



DEVELOPMENT PERMIT NO. DP001349

KSG CONSULTING LTD.
Name of Owner(s) of Land (Permittee)

1935 Island Diesel Way
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 30 SECTION 16 RANGE 7 MOUNTAIN DISTRICT PLAN VIP61143
PID No. 023-074-639**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Landscape Plan
Schedule C Building Elevations and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 13.4.1 Siting of Buildings* – to reduce the minimum required front yard setback for a building from 3.0m to 2.7m as shown on Schedule B.
2. *Section 13.4.1 Siting of Buildings* – to reduce the minimum required rear yard setback for a building from 6.0m to 3.95m as shown on Schedule B.
3. *Section 17.2.1 Landscaping Regulations* – to reduce the minimum required landscape buffer width from 3.0m to 1.0m along a portion of the front lot line as shown on Schedule B.

The City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

4. *Section 6.1(i)(a) Required Number of Loading Spaces* – to reduce the minimum required number of off-street loading spaces from 2 to 1 space.
5. *Section 6.3(i) Dimensions and Design of Loading Spaces*– to reduce the length of a required off-street loading space from 10.0m to 5.8m as shown on Schedule B.

CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site and Parking Plan, prepared by 2K Architecture Inc., dated 2024-NOV-29, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by 2K Architecture Inc., dated 2024-NOV-29, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by 2K Architecture Inc., dated 2024-NOV-29, as shown on Schedule B.
4. Registration of a 1.0m wide Statutory Right-of-Way (SRW) for road widening along the front lot line (abutting Island Diesel Way) as shown on Schedule B prior to building permit issuance.

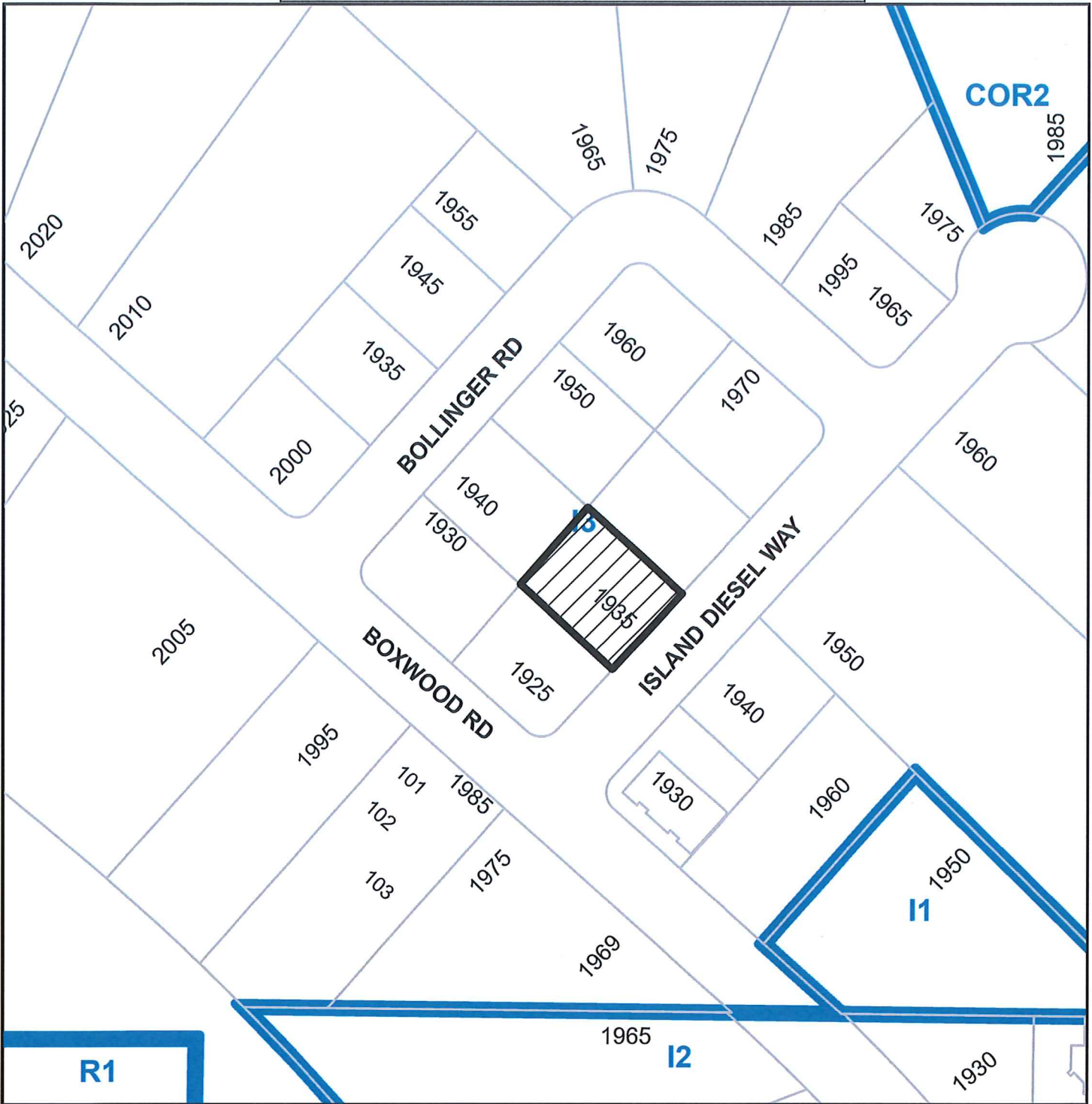
AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 16TH DAY OF DECEMBER, 2024.


Corporate Officer

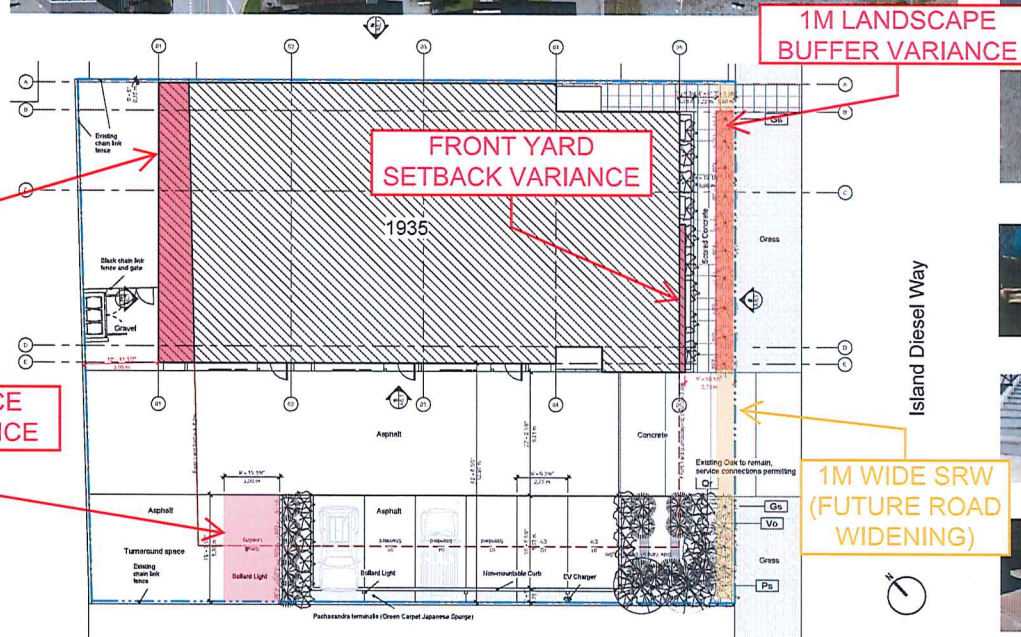
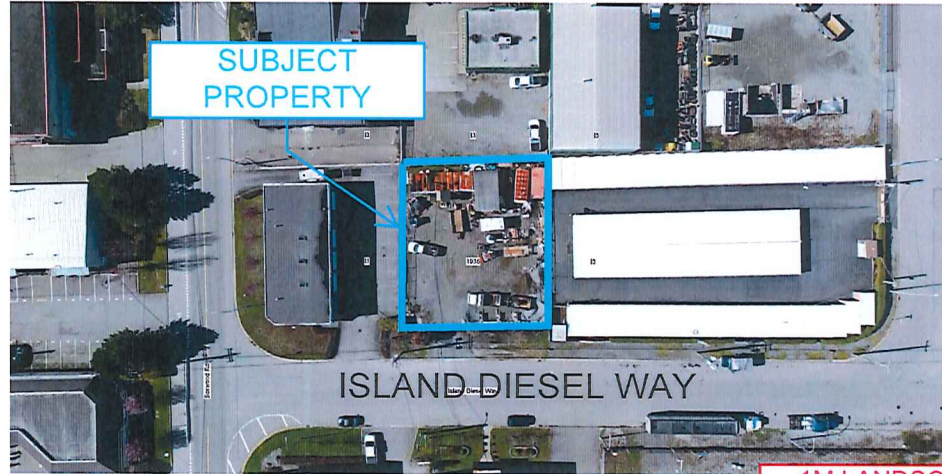
Sheila Gurrie
Corporate Officer
City of Nanaimo


Date

SUBJECT PROPERTY MAP



1935 ISLAND DIESEL WAY



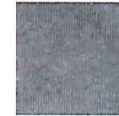
REAR YARD SETBACK VARIANCE

LOADING SPACE LENGTH VARIANCE

FRONT YARD SETBACK VARIANCE

1M LANDSCAPE BUFFER VARIANCE

1M WIDE SRW (FUTURE ROAD WIDENING)



Belgian Commercial NALME Porcelain Pavers for the red deck, Belgat Grey (per vendor)



Cokem LR820-3R 30" Landscape Bulb, Black (per vendor)



Global Industrial U/Flex Blue Rack, 2-Bay Capacity, Flange Mount, Black (per vendor)

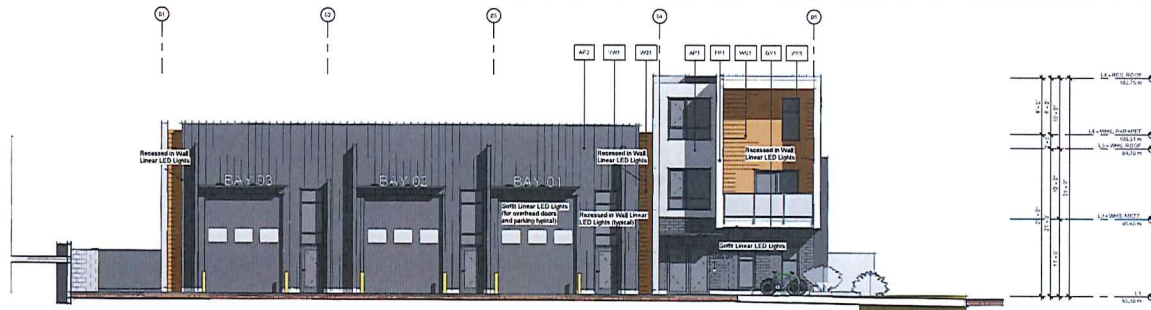


Reflection Backless Benches 6', Brown (per vendor)

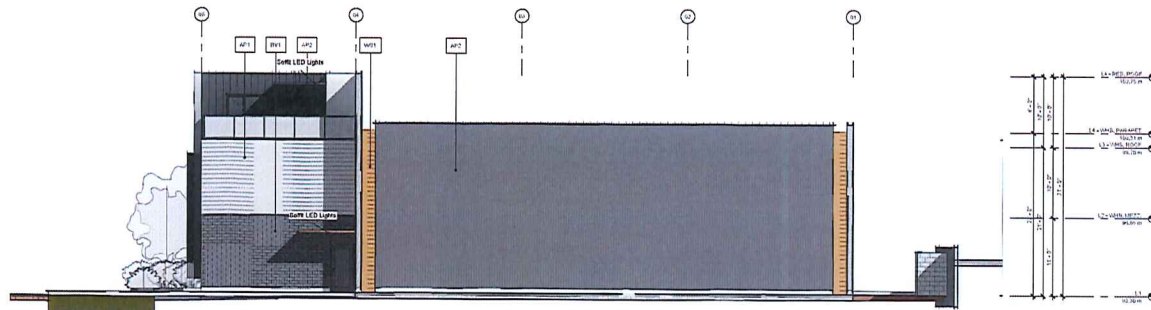
| Planting Schedule | | | |
|-------------------|--------------------|-----------------------|-------|
| Key | Botanical Name | Common Name | Count |
| Gs | Gualtheria shallon | Salal | 29 |
| Ps | Pinus strobus | Columnar White Pine | 2 |
| Qt | Quercus robur | Common Oak | 1 |
| Vo | Vaccinium ovatum | Evergreen Huckleberry | 35 |



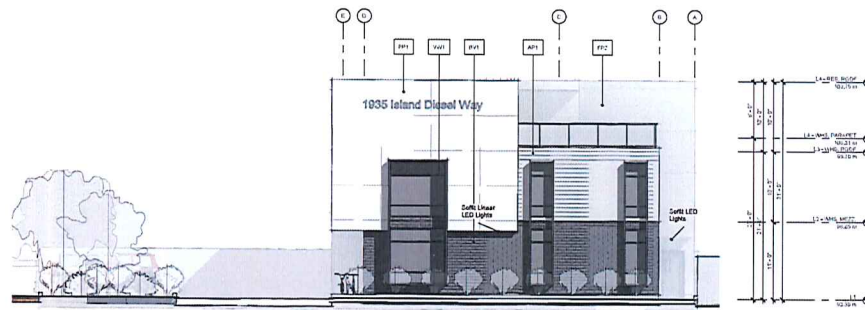
BUILDING ELEVATIONS AND DETAILS



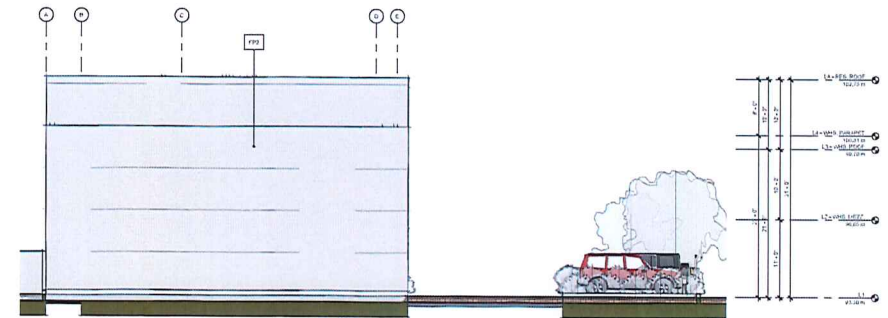
D4 South West Elevation
A1.1 1/8" = 1'-0"



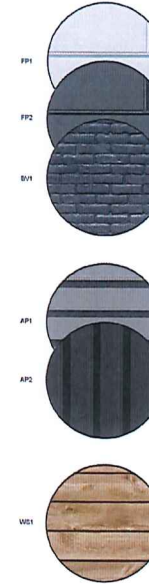
D3 North East Elevation
A1.1 1/8" = 1'-0"



D1 South East Elevation
A1.1 1/8" = 1'-0"



D2 North West Elevation
A1.1 1/8" = 1'-0"



- Material Legend**
- FP1 Fibre Cement Panel or Aluminum Composite Panels - White smooth or matching stone
 - FP2 Fibre Cement Panel or Aluminum Composite Panels - Light Grey smooth or matching stone
 - BV1 Brick - Grey
 - AP1 Standing Seam or Blockading Aluminum Panels - Light Grey - Horizontal
 - AP2 Standing Seam or Blockading Aluminum Panels - Dark Grey - Vertical
 - WS1 T&G Wood or Woodlike Cladding - Clear
 - WV1 Vinyl Windows and Doors - Black

