



DEVELOPMENT PERMIT NO. DP001334

MJP HOMES LTD.

Name of Owner(s) of Land (Permittee)

1740 DUFFERIN CRESCENT

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 2 SECTION 15 RANGE 8 MOUNTAIN DISTRICT PLAN VIP61213
PID No. 023-056-941**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

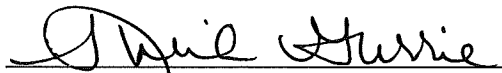
The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum permitted height of a principal building from 14.0m to 16.91m as shown on Schedule C.
2. *Section 17.2.1 Landscaping Regulations* – to reduce the minimum required landscape buffer width from 1.8m to 0.0m along the west side lot line as shown on Schedule D.

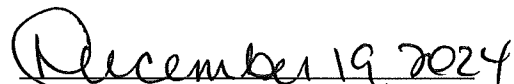
CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site and Parking Plans, prepared by D-Architecture, dated 2024-OCT-28, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by D-Architecture, dated 2024-JUL-04, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plans and Details prepared by Macdonald Gray, dated 2024-AUG-20, as shown on Schedule D.

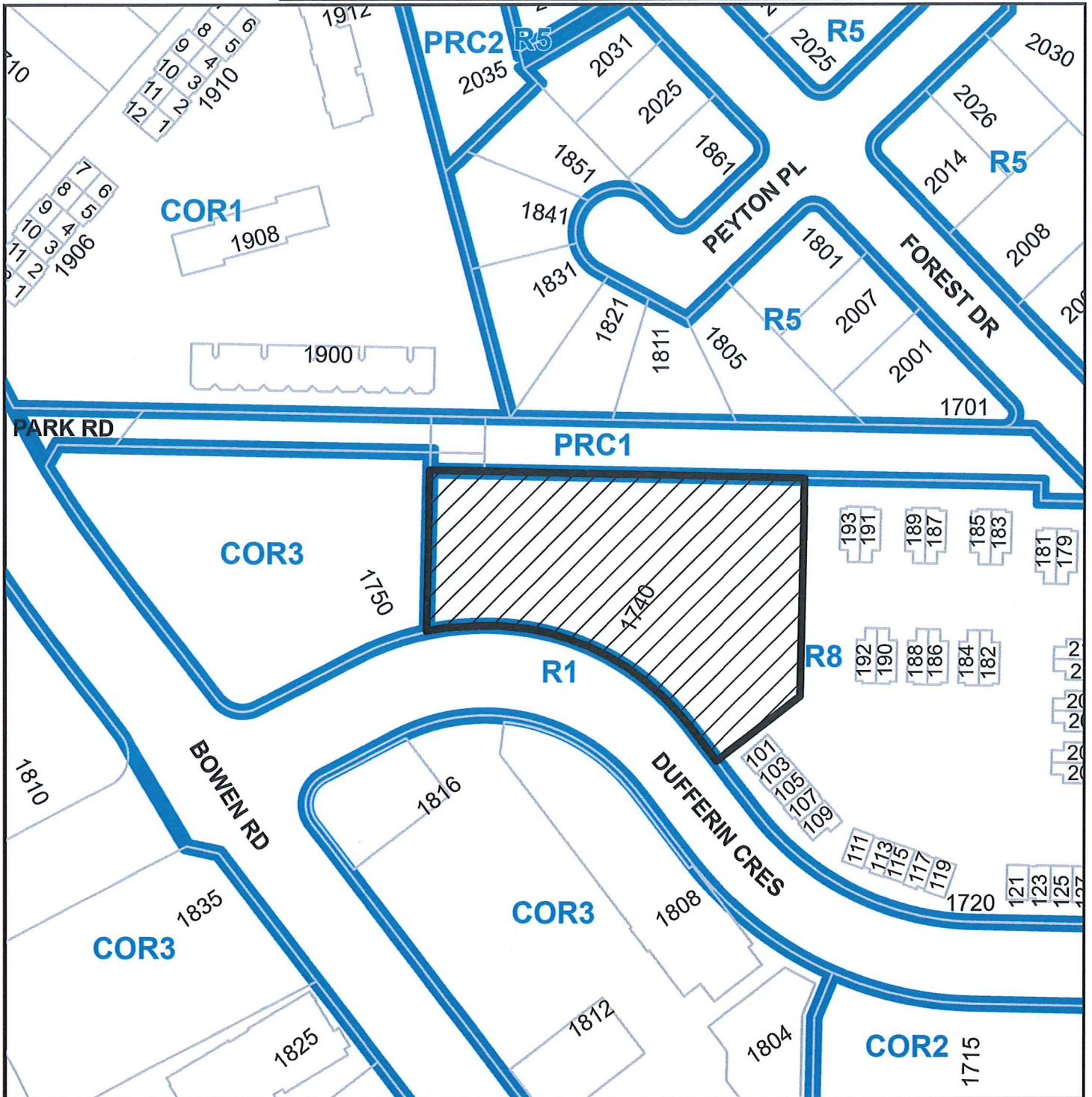
AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 16TH DAY OF **DECEMBER, 2024.**


Corporate Officer

Sheila Gurrie
Corporate Officer
City of Nanaimo


Date

SUBJECT PROPERTY MAP



 1740 DUFFERIN CRESCENT

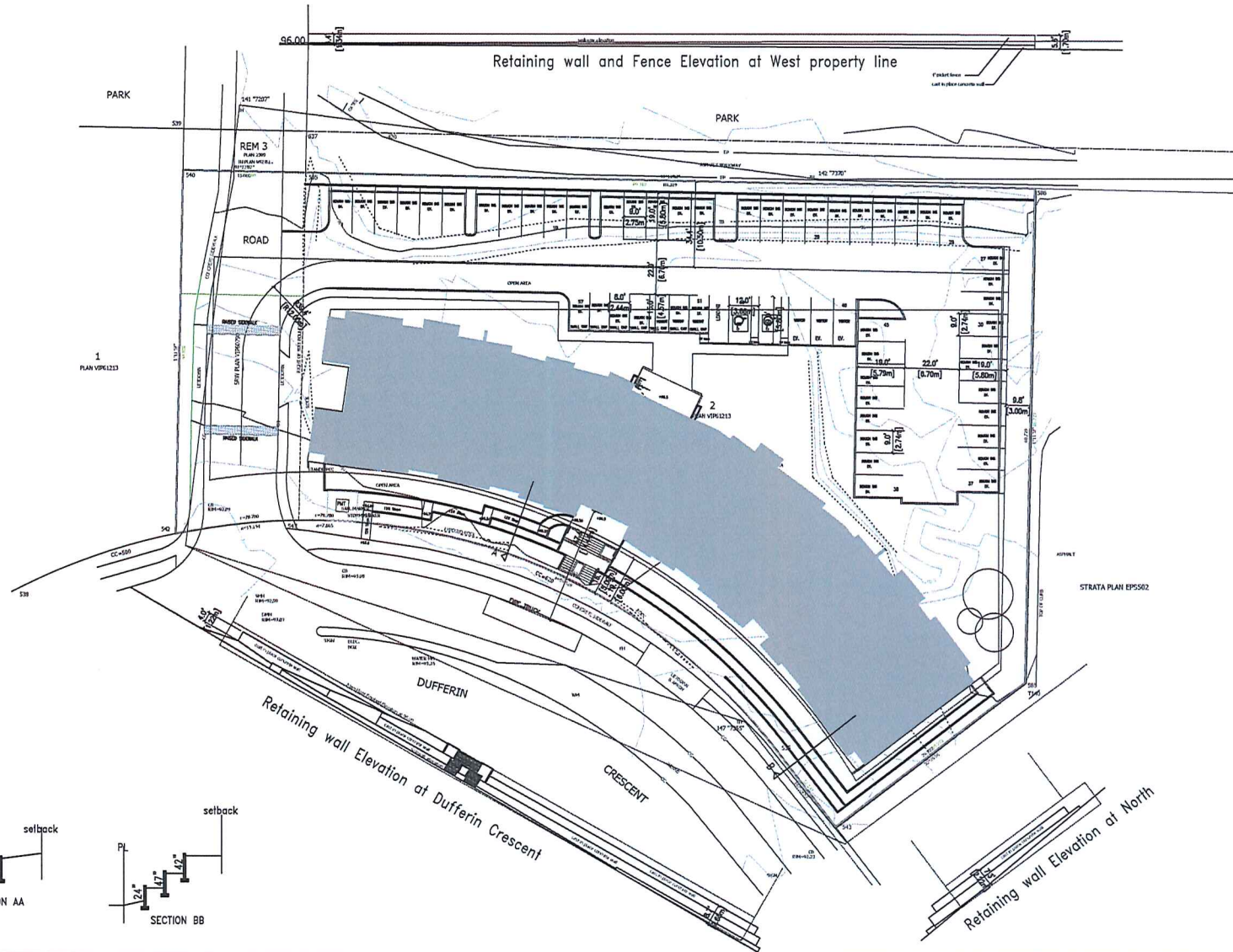


Figure 1 shows a cross-section labeled 'SECTION BB' of a test specimen. The profile is stepped, with three distinct horizontal segments. The vertical height of the first segment is 24 inches, the second is 47 inches, and the third is 42 inches. A vertical line on the right side is labeled 'setback'.

NOTES

This drawing is an instrument of service to the property of EMPLOYER/FRANCHISEE/landlord/tenant. Available - Please pay and may be returned without this permission and without the certificate transfer their name. All designs and other information shown on this drawing can be used on the specified project only and shall not be used otherwise without written permission of this office.

Before drawing shall have presented our stated drawings. (Contractors and only) and be responsible for all dimensions and quantities on the job and this office is not liable for any dimensions, quantities, drawings and conditions shown on the drawing. Any drawings shall be submitted to this office for approval prior to proceeding with fabrication.



D-ARCHITECTURE
6377 IDARUS DRIVE, HANAMHD, MO 63041
TEL: 250-923-1991, E: PIRQUZL@SHAW.CA
CARVONJH PIRQUZL ARCHITECTURE INC.

RECEIVED
DP1334
2024-OCT-28
Current Planning



2024-10-28

SCALE	N/A
DRAWN	
CHECKED	
DATE	28 OCT 24

PROJECT
1740 DUFFERIN CRESCENT
NANAIMO, BC

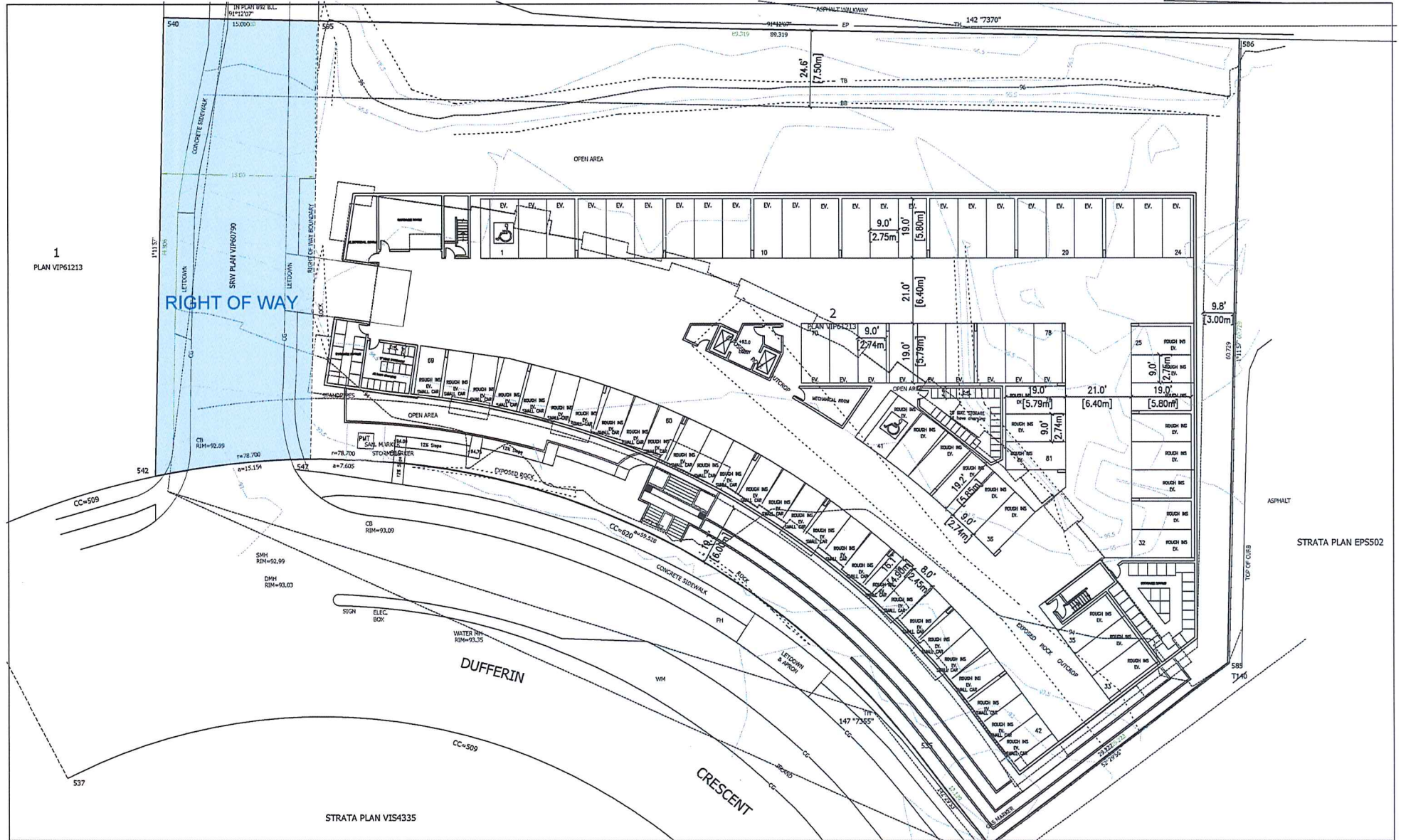
CLIENT	PLAVETIC MJP HOMES LTD.
PROJECT NO.	2753

SHEET TITLE
SITE PLAN
PRELIMINARY

SHEET NO.

A1.1

REVISION



NOTES 1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED. 2. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN. 3. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN. 4. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN. 5. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN. 6. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN. 7. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN. 8. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN. 9. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN. 10. THE CLIENT HAS REVIEWED AND APPROVED THIS PLAN.	D-ARCHITECTURE 6377 ISLAND DRIVE, NANAIMO, BC V9Y 1H4 TEL: 250-933-1991, E: info@duffin.com DAVID DUFFIN ARCHITECTURE INC.	RECEIVED DP1334 2024-OCT-28 Consulting Planning	CONSULTANT SEAL 2024-10-28	SCALE: 1/16" = 1' - 0" DRAWN: [Signature] CHECKED: [Signature] DATE: 28 OCT 24	PROJECT: 1740 DUFFERIN CRESCENT NANAIMO, BC SIGN: [Signature]	CLIENT: PLAVETIC MJP HOMES LTD. PROJECT NO: 2753	SHEET TITLE: UNDERGROUND PARKING PLAN PRELIMINARY	SHEET NO: A1.2 REVISION: [Table]
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NOTES

1. ALL ELEVATIONS ARE SHOWN FROM THE STREET SIDE UNLESS NOTED OTHERWISE.
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D-ARCHITECTURE
6377 ISADORE DRIVE, VANCOUVER, BC V6N 1M4
TEL: 604-271-1991 • E: PIRKUL@D-ARCHITECTURE.COM
D-ARCHITECTURE ARCHITECTURE INC.

RECEIVED
DP1334
2024-NOV-19
CITY OF VANCOUVER



SCALE
1/16" = 1' - 0"

DRAWN

CHECKED

DATE
19 NOV 24

PROJECT
1740 DUFFERIN CRESCENT
NANAIMO, BC

CLIENT
PLAVETIC
MJP HOMES LTD.

PROJECT NO.
2753

SHEET TITLE
BUILDING ELEVATIONS
PRELIMINARY

SHEET NO.
A3.1

Development Permit No. DP001334 Schedule D
1740 Dufferin Crescent
LANDSCAPE PLAN AND DETAILS

GENERAL NOTES

1. THE LANDSCAPING CHARACTER AREA FOR THE SITE IS NORTH NANAIMO.
2. REFER TO PLANS PREPARED BY CHARTERED ARCHITECTURE FOR SITE PLAN LAYOUT, PROPOSED FINISHED FLOOR ELEVATIONS AND OTHER ARCHITECTURAL INFORMATION.
3. REFER TO CIVIL PLANS AND REPORT PREPARED BY J.E. ANDERSON & ASSOCIATES FOR ALL SITE SERVING, GRADING, SITE DRAINAGE AND STORMWATER MANAGEMENT INFORMATION.

LAYOUT LEGEND

ABBREVIATIONS	DESCRIPTION
EXIST	EXISTING
TYP	TYPICAL
PL	PROPERTY LINE
PA	PLANTING AREA
SYMBOL	DESCRIPTION

PROPERTY LINE
BROOM FINISH CONCRETE PAVING
450mm LEAVE STEEP, 35mm MINUS ROUND WASHED RIVER CORNUS OVER LANDSCAPE FABRIC (EXTEND UNDER FRONT RAZONED)
STONESCAPES: 200mm MINUS ROUND WASHED RIVER ROCK OVER LANDSCAPE FABRIC
PRECAST/CAST CONCRETE RAIL FENCE, REFER TO DETAIL ON SHEET L2
1.5m METAL PICKET FENCE AROUND DOG AREA

SITE FEATURES
WINTERLANDSCAPE WINDSHIELD SITE FINISHINGS (P/N: 200-622-0476)

BENCH
STREET AVESSEURY BENCH
MODEL: A-5
PLANT: CROWN SLATE
SLAT COLOUR: REDWOOD

4.5m TALL RICE BARK
INTERIOR WALL LIGHT
MODEL: SIBK-4
COLOUR: EPOXY SLATE

7.5m TALL RICE BARK
INTERIOR WALL LIGHT
MODEL: SIBK-7
COLOUR: BROWN SLATE

PICNIC TABLE
STYLE: SINGLE, PEDESTAL PICNIC TABLE
MODELS: (1) SPTPT-40 & (1) SPTPT-40 (2) C0555B(2)
PLANT: CROWN SLATE
SLAT COLOUR: REDWOOD

BOLLARD LIGHT
DISTRIBUTION: SIGNIFY (800-555-0050)
MODEL: HADCO
STYLE: LANDSCAPE BOLLARD
MODEL: DR00 (1) EQUAL
COLOUR: BRONZE

STREET WALL LIGHT
DISTRIBUTION: SIGNIFY (800-555-0050)
MODEL: HADCO
STYLE: LANDSCAPE STREET LIGHT
MODEL: T052 (1) EQUAL
COLOUR: BRONZE

DARK SKY COMPLIANT LED PARKING LOT LIGHT (PULL OUT-OF-FLAT LENS)
DISTRIBUTION: SIGNIFY (800-555-0050)
MODEL: HADCO
STYLE: URBAN PIMA PENDANT
MODEL: C055 (1) EQUAL
COLOUR: BRONZE

ALL SITE LIGHTING LOCATIONS, MAKES, MODELS, QUANTITIES AND PHOTOMETRIC ANALYSIS SHALL BE BY THE PROJECT ELECTRICAL ENGINEER AT BUILDING PERMIT STAGE OF DESIGN.

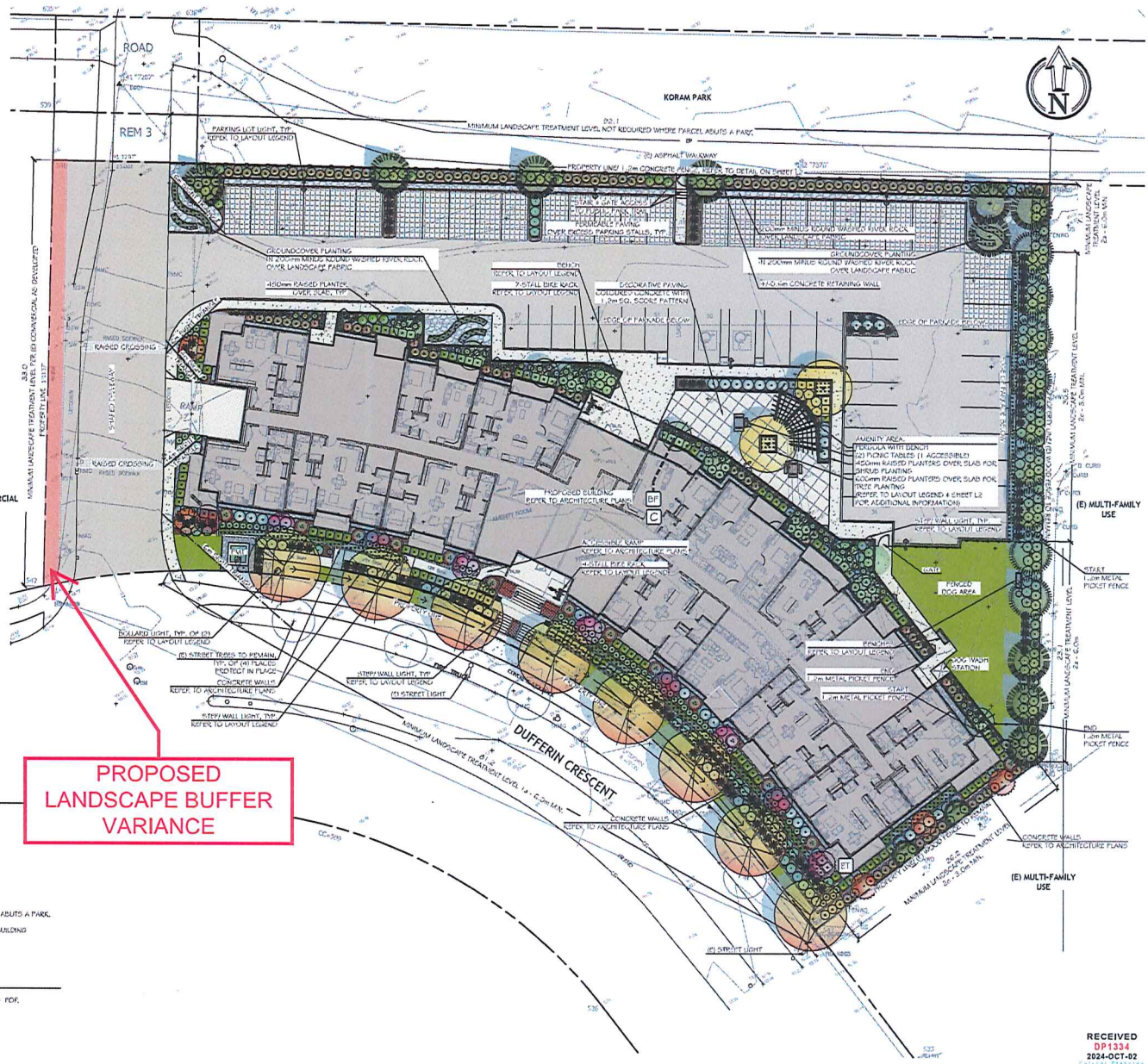
MINIMUM LANDSCAPE TREATMENT LEVEL SUMMARY

TREE PLANTING:	LENGTH (m)	REQUIRED	PROPOSED
FRONT YARD:	1x - 2.0m	0	0
SIDE YARD (EAST):	2x - 2.0	30	2
SIDE YARD (WEST):	2x - 2.0	57	12
REAR YARD:	N/A	30	2
TOTAL:	1.3	84	

2. MINIMUM LANDSCAPE TREATMENT IS NOT REQUIRED ALONG THE NORTH LOT LINE WHERE THE PARCEL ADJUTS A PARK.
3. THE SIDE YARD OF THE LOT IS ALREADY DEVELOPED. TWO TREES ARE PROPOSED ADJACENT TO THE BUILDING FRONTAGE ALONG THE SHARED DRIVEWAY.
4. 50% (23 OF 46) OF THE PROPOSED TREE SPECIES ARE CONIFEROUS OR EVERGREEN.

TREE REPLACEMENT SUMMARY

1. REFER TO TREE MANAGEMENT PLAN PREPARED BY TOTH AND ASSOCIATES ENVIRONMENTAL SERVICES FOR ADDITIONAL INFORMATION.
2. REPLACEMENT TREES REQUIRED: 56
3. REPLACEMENT TREES PROVIDED: 46



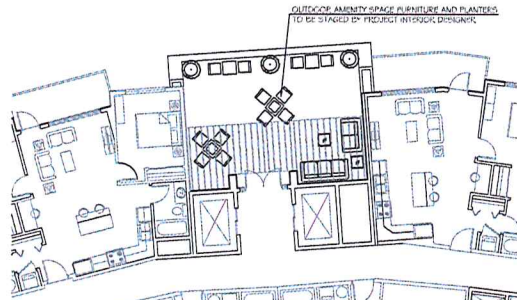
THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WITHOUT THE SIGNATURE OF THE DESIGNER. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY THE DESIGNER. ANY CHANGES TO THIS DRAWING SHALL BE MADE BY THE DESIGNER.

1740 Dufferin Crescent
Plavetic/ MJP Homes Ltd.
Nanaimo, BC

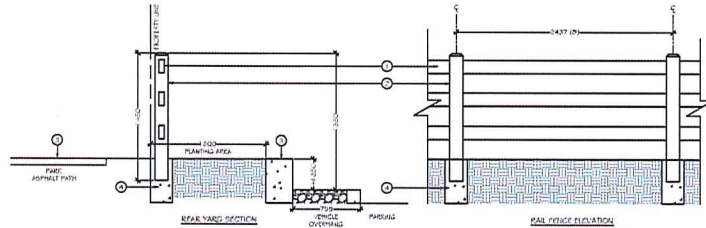
LANDSCAPE ARCHITECTURE PLAN
Date: August 20, 2024
Drawn: CA
Checked: CA
Scale: 1:200 metric
Project Number: 21-0330
DRAWING NUMBER: L1 of 2

REVISION SCHEDULE
1. 1/26/2024 Pre-App. Meeting
2. 2/14/2024 Based on DP
3. 2/28/2024 Based on DP
4. 2/28/2024 Revisions for DP
5. 2/28/2024 Revisions for DP

RECEIVED
DP 1334
2024-OCT-02



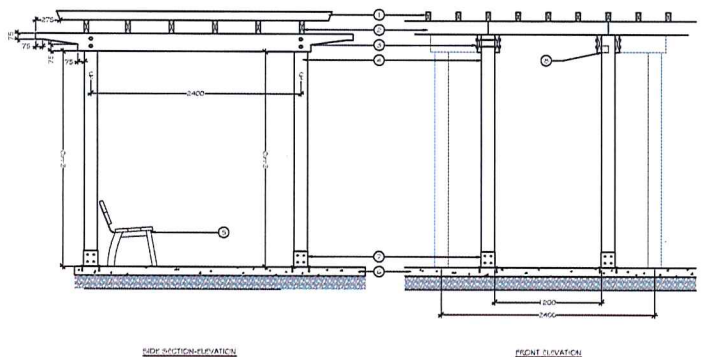
Third Floor Outdoor Amenty Space



- 1. CONCRETE RAIL, TOP OF GR. COUPLER, FAIR
- 2. CONCRETE POST COUPLER, FAIR
- 3. FINISHED GRADE ADJACENT WALKWAY TO FENCE
- 4. FENCING PER MANUFACTURER'S SPECIFICATIONS
- 5. CONCRETE WALL

NOTES:
1. TOTAL PERMANENTLY SPECIFICATIONS

A Prefabricated Concrete Rail Fence on Wall
Section Elevation



- 1. 150mm x 150mm (6" x 6") CEILING, TIE BARS W/ (2) - 150mm (6") GALVANIZED ANGLE BOLTS AT ALL CONNECTIONS
- 2. 150mm x 150mm (6" x 6") CEILING, TIE BARS W/ (2) - 150mm (6") GALVANIZED ANGLE BOLTS AT ALL CONNECTIONS
- 3. (2) 50mm x 150mm (2" x 6") CEILING CROSS MEMBERS PER POST OR TO LANDSCAPE BRIGADES, FASTENED TO EACH POST WITH 1 - 150mm (6") GALVANIZED ANGLE BOLTS AT ALL CONNECTIONS
- 4. 150mm x 150mm (6" x 6") POSTS, REFER TO LAYOUT SHEET
- 5. FINISH CONCRETE FACING, REFER TO SITE PLAN
- 6. 150 x 150 x 20mm GALVANIZED POST FASTENED TO CONCRETE FACING WITH 1 - 150mm (6") GALVANIZED ANGLE BOLTS AT ALL CONNECTIONS
- 7. 150mm (6") POSTS, REFER TO LAYOUT SHEET
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NOTES:
1. FINISH ALL EXPOSED SURFACES SMOOTH
2. STAIN ALL THATCHES WITH FLECK OUTSIDE STAIN PLOT TO DISCREETLY

B Pergola
Section Elevation

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGN-BUILD BY THE OWNER.
2. IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
3. ALL PROPOSED ON-SITE PLANTING AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM UTILIZING A SMART (ET) WEATHER-BASED IRRIGATION CONTROLLER.
4. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO DRIP EQUIPMENT.
5. THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPRINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY INTO ADJACENT HARD SURFACES, FENCES AND PROXIMATE LINES.
6. ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 300mm WITH 150mm OF SAND DROFFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
7. OPERATE IRRIGATION CONTROLLER WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.

PLANTING NOTES

1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
2. GROWING MEDIUM SHALL MEET OR EXCEED THE PROPERTIES OUTLINED IN THE CANADIAN LANDSCAPE STANDARD PER SECTION 6. GROWING MEDIUM, TABLE 1-6.3.3.2. PROPERTIES FOR GROWING MEDIA:
LEVEL 2 "GROWING" - 2"
GROWING MEDIUM DEPTHS: LAWN - 150mm
TREES - 450mm
TREES - 600mm BELOW AND AROUND ROOTBALL
3. MULCH SHALL BE COMPOST PER SECTION 10 MULCHING OF THE CANADIAN LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREES, SHRUBS AND GROUNDCOVER PLANTING AREAS.
4. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CSA STANDARDS FOR NURSERY STOCK.
5. ALL TREES, SHRUBS, GROUNDCOVER AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UTILIZING SMART (ET) WEATHER-BASED IRRIGATION CONTROL. IRRIGATION EMISSION DEVICES SHALL BE HIGH EFFICIENCY LOW VOLUME ROTARY NOZZLES OR DRIP IRRIGATION EQUIPMENT.
6. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
7. ALL PLANT MATERIAL SHALL MATCH TYPE AND SPECIES AS INDICATED ON THE PLANTING LEGEND, CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
8. CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE FITS. DECATATED PLANT FITS SHALL HAVE POSITIVE DRAINAGE. PLANT FITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
9. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

IRRIGATION EQUIPMENT LEGEND

SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
	IRIDIUM	TED	AUTOMATIC IRRIGATION CONTROLLER IN MECHANICAL ROOM
	IRIDIUM	WES-SEN	WIRELESS SOLAR/NOV SENSOR ON SOUTH-FACING FAIR
	BY CIVIL	BY MECHANICAL	30mm (1.5") DOUBLE CHECK BACKFLOW PREVENTER AND WATER SUPPLY IN MECHANICAL ROOM
		SCHEDULE 40	30mm (1.5") PVC MANHOLE
		SCHEDULE 40	MANHOLE + CONTROL WIRE: 150mm (6") LATERALS: 150mm (6") BURIAL DEPTH TO MATCH DEPTH OF CARRIED PIPE

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY	NOTES
	ACER, CORDATUM VINE MALE	#7 POT	SEE PLAN	10	NATIVE SPECIES
	LIQUIDAMBAR, SLENDER EUROPEAN SLENDER SHALLOTTE SWEETGUM	6cm CAL	SEE PLAN	5	DROUGHT TOLERANT
	MAGNOLIA, SOUTHERN MAGNOLIA	#20 POT	SEE PLAN	2	EVERGREEN, INCORPORATED PLANTING
	PICTA, CANADIAN BRUNY BALDWIN SORBUS SPRUCE	2.5m	4.5m O.C.	2	CONIFER, DROUGHT TOLERANT
	FINUS, CONIFERA SHORE PINE	2.5m	SEE PLAN	10	CONIFER, NATIVE SPECIES
	PERICLITIS, MELISSA EUCALYPTUS	2.5m	SEE PLAN	8	CONIFER, NATIVE SPECIES
	TILO, CORDATA GREENSPICE GREENSPICE LITTLELEAF LINCOLN	6cm CAL	1.0m O.C.	8	DROUGHT TOLERANT
	CECIDI, GANONDIS MOROT MOUT PEEDEUSGALLERIA	#7 POT	SEE PLAN	4	PATIO TREES, DROUGHT TOLERANT
	NEPOTIS, DWARF DWARF SICALONIA	#1 POT	0.75m O.C.	80	DROUGHT TOLERANT
	GALATHEA, SHALLOT SHAL	#2 POT	1.0m O.C.	80	NATIVE SPECIES
	HYDRANGEA, FANICULATA PINK DIAMOND PINK DIAMOND HYDRANGEA	#3 POT	SEE PLAN	16	DROUGHT TOLERANT
	HYDRANGEA, GLOBO PINK RUBY SUPPLY RUBY SUPPLY HYDRANGEA	#3 POT	SEE PLAN	16	DROUGHT TOLERANT
	MAGNOLIA, SUGAR SUGAR MAGNOLIA	#15 POT	SEE PLAN	5	PATIO TREES, DROUGHT TOLERANT
	MARONIA, AQUILIFOLIA OCEAN GRASS	#2 POT	1.0m O.C.	133	NATIVE SPECIES
	POLYSTICHUM, MOUNTAIN SWORD PINE	#1 POT	1.0m O.C.	37	NATIVE SPECIES
	SENECIO, GREY "SUNSHINE" DASH BUSH	#1 POT	1.2m O.C.	43	DROUGHT TOLERANT
	FAXUS, MEDIA P.M. EDDIE P.M. EDDIE YEW	#3 POT	0.8m O.C.	120	DROUGHT TOLERANT
	VIBURNUM, FINUS VIBURNUM OCEANIC LAURELSTARS	#2 POT	1.0m O.C.	58	DROUGHT TOLERANT
	ARCTOSTAPHYLOS, UNALUSI KINIFER-ICE	#1 POT	0.2m O.C.	135	NATIVE SPECIES
	DICENTRA, FORMOSA PACIFIC BLOODS HEART	#1 POT	0.6m O.C.	30	NATIVE SPECIES
	HYDRONOTUS, MOUNTAIN MOUNTAIN GOLDEN JAPANESE FOREST GRASS	#1 POT	0.6m O.C.	54	DROUGHT TOLERANT
	HELIOTROPIS, SIMPSON'S BLUE OAT GRASS	#1 POT	0.8m O.C.	94	DROUGHT TOLERANT
	HYDRANGEA, ANOMALA V.V. PETOLARIS CLIMBING HYDRANGEA	#1 POT	SEE PLAN	4	AT PERGOLA POSTS
	ROSA, MOUNTAIN ROSE WHITE MOUNTAIN ROSE	#1 POT	1.0m O.C.	67	DROUGHT TOLERANT
	LAWN CANADA NO. 1	500		306m2	
	BY OWNER	1.0m POT	0.45m O.C.	30	



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT HAS BEEN SIGNED AND SEAL BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES AND STRUCTURES.

1740 Dufferin Crescent
Plavetic/ MJP Homes Ltd.
Nanaimo, BC

LEGEND, NOTES & DETAILS

REVISION	DATE	NOTES
1	13/02/2024	Pre-App. Meeting
2	16/04/2024	Issued for DP
3	24/05/2024	Issued for DP
4	24/05/2024	Revised for DP
5	24/05/2024	Revised for DP

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L2 of 2