLAN AND DETAILS



- GARDEN BOXES WITH PERENNIAL HERBS TO BE REMOVED (garden boxes & gravel to be removed and replaced with new native plantings)
- DECK TO BE REMOVED (deck to be removed and replaced with new deck, equal or less than existing footprint area)
- SANDSTONE SITTING AREA / FIRE PIT TO BE REDUCED (to be reduced into smaller stone sitting area surrounded by native plantings)
- CHERRY TREES NON-NATIVE TO BE REMOVED (4 in total to be removed)
- STAIRS TO REMAIN
- RETAINING WALL TO REMAIN
- ORNAMENTAL PLANTINGS TO BE REMOVED (area to be removed and replaced with native plantings)
- STONES / HARD SURFACING TO BE REMOVED (area to be removed and replaced with native plantings)
- LARGE HEDGE CEDAR NON-NATIVE TO BE REMOVED
- RETAINING WALL TO REMAIN
- BOAT RAMP TO REMAIN
- STORMWATER POND TO BE ENLARGED & NATURALIZED
- HAWTHORNE TREE NON-NATIVE TO BE REMOVED
- NATIVE TREES & VEGETATION TO REMAIN (Area: 432m² (170% of Marine Foreshore ESA))

EXISTING MARINE FORESHORE ESA SUMMARY	
TOTAL AREA:	600m ²
BUILDING FOOTPRINT:	87m ² (15%) (includes residence & accessory building)
SEMI-PERMEABLE SURFACING:	146m ² (24%) (low impact, includes decking, gravel surfacing, stone surfacing, and stormwater pond)
NATIVE VEGETATION:	60m ² (10%)
PERMEABLE SURFACING:	289m ² (48%) (includes grass lawn, and ornamental planting beds)
IMPERMEABLE SURFACING:	18m ² (3%) (includes boat ramp & retaining wall)

REFER TO SITE PLAN / SURVEY PROVIDED BY J.E. ANDERSON & ASSOCIATES FOR EXISTING TREE LOCATION & DIAMETERS

NOT FOR CONSTRUCTION



CLIENT
 Kevin Thomson & Allison Walne

NO.	DATE	ISSUE
1	2024-10-24	DP SUBMISSION
2	16-24-2024	DP REVISION

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 CURTAL PLANNING

PROJECT
THOMSON - WAINE RESIDENCE
 27 Hispanola Place
 Protection Island, BC
EXISTING SITE

PROJECT ID 24-076
DB KS **CD** KS
SCALE NTS
DATE 2024-05-09

L1.01



LANDSCAPE LEGEND	
	HOT TUB Area: 6m ² (1% of Marine Foreshore ESA)
	HOUSE ENTRANCE / EXIT
	LIGHTING: BOLLARD Quantity: 2
	STONE STEP Quantity: 4 Area: 0.55m ² (per step)
	15m MARINE FORESHORE SETBACK Setback Area: 600m ² (22% of Total Property Area)
	NATURAL BOUNDARY
	4.5m Proposed Setback Leaseway Area: 238m ² (20% of Total Property Area)
	PROPERTY LINE Total Property Area: 1150m ²
	BOARDWALK / DECK Area: 74m ² (12% of Marine Foreshore ESA)
	CRUSHED GRANITE SURFACING Area: 23m ² (4% of Marine Foreshore ESA)
	PLANTED AREA Area: 303m ² (84% of Marine Foreshore ESA) Soil Depth: 150mm - 450mm (see sheet L2.01 Planting Plan & sheet L2.02 Planting Notes)
	RAIN GARDEN Area: 27m ² (included in planted area) (4% of Marine Foreshore ESA) Soil Depth: 450mm Note: Naturalized, emburged existing ditch (see sheet L2.01 Planting Plan & sheet L2.02 Detail 01)
	SANDSTONE SURFACING Area: 10m ² (1% of Marine Foreshore ESA) Note: reduced existing area by 50%

PROPOSED MARINE FORESHORE ESA SUMMARY	
TOTAL AREA:	600m ²
BUILDING FOOTPRINT:	87m ² (15%) (includes residence & accessory building)
PROPOSED SEMI-PERMEABLE SURFACING:	100m ² (18%) (low impact, includes boardwalk, decking, crushed granite, and sandstone surfacing)
PROPOSED IMPERMEABLE SURFACING:	6m ² (1%) (concrete pad under hot tub)
PROPOSED NATIVE VEGETATION:	383m ² (64%) (includes rain garden)
IMPERMEABLE SURFACING TO REMAIN:	18m ² (3%) (includes boat ramp & retaining wall)

NOT FOR CONSTRUCTION



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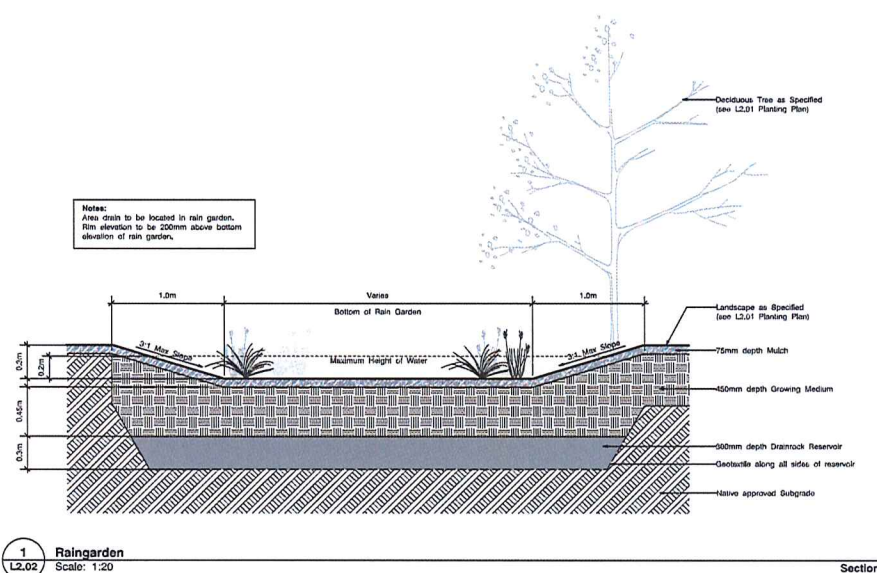
NO.	DATE	ISSUE
1	2024-05-24	DE SUBMISSION
2	2024-05-24	FOR REVISION/ISSUE

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PROJECT
THOMSON - WAINE RESIDENCE
27 Hispanola Place
Protection Island, BC
LANDSCAPE PLAN

PROJECT ID: 2-10-1
DB: H.S. **CD:** H.S.
SCALE: 1:100
DATE: 2/04/2025

L1.02



Key	Qty	Botanical Name	Common Name	Pot Size	Spacing	Notes
Marine Foreshore ESA Plants						
Coniferous Trees						
Pc	3	<i>Pinus contorta var. contorta</i>	Shore Pine	#15	10m ht	Native
Deciduous Trees						
Ce	2	<i>Cornus 'Eddie White Wonder'</i>	White Flowering Dogwood	#20		Hybrid-Native
Mf	2	<i>Mahoe lucsa</i>	Pacific Crabapple	#10		Native
Pc	2	<i>Prunus emarginata</i>	Bitter Cherry	#10		Native
Og	6	<i>Quercus garryana</i>	Garry Oak	#10	5-22m ht	Native
Deciduous Shrubs						
A	3	<i>Amandancher albiflora</i>	Service Berry	#3	Multistem	Native
Cs	1	<i>Cornus sericea</i>	Red Twig Dogwood	#1	2m o.c.	Native
Hs	2	<i>Hidocaulis diandra</i>	Cosmos Spray	#3	2m o.c.	Native
Pl	2	<i>Philadelphus lewisii</i>	Mock Orange	#2	3m o.c.	Native
Ra	5	<i>Ribes sanguinum</i>	Red Flowering Currant	#2	1.2m o.c.	Native
Rh	5	<i>Rosa Hudsonia</i>	Noodle Rose	#2	1.2m o.c.	Native
Sy	5	<i>Symphoricarpos albus</i>	Snowberry	#1	1.2m o.c.	Native
Evergreen Shrubs						
Oz	101	<i>Gaultheria shallon</i>	Sabal	#1		
Mh	9	<i>Muhlenbergia nervosa</i>	Dull Oregon Grape	#1	60cm o.c.	
Mc	1	<i>Moraea californica</i>	California Wax Myrtle	#2	2m o.c.	Native
Vo	17	<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#1	1m o.c.	Native
Ferns						
At	10	<i>Athyrium filix-femina</i>	Lady Fern	#1	80cm o.c.	Native
Pg	40	<i>Polypodium phycifolia</i>	Licorice Fern	#10m	30cm o.c.	Native
Pm	113	<i>Polystichum muntonii</i>	Sword Fern	#1	60cm o.c.	Native
Grasses						
Dca	28	<i>Dactyloctenium aegyptium</i>	California Dogfennel	Plugs	45cm o.c.	Native
Dc	22	<i>Deschampsia cespitosa</i>	Tufted Hairgrass	10cm	60cm o.c.	Native
Ff	80	<i>Festuca novae-zealandiae</i>	Reverend Fescue	10cm	45cm o.c.	Native
Km	18	<i>Koeleria macrantha</i>	Junegrass	Plugs	60cm o.c.	Native
Lm	36	<i>Leymus mollis</i>	Dune Wildrye	#1	80cm o.c.	Native
Groundcovers						
Au	47	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick	10cm	45cm o.c.	Native
Fc	75	<i>Fragaria chiloensis</i>	Coastal Strawberry	10cm	45cm o.c.	Native
Perennials						
Am	42	<i>Achillea millefolium</i>	Yarrow	10cm	60cm o.c.	Native
Al	50	<i>Allium acuminatum</i>	Huskers Onion	10cm	45cm o.c.	Native
Ac	50	<i>Allium cernuum</i>	Nodding Onion	10cm	45cm o.c.	Native
Ar	40	<i>Artemisia howellii</i>	Howell's Pussycats	10cm	45cm o.c.	Native
Am	50	<i>Artemisia nutans</i>	Sea Thyme	10cm	45cm o.c.	Native
Bc	40	<i>Brodiaea coronata</i>	Harvest Brodiaea	10cm	45cm o.c.	Native
Ca	40	<i>Coreopsis anemonea</i>	Faust Chickweed	10cm	45cm o.c.	Native
Ei	20	<i>Eriophyllum lanatum</i>	Woolly Sunflower	10cm	60cm o.c.	Native
Qs	32	<i>Quercus sericea</i>	English-leaved Quinceweed	10cm	60cm o.c.	Native
Hm	30	<i>Heuchera micrantha</i>	Small-flowered Alumroot	10cm	45cm o.c.	Native
Lf	11	<i>Lithospermum sibiricum</i>	Erfecti Pea	10cm	45cm o.c.	Native
Lp	40	<i>Lithospermum parviflorum</i>	Small-flowered Woodland	10cm	45cm o.c.	Native
Ll	17	<i>Lupinus albus</i>	Deschamps Lupine	10cm	60cm o.c.	Native
Pc	40	<i>Plectranthus cuneatus</i>	Sea Thrift	10cm	45cm o.c.	Native
Ph	40	<i>Phimelia hendersonii</i>	Broad-leaved Shootingstar	10cm	45cm o.c.	Native
Pc	10	<i>Penstemon brevis</i>	Pacific Gentian	10cm	60cm o.c.	Native
G	40	<i>Geranium spathulifolium</i>	Broad-leaved Stonecrop	10cm	45cm o.c.	Native
Ca	41	<i>Carduus canadensis</i>	Canada Goldenroed	10cm	60cm o.c.	Native
Syc	42	<i>Symphoricarpos chinensis</i>	California Aster	10cm	60cm o.c.	Native
Vines						
Lh	4	<i>Lonicera hispidula</i>	Hairy Honeycuckle	#1	80cm o.c.	Native
Raingardens						
Co	15	<i>Carex obnupta</i>	Sloagh Sedge	10cm	60cm o.c.	Native
Is	10	<i>Iris setosa</i>	Bird-footed Iris	10cm	60cm o.c.	Native
Ja	15	<i>Juncus effusus</i>	Common Rush	10cm	60cm o.c.	Native
Gm	10	<i>Galium microcarpum</i>	Small-flowered Dulse	10cm	60cm o.c.	Native
Bulbs						
Cj	50	<i>Camassia leichlinii</i>	Great Camas	#1	45cm o.c.	Native
Cj	50	<i>Camassia quamash</i>	Common Camas	#1	45cm o.c.	Native

PLANTING NOTES

- All landscape construction to be in accordance with the City of Nanaimo Engineering Standards and Specifications.
- All landscape installation and maintenance to meet or exceed the current edition of the Canadian Landscape Standards as a minimal acceptable standard.
- Growing medium to meet or exceed the properties outlined in the Canadian Landscape Standard per Section 6 Growing Medium, Table T-4.3.3.3. Properties of Growing Media Level 2 "Groomed" - 2P.
- Growing Medium Depth (unless otherwise specified):
Tree Planting Areas: 1 cu. ft. per tree
Shrub & Ground Cover Areas: 450mm (18") depth
Grassed Areas: 150mm (6") depth
- Mulch to be Compost per Section 10 Mulching of the Canadian Landscape Standard. Mulch depth to be 50mm minimum depth over all trees, shrubs, and groundcover planted areas.
- Plant material quality, transport and handling shall comply with the CNLA standards for Nursery Stock.
- All plant material shall match type and species as indicated on the planting plan. Contact the Landscape Architect for approval of substitutions. No substitutions will be accepted without prior written approval of the Landscape Architect.
- Check for locations of water lines and other underground services prior to digging tree pits. Excavated plant pits shall have positive drainage. Plant pits when fully flooded with water shall drain within one hour after filling.
- No plants requiring pruning or major branches due to disease, damage or poor form will be accepted.
- All tree, shrub, groundcover and lawn areas shall be watered via an underground automatic irrigation system utilizing Smart (ET/Weather-based) irrigation control. Irrigation emission devices to be high efficiency low volume rotary nozzles or drip irrigation equipment.

Refer to Sheet L2.01 for Planting Plan

NOT FOR CONSTRUCTION



18 Kinship and Ecology are the registered names of the companies mentioned here or mentioned in documents made in or for a relation to the landscape architect, art or ecology.

CLIENT
Kevin Thomson & Allison Walne

NO.	DATE	ISSUE
1	2024-02-24	DP L2-01-01
2	2024-02-24	SP L2-01-01-01

RECEIVED
DP1351
2024-OCT-24
CURRENT PLANTING

PROJECT
THOMSON - WAINE RESIDENCE
27 Hispanola Place
Protection Island, BC

PLANTING NOTES & PLANT LIST

PROJECT ID 2-100-
DB KS **CB** KS

SCALE SEE SHEET
DATE 2024-05-05

L2.02