



DEVELOPMENT PERMIT NO. DP001335

BAB HOMES LTD.

Name of Owner(s) of Land (Permittee)

580 ROSEHILL STREET

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**PARCEL C (BEING A CONSOLIDATION OF LOTS 7 AND 8, SEE CA8259773), SUBURBAN LOT 32, NEWCASTLE TOWNSITE, SECTION 1, NANAIMO DISTRICT, PLAN 1505
PID No. 031-135-765**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map
Schedule B Site and Parking Plan
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 7.5.1 Siting of Buildings* – to reduce the minimum required front yard setback for a principal building from 6.0m to 3.8m.
2. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height from 14.0m to 14.4m.
3. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable lot coverage from 40% to 42%.
4. *Section 6.6.4 Accessory Buildings* – to reduce the minimum required west side yard setback for an accessory building from 3.0m to 0.2m.
5. *Section 17.3.4* – to reduce the minimum required setback for a refuse receptacle along the east property line from 3.0m to 0.0m.

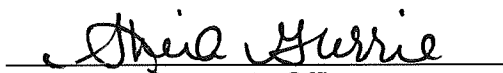
The "City of Nanaimo Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

1. *Section 7.1 Multiple-Family Dwelling Parking* – to reduce the minimum number of required off-street parking spaces from 17 to 16.

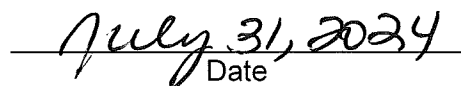
CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site and Parking Plan, prepared by Raymond de Beeld Architect Inc., dated 2024-MAR-07, as shown on Schedule B.
2. The development shall be developed in substantial compliance with the Building Elevations and Details, prepared by Raymond de Beeld Architect Inc., dated 2024-MAR-07, as shown on Schedule C.
3. The development shall be in substantial compliance with the Landscape Plan and Details prepared by Lanarc, dated 2024-MAR-07, as shown on Schedule D.

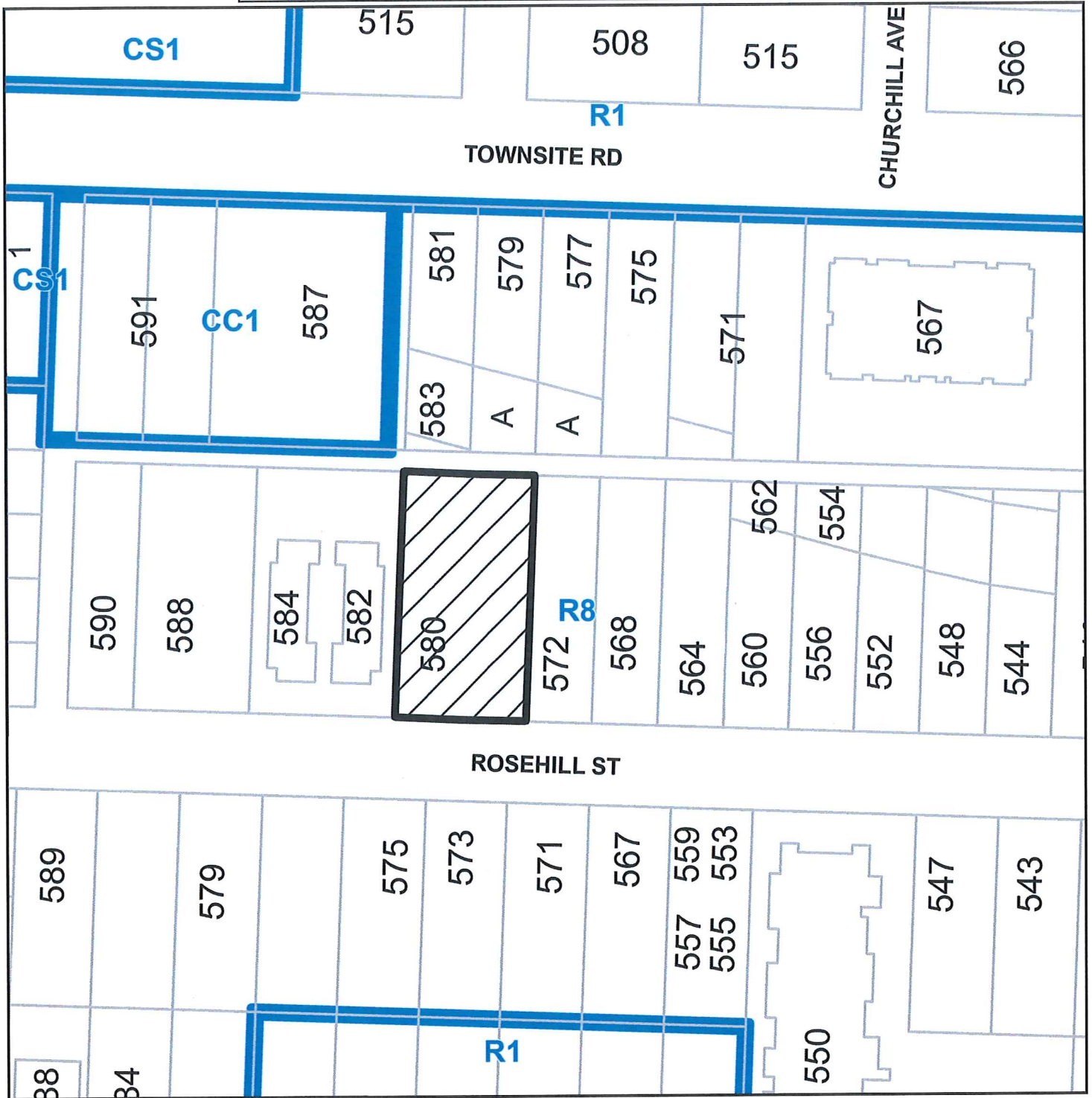
AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 17TH DAY OF JUNE, 2024.


Corporate Officer

Sheila Gurrie
Corporate Officer
City of Nanaimo

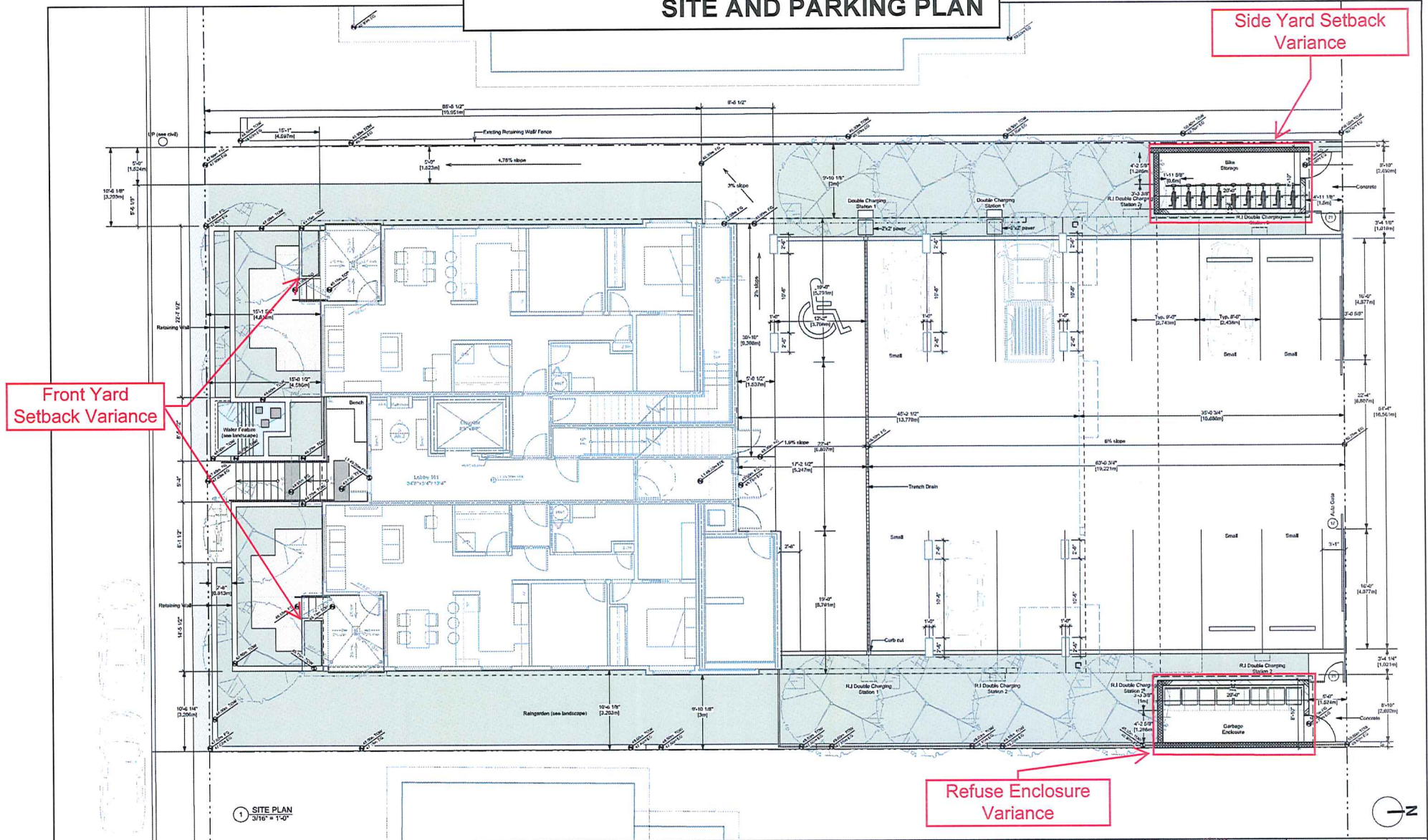

Date

SUBJECT PROPERTY MAP



580 Rosehill Street

Development Permit No. DP001335 Schedule B
580 Rosehill Street
SITE AND PARKING PLAN



RdB Raymond
de Beeld
ARCHITECT INC.
755 Terminal Avenue North, Nanaimo, BC V9S 4K1
250.754.2108 • info@rdbeearchitect.ca • rdbeearchitect.ca

ROSEHILL CONDOS
580 Rosehill Street, Nanaimo, BC
PARCEL C (BEING A CONSOLIDATION OF LOTS 7 AND 8, SEE CA8259773)
SUBURBAN LOT 32 NEWCASTLE TOWNSITE SECTION 1 NANAIMO DISTRICT PLAN 1505

SITE PLAN

No.	Date	Issue Notes	No.	Date	Revision Notes
1	March 7, 2024	DP Application			
RECEIVED DP1335 2024-MAR-08 CITY OF NANAIMO					

Do not scale drawings. Contractor shall verify all dimensions of the work and report any discrepancies to the architect before proceeding. This drawing is not to be used for construction until stamped and signed by the architect.

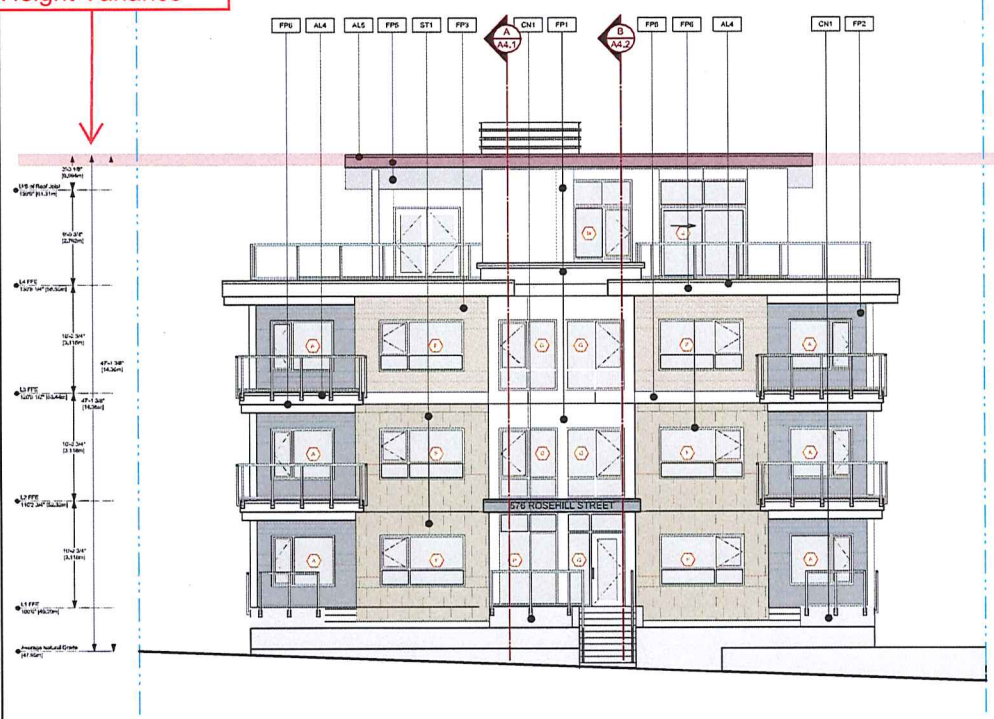
As an instrument of service, this drawing is the property of the architect and may not be reproduced without permission. The drawing is for the use of the specified project only and shall not be used otherwise without written permission of the architect.

REGISTERED ARCHITECT
RdB
2024-03-07
CITY OF NANAIMO

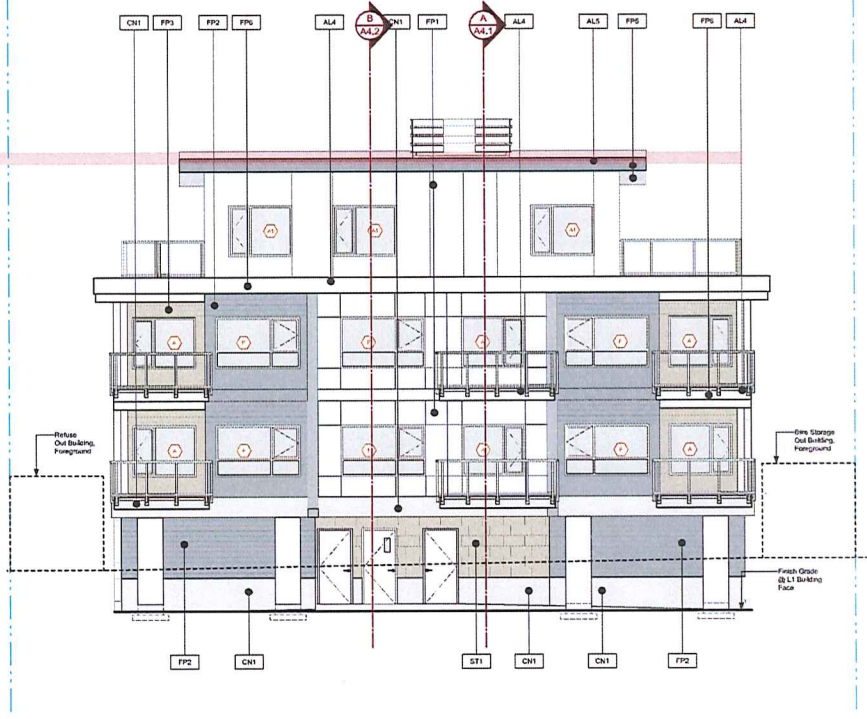
CV, KK, PV
JOB NO. 1744
SCALE: As Noted
DATE: March 7, 2024
SHEET No. **A1.1**
1744 Rosehill Condos DP 02 Plans.vsw

Development Permit No. DP001355 Schedule C
580 Rosehill Street
BUILDING ELEVATIONS AND DETAILS

Proposed Building
Height Variance



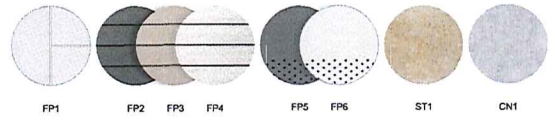
1 NORTH ELEVATION
3/16" = 1'-0"



2 SOUTH ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND:

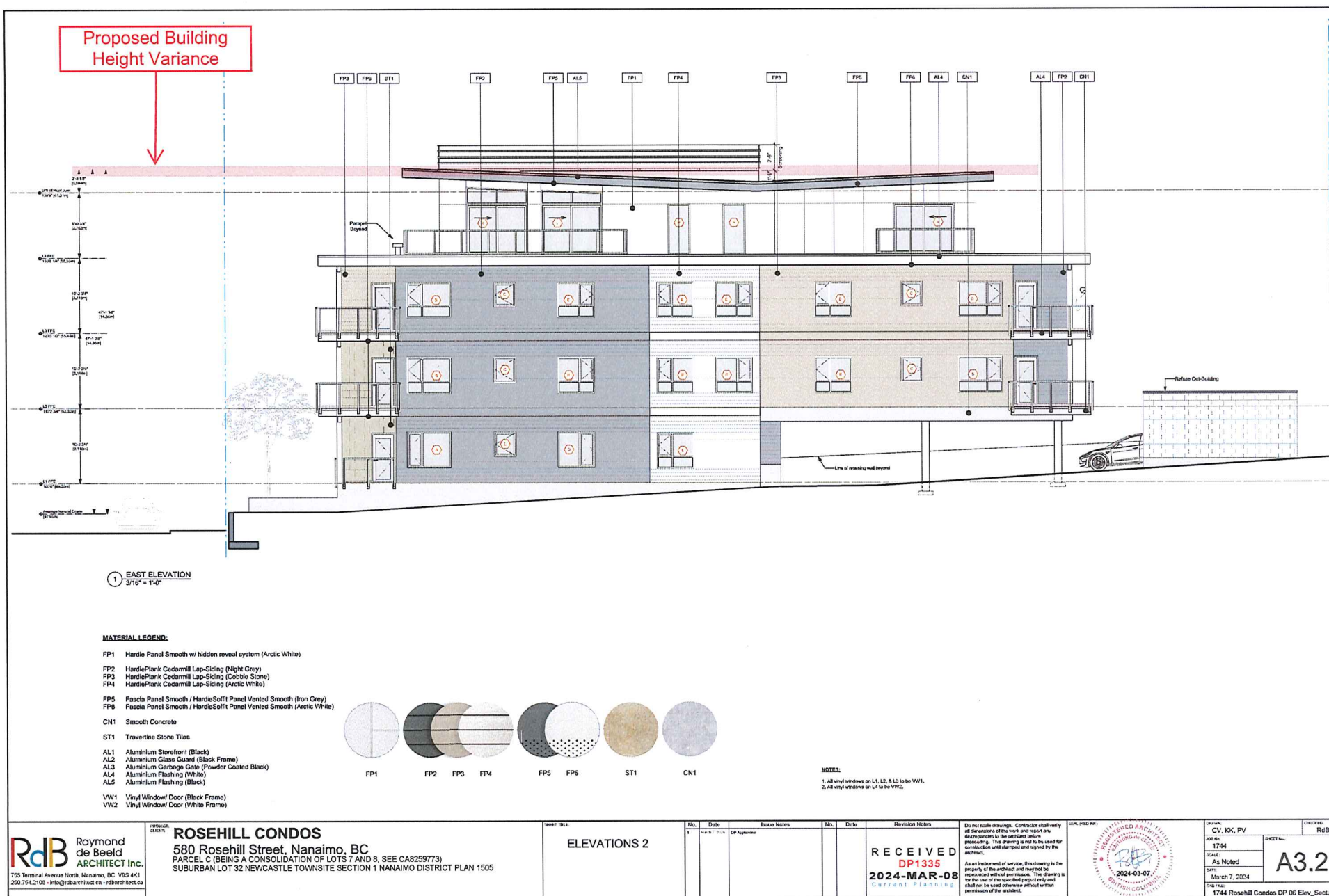
- FP1 Hardie Panel Smooth w/ hidden reveal system (Arctic White)
- FP2 HardiePlank CedarMill Lap-Siding (Night Grey)
- FP3 HardiePlank CedarMill Lap-Siding (Cobble Stone)
- FP4 HardiePlank CedarMill Lap-Siding (Arctic White)
- FP5 Fascia Panel Smooth / HardieSoft Panel Vented Smooth (Iron Grey)
- FP6 Fascia Panel Smooth / HardieSoft Panel Vented Smooth (Arctic White)
- CN1 Smooth Concrete
- ST1 Travertine Stone Tiles
- AL1 Aluminium Storefront (Black)
- AL2 Aluminium Glass Guard (Black Frame)
- AL3 Aluminium Garbage Gate (Powder Coated Black)
- AL4 Aluminium Flashing (White)
- AL5 Aluminium Flashing (Black)
- VW1 Vinyl Window/ Door (Black Frame)
- VW2 Vinyl Window/ Door (White Frame)



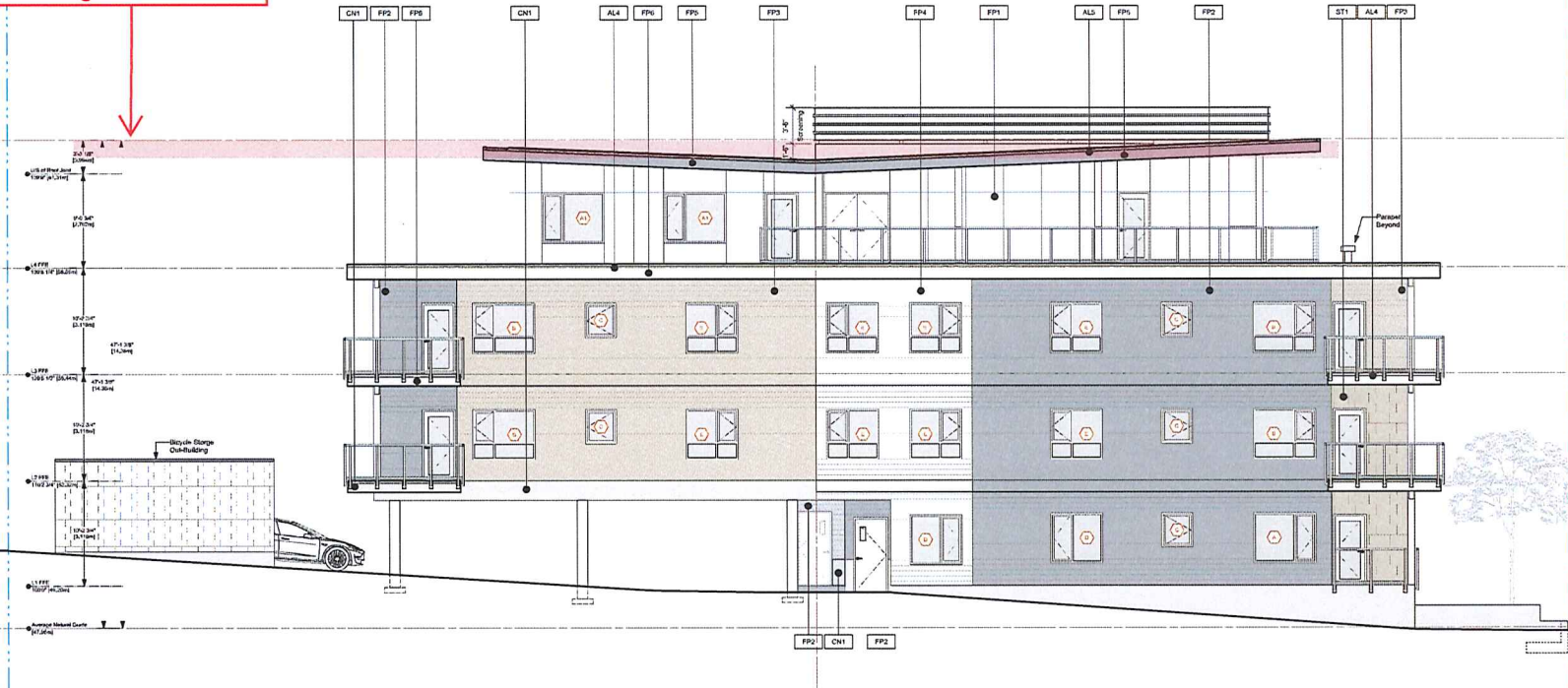
NOTES:

- 1. All vinyl windows on L1, L2, & L3 to be VW1.
- 2. All vinyl windows on L4 to be VW2.

 Raymond de Beeld ARCHITECT INC. 755 Terminal Avenue North, Nanaimo, BC V9S 4K1 250.754.2108 • info@rdbarchitect.ca • rdb@rdbarchitect.ca	ROSEHILL CONDOS 580 Rosehill Street, Nanaimo, BC PARCEL C (BEING A CONSOLIDATION OF LOTS 7 AND 8, SEE CA8259773) SUBURBAN LOT 32 NEWCASTLE TOWNSITE SECTION 1 NANAIMO DISTRICT PLAN 1505	ELEVATIONS 1	No.	Date	Issue Notes	No.	Date	Revision Notes	Do not scale drawings. Contractor shall verify all dimensions of the work and report any discrepancies to the architect before proceeding. This drawing is not to be used for construction until stamped and signed by the architect. As an instrument of service, this drawing is the property of the architect and may not be reproduced without permission. This drawing is for the use of the specified project only and shall not be used otherwise without permission of the architect.		CV, KK, PV	ReB	
			1	March 7, 2024	DP Application							1744	SHEET No.
												As Noted	A3.1
												March 7, 2024	1744 Rosehill Condos DP 06 Elev_SectView



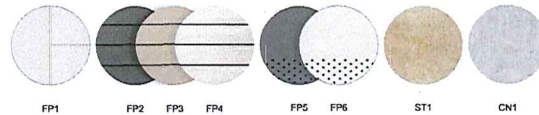
Proposed Building
Height Variance



1 WEST ELEVATION
3/16" = 1'-0"

MATERIAL LEGEND:

- FP1 Hardie Panel Smooth w/ hidden reveal system (Arctic White)
- FP2 HardiePlank CedarMill Lap-Siding (Night Grey)
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ROSEHILL CONDOS

580 Rosehill Street, Nanaimo, BC
PARCEL C (BEING A CONSOLIDATION OF LOTS 7 AND 8, SEE CA8259773)
SUBURBAN LOT 32 NEWCASTLE TOWNSITE SECTION 1 NANAIMO DISTRICT PLAN 1505

ELEVATIONS 3

No.	Date	Issue Notes	No.	Date	Revision Notes
1	March 7, 2024	DP Application			

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DP1335
2024-MAR-08
CITY OF NANAIMO

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Drawn: CV, KK, PV	Checked: RdB
Scale: As Noted	Sheet No.: A3.3
Date: March 7, 2024	Proj. No.: 1744 Rosehill Condos DP 06 Elev_Sect3.dwg

Development Permit No. DP001355 Schedule D
580 Rosehill Street
LANDSCAPE PLAN AND DETAILS

DESIGN NARRATIVE

LOWER TERRACE PLANTING:
The planted lower terrace reduces the height of the retaining wall, resulting in a more comfortable environment for pedestrians traveling on the adjacent sidewalk. The planting palette includes evergreen shrubs, ornamental grasses and flowering perennials to cascade over the lower wall.

SOUTH PATIO PLANTING:
The front patio planting frames the view of the building from the street, and creates a low, all season garden for residents in the ground floor units. The dry deciduous Japanese maples cast dappled shade over the patio areas. This creates a cooler microclimate in the hot summer months, while allowing sunlight to pass through in the winter. The low shrub and perennial borders maintain views between the street and building.

WEST FOUNDATION PLANTING:
A low, shade tolerant planting bed follows the west wallway. Evergreen species create all season foliage.

EAST RAIN GARDEN INFILTRATION PLANTER:
The east rain garden filters stormwater from the parking lot. Plant species are shade tolerant and can survive wet and dry conditions.

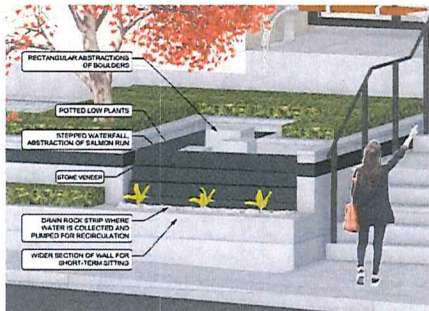
PARKING LOT INFILTRATION BEDS:
The parking lot planting beds create shade and all-season interest, while conveying stormwater runoff into the east rain garden. Evergreen species are balanced by deciduous shrubs with colorful branches or berries to provide interest in the winter. Columnar spruce trees frame the building and maples with a wider canopy provide shade over the uncovered section of the parking lot.

GREEN ROOF PLANTING:
The extensive green roof consists of a sedum mat with perennial accent plantings to provide a visual amenity to building residents in the level 4 amenity area. The plant material will reduce the local urban heat island effect and provide habitat for pollinator insects and birds.

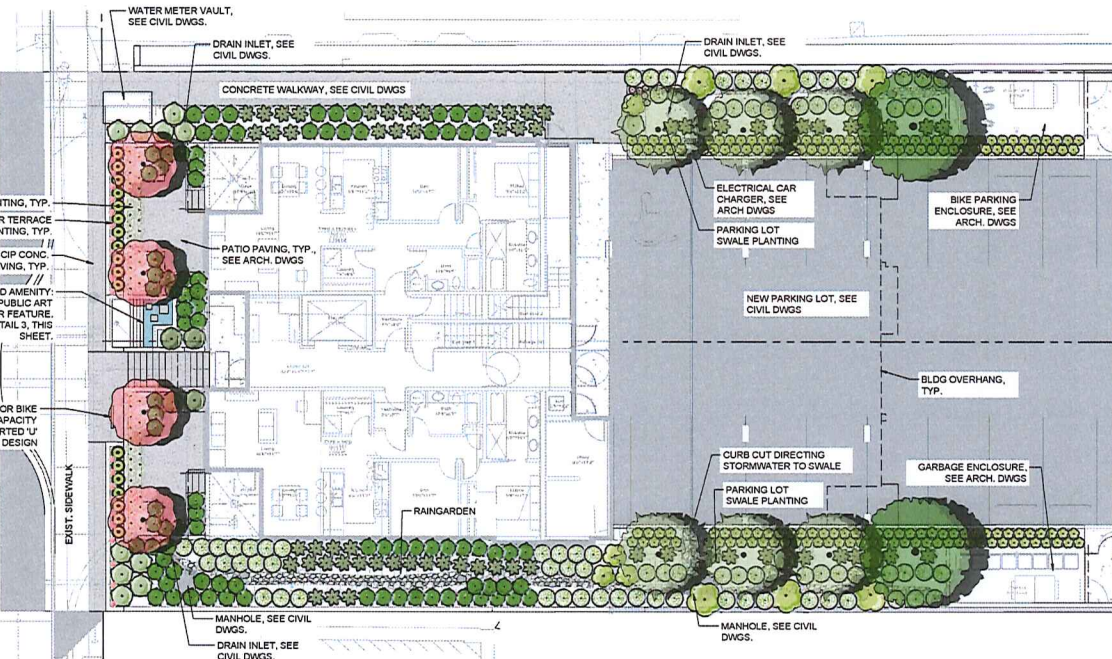
PUBLIC ART WATER FEATURE:
The water feature provides an abstract interpretation of a salmon run, paying tribute to the volunteer efforts of Nanaimo residents in 2007 in constructing the Coho salmon side-channel in the nearby Millstone River.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
TREES					
AT		Acer palmatum 'Emperor 1'	Emperor 1 Japanese Maple	6cm Cal	B&B or Pot
AA		Acer x freemanii 'Jefferson' TM	Autumn Blaze Freeman Maple	6cm Cal	B&B or Pot
TM		Taxodium distichum 'McClanahan' TM	Shawnee Brave Bald Cypress	2m Ht.	B&B or Pot
SHRUBS					
AC		Arbutus unedo 'Compacts'	Dwarf Strawberry Tree	2 gal.	Pot
AV		Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	10 cm	Pot
CA		Calamagrostis x acutiflora	Feather Reed Grass	1 gal.	Pot
CK		Cornus sericea 'Kelsey'	Kelsey Dwarf Redwing Dogwood	1 gal.	Pot
IO		Iris lenaxa	Oregon Iris	10 cm	Pot
LP		Lonicera pileata	Pileat Honeysuckle	1 gal.	Pot
MN		Mahonia nervosa	Oregon Grape	1 gal.	Pot
PS		Phlox subulata	Creeping Phlox	1 gal.	Pot
PM		Polystichum munitum	Western Sword Fern	1 gal.	Pot
SM		Stipa lanuensis	Finestem Needlegrass	1 gal.	Pot
SA		Symphoricarpos albus	Common White Snowberry	1 gal.	Pot
TH		Taxus x media 'Hill'	Yew	3 gal.	Pot



2 PUBLIC ART WATER FEATURE CONCEPT



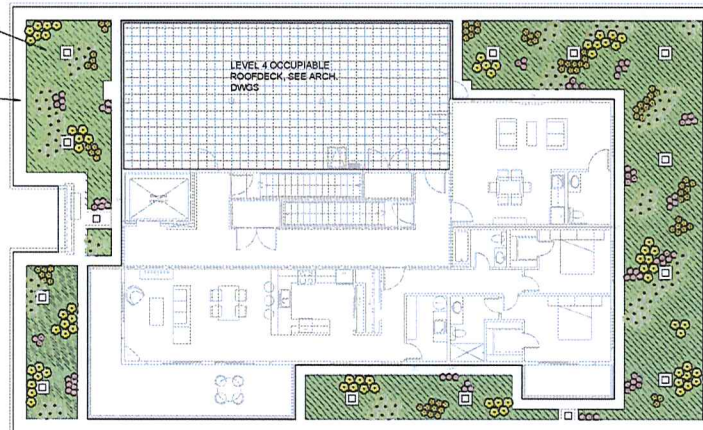
1 LANDSCAPE CONCEPT PLAN

GREEN ROOF PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
GREEN ROOF					
AM2		Artemisia maritima	Sea Thrift	10 cm	Pot
EL2		Eriophyllum lanatum	Woolly Sunflower	10 cm	Pot
EC2		Eschscholzia californica	California Poppy	10 cm	Pot
FR2		Festuca rubra	Red Fescue	10 cm	Pot
COLUMBIA GREEN "COLOR MAX" PLANT MIX, PREGROWN SEDUM TILES					

IRRIGATION

THE PLANT SPECIES SELECTED ARE DROUGHT TOLERANT AND WILL BE WATERED BY A LOW-FLOW DRIP OR LOW PRECIPITATION RATE SPRAY IRRIGATION SYSTEM.
THE GREEN ROOF PLANTINGS WILL BE IRRIGATED BY A LOW PRECIPITATION RATE SPRAY SYSTEM.



3 GREEN ROOF CONCEPT PLAN

LANARC

NANAIMO
425 - 250 VIKING DRIVE, NANAIMO, BC V9R 6B3
Tel: (779) 765-6000
www.lanarc.com/bc

FOR DEVELOPMENT PERMIT
Issue D

Permit-Goal
ROSEHILL CONDOS

**580 ROSEHILL STREET,
NANAIMO BC**

Project

**LANDSCAPE CONCEPT
PLAN**

RECEIVED
DP1335
2024-MAR-08
Current Planning

18095

Project No.

Scale

L1.1

Drawing No.

Permit No.

Revision

1 of 1