



DEVELOPMENT PERMIT NO. DP001324

1253428 BC LTD.

Name of Owner(s) of Land (Permittee)

3180 ISLAND HIGHWAY N

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 2, SECTION 5, WELLINGTON DISTRICT, PLAN 47148
PID No. 011-895-811**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plan
Schedule C Building Elevations and Details
Schedule D Landscape Plans and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

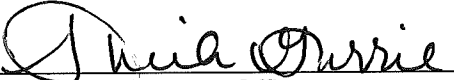
The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Subsection 6.5.1 General Regulations* – to increase the maximum allowable projection of a canopy into the flanking side yard setback from 1.0m to 2.85m, as proposed.
2. *Subsection 17.2.1 General Regulations* – to reduce the minimum required landscape buffer along the flanking side lot line from 1.8m to 0.0m, as proposed.

CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site and Parking Plan, prepared by BFA Studio Architects, dated 2024-MAR-25, as shown on Schedule B.
2. The development shall be developed in substantial compliance with the Building Elevations and Details, prepared by BFA Studio Architects, dated 2024-MAR-25, as shown on Schedule C.
3. The development shall be in substantial compliance with the Landscape Plan and Details prepared by ETA Landscape Architecture, dated 2024-MAR-19, as shown on Schedule D.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 3RD DAY OF JUNE, 2024.



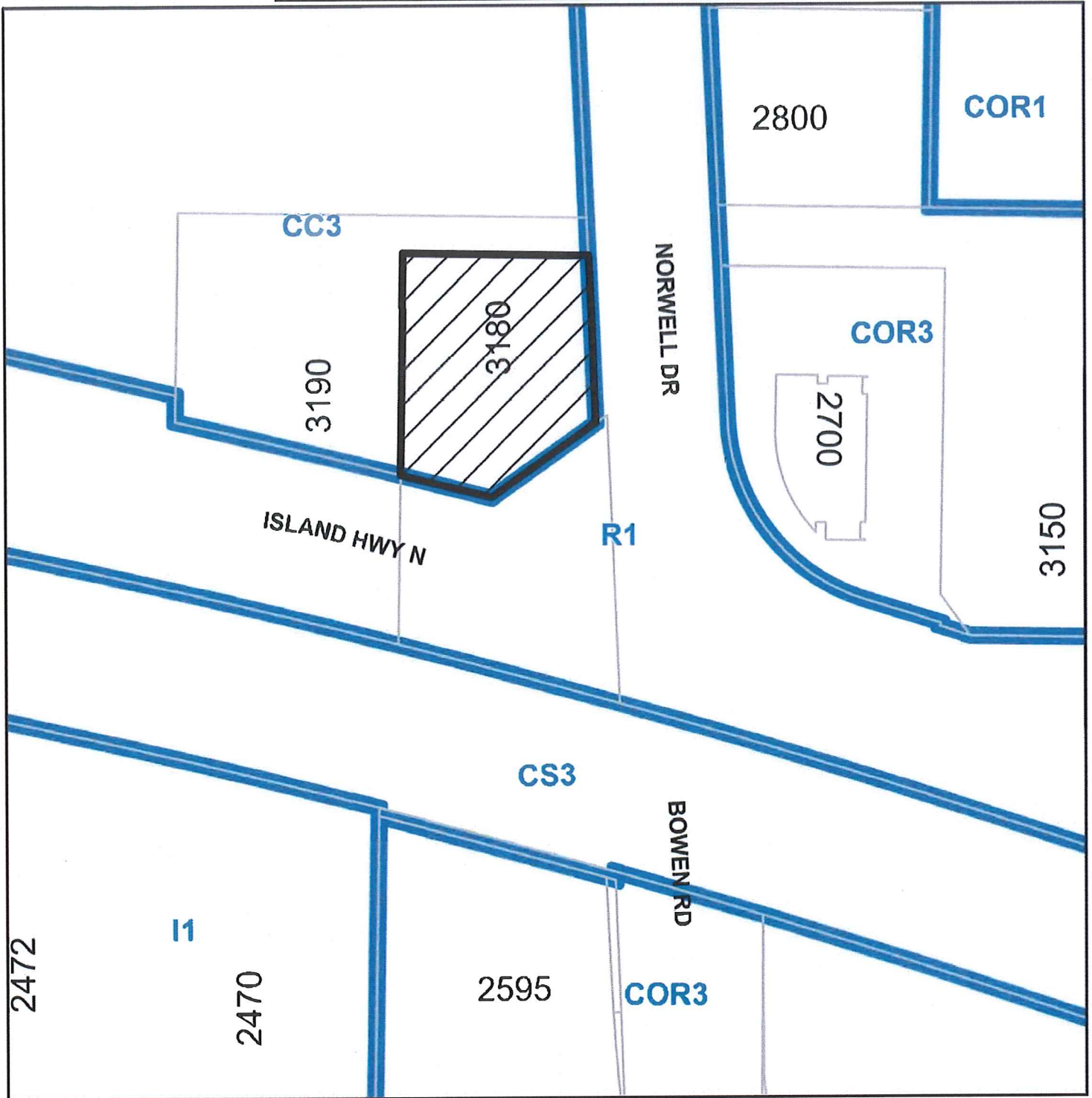
Corporate Officer
Sheila Gurrie
Corporate Officer
City of Nanaimo



Date

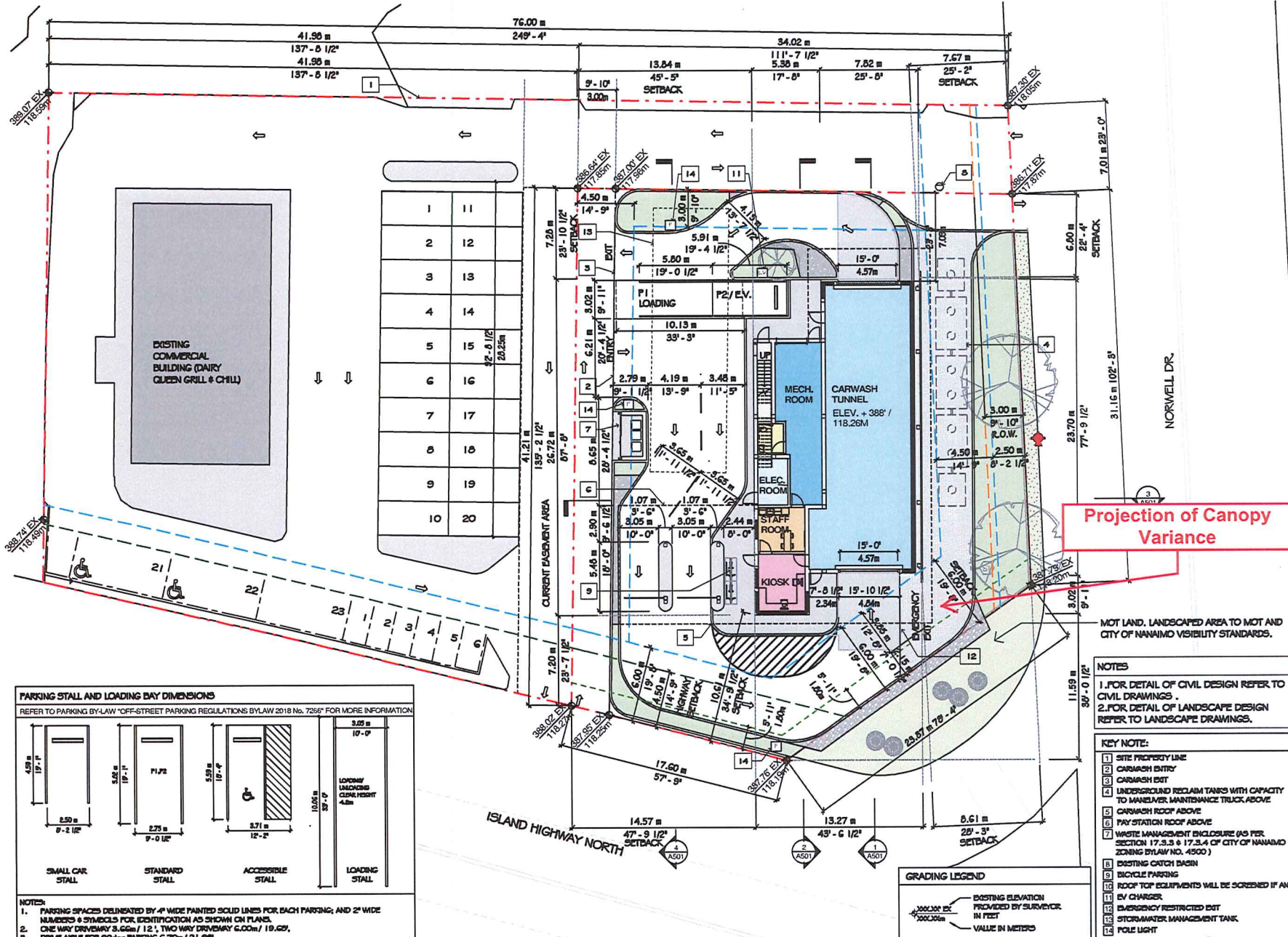
PC/ab
Prospero attachment: DP001324

SUBJECT PROPERTY MAP



3180 Island Highway North

Development Permit No. DP001324 Schedule B
3180 Island Highway North
SITE AND PARKING PLAN



bfa studio
architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
600-220-0000
NANAIMO, BC V9X 1C8
www.bfaarchitects.com

PREPARED FOR: DP001324
DATE: 06 OCT 2023
REVISION: 01
DATE: 25 MAR 2024

Copyright reserved. This drawing is the property of bfa studio architects. It is to be used for the project and site only. It is not to be reproduced, copied, or used for any other purpose without the written consent of bfa studio architects. The user of this drawing is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The user is also responsible for ensuring that the drawing is used in accordance with the applicable laws and regulations. The user is not to be held liable for any errors or omissions in this drawing. The user is to be held liable for any damages or losses resulting from the use of this drawing.



ZEN GROUP
PROJECT NO. 22525
PHASE 1
AUTOMATED CAR WASH BUILDING
3180 NORTH ISLAND HIGHWAY NANAIMO, BC

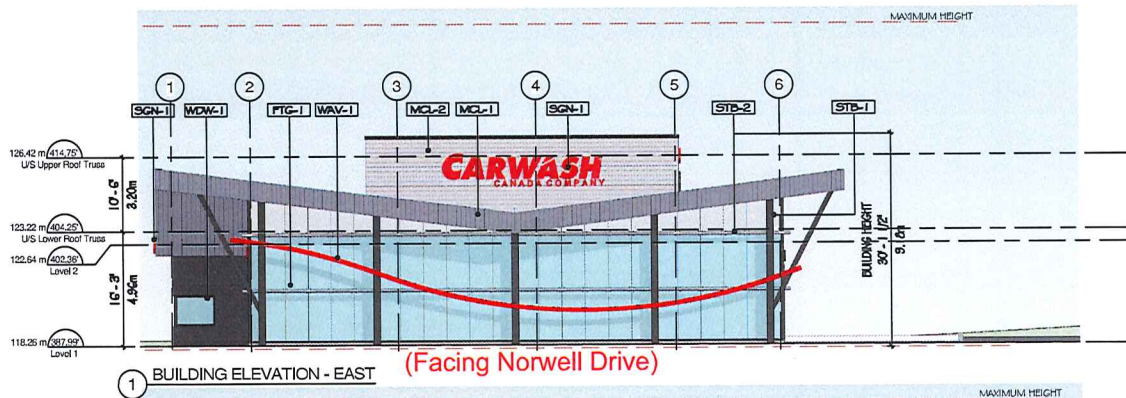


DRAWING NO. 1
SITE PLAN

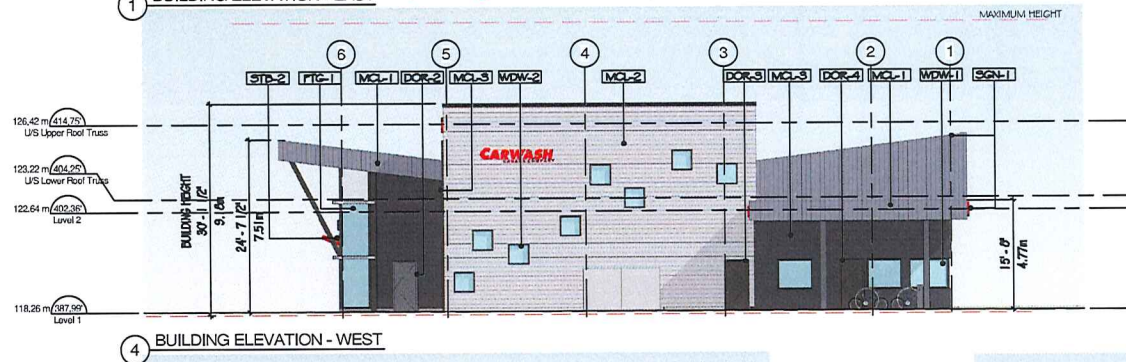
RECEIVED
DP1324
2024-APR-02
CIVIL ENGINEERING

A201
DATE: 03/13/23
SCALE: 3/32" = 1'-0"
AUTHOR: CHAC RD
CHECKER: CHAC RD

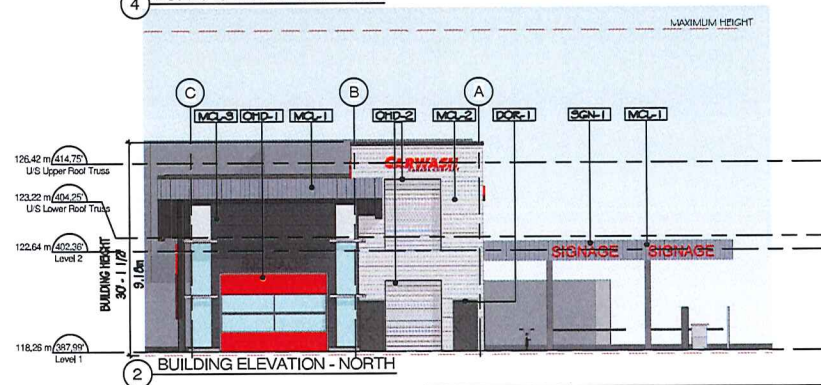
BUILDING ELEVATIONS AND DETAILS



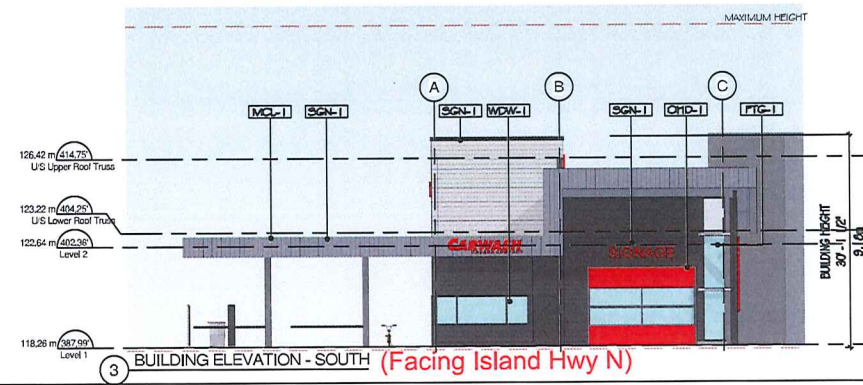
1 BUILDING ELEVATION - EAST (Facing Norwell Drive)



4 BUILDING ELEVATION - WEST



2 BUILDING ELEVATION - NORTH



3 BUILDING ELEVATION - SOUTH (Facing Island Hwy N)

ELEVATION KEYNOTE LEGEND:			
ITEM	COLOR / FINISH	ITEM	COLOR / FINISH
CON-1	CONCRETE PAINTED	CHR-1	OVERHEAD ROLL UP DOOR.
CON-2	DIGITAL DISPLAY SCREEN (NOT IN CONTRACT)	CHR-2	OVERHEAD ROLL UP DOOR, FOR MECHANICAL
DCR-1	INSULATED EXTERIOR DOOR	FSI-1	PAY STATION
DCR-2	INSULATED EXTERIOR DOOR	SP-1	STEEL SCRYPT PANELS
DLR-3	INSULATED EXTERIOR DOOR WITH CLEAR GLAZING	STB-1	STRUCTURAL BRACING (COLUMNS)
DLR-4	INSULATED EXTERIOR DOOR WITH CLEAR GLAZING	STB-2	STRUCTURAL BRACING 2 (CROSS BRACING)
HTG-1	FRAMELESS TEMPLER OF LAMINATED GLASS PANELS W/ STRUCT. SILICON JOINTS	SGN-1	SGIS BY SIGAGE COMPANY IN COMPLIANCE WITH SIGN BYLAW
NQ-1	CORRUGATED STANDING SEAM METAL CLADDING	WAV-1	METAL FEATURE WAVE
NQ-2	CORRUGATED STANDING SEAM METAL CLADDING	WDM-1	VINYL FRAME W/ DOUBLE OR TRIPLE GLAZING
NQ-3	CORRUGATED STANDING SEAM METAL CLADDING	WDM-2	VINYL FRAME W/ DOUBLE OR TRIPLE GLAZING

bfa studio
architects

ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN
600 - 226 Dundas Street T (04) 662 0544
Vancouver, BC V6G 2G8 F (04) 662 4300
www.b3studioarchitects.com info@b3studioarchitects.com

REVIEWS		DATE
NO.	DESCRIPTION	
---	ISSUED FOR DP	05 OCT 2023
---	REISSUED FOR DP	25 MAR 2024

COMMENTARY REQUIRED

These authors have also shown that the use of a single, standard, non-validated questionnaire to assess the prevalence of mental health problems in the community is likely to be unreliable. The authors of the present study have therefore used a range of validated measures to assess the prevalence of mental health problems in the community. The results of the present study are therefore more reliable than those of the previous study.



PROJECT NO. 22528

**AUTOMATED CAR WASH
BUILDING
3180 NORTH ISLAND
HIGHWAY NANAIMO, BC**

(DRAWING) TITLE

ELEVATIONS

RECEIVED
DP1324
2024-APR-02


Current Planning

A401

DATE	EXAMIN
03/13/23	Author
SCALE	CHG/CD
As indicated	Checker

LANDSCAPE PLAN AND DETAILS

Proposed Landscape
Buffer Variance

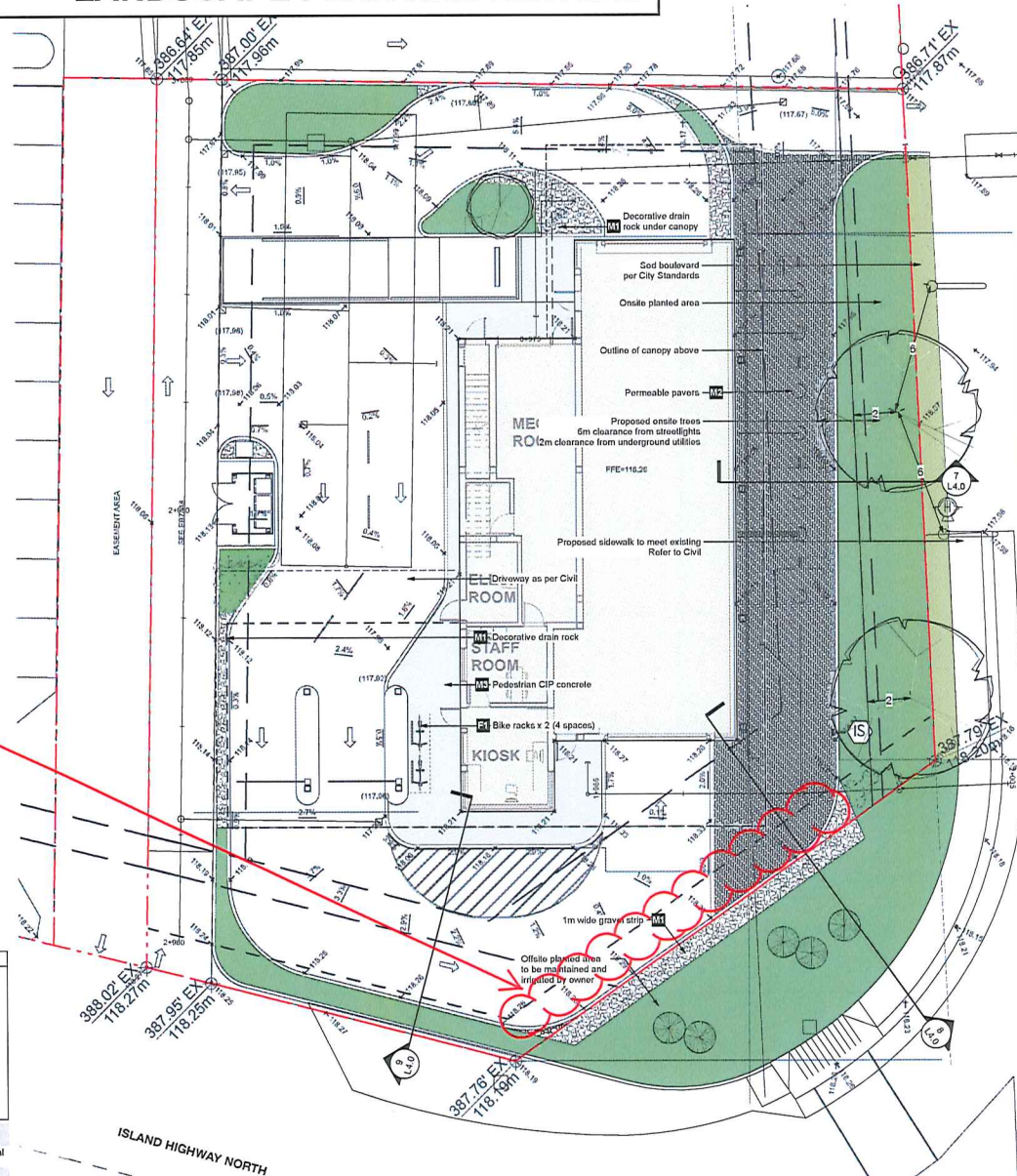
IRRIGATED AREAS & SERVICING LEGEND	
	Irrigation Stub-out
*All onsite planted areas to be irrigated. Offsite planting irrigated as noted.	
Note: 1. Refer to Canadian landscape standard, typ. 2. This sheet is for reference only. Contractor to refer to irrigation drawings for the irrigation design. 3. Final locations per Mechanical. 4. Shop drawings to be provided prior to installation for Landscape review.	

MATERIALS AND FURNISHINGS

SITE FURNISHINGS						
ID	DETAIL DESCRIPTION	SIZE	COLOUR	MATERIAL	MODEL	MANUFACTURER QTY NOTES
F1	1.6L2.0 Bike Rack	2x19x35"	Red	Metal	MBR-0500-00001	Maglin 2 Direct Burial

MATERIALS						
ID	DETAIL DESCRIPTION	SIZE	COLOUR	PATTERN	MODEL	MANUFACTURER QTY NOTES
M1	6/L2.0 Decorative Drain Rock	2-3" dia	-	-	NW Landscape	-
M2	4/L2.0 Permeable Paver	4x8x3"	Gray	Herringbone	Eco Priors	Mutual Materials -
M3	5/L2.0 CIP Pedestrian Concrete	-	-	per plan	-	-

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE.



Revised
No. Date Revision Notes

Issue
No. Date Issue Notes
A 2024-05-06 Issued for EP
B 2024-05-12 Rebased for EP

NORWELL DRIVE
Professional Seal

eta landscape architecture

1000 West 2nd Avenue
Vancouver, BC, Canada V6J 3H4

T 604.693.1459
F 604.693.1459
www.eta.ca

All Rights Reserved by eta landscape architecture Inc.
This drawing is based on information provided by the client and is not a guarantee of accuracy. eta landscape architecture Inc. is not responsible for any errors or omissions in this drawing. eta landscape architecture Inc. is not responsible for any damages or losses resulting from the use of this drawing. eta landscape architecture Inc. is not responsible for any claims or liabilities arising from the use of this drawing. eta landscape architecture Inc. is not responsible for any claims or liabilities arising from the use of this drawing.

Project
Car Wash

3180 Island Highway North
Nanaimo

Existing Title

Landscape Materials
& Grading Plan

RECEIVED
DP1324
2024-APR-02
Current Planning

Project Manager	22018
Designer	1100
Checker	1100
Drawn	1100
Scale	L1.0
Sheet No.	2
Total Sheets	2

PLANT PALETTE



RIVER BIRCH



RUGOSA ROSE



BLACK-EYED SUSAN



MAIDEN GRASS



AUTUMN STONECROP



RUSSIAN SAGE



DWARF STRAWBERRY MADRONE



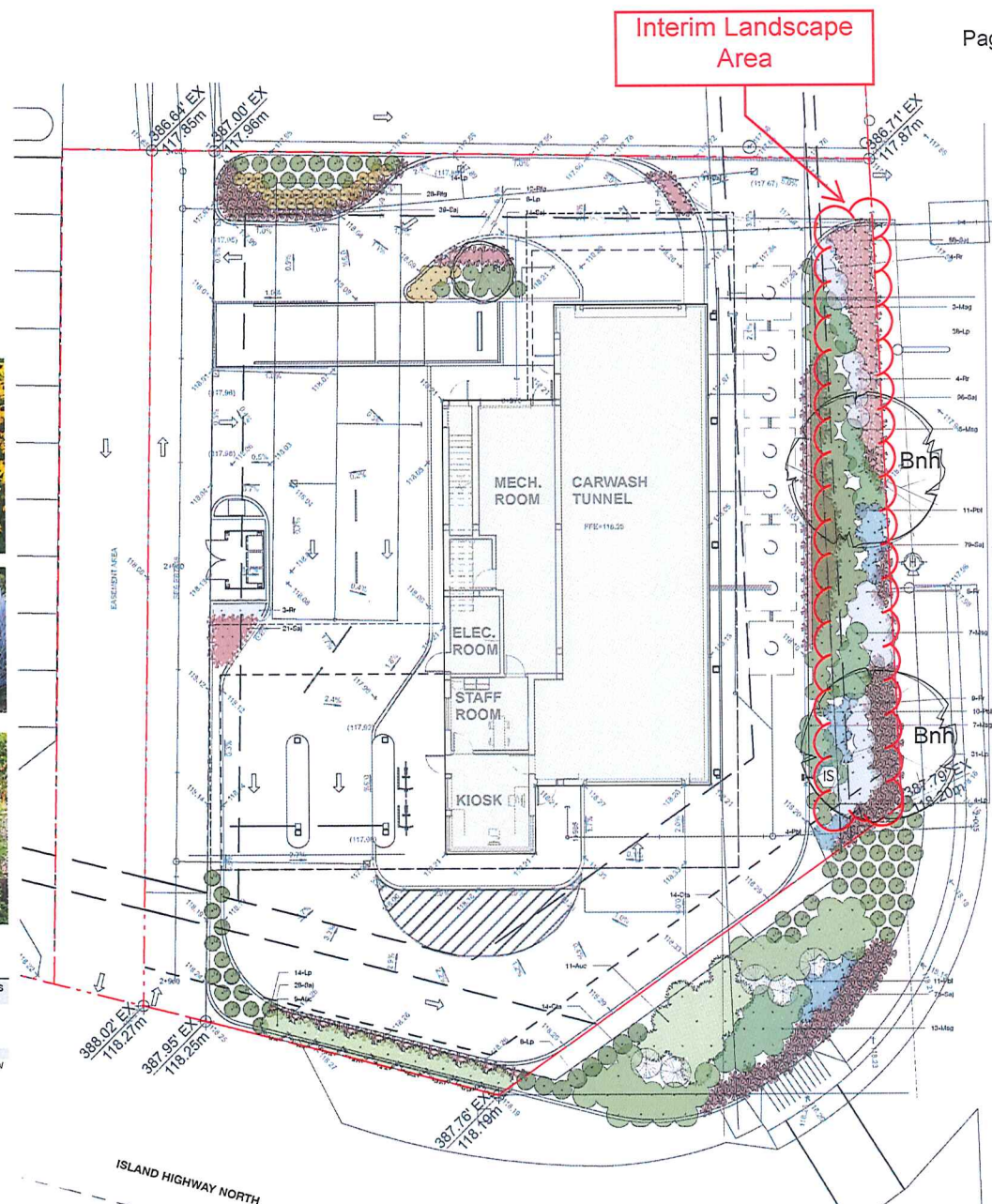
MOCK ORANGE

PLANT LIST

ID	QTY	LATIN NAME	COMMON NAME	SPACING	SIZE	NOTES	ATTRIBUTES
TREES							
Bnh	2	Betula nigra 'Heritage'	heritage river birch	as shown	6cm cal/B&B	multistem	E, B, P, Ed, W
Poa	5	Pinus nigra 'Arnold Sentinel'	Arnold Sentinel Austrian pinus shown	3m ht/B&B		full/ bushy canopy	E, S
Ple	1	Populus tremula 'Erecta'	Swedish columnar aspen	as shown	6cm cal/B&B	2m standard	N
SHRUBS / GROUNDCOVERS / PERENNIALS							
Auc	20	Arbutus unedo 'Compacta'	dwarf strawberry madrone	1.37 #10 cont.		full/ bushy plants	E, B, P, Ed, W
Cla	25	Choisya x dewileana 'Aztec Pearl'	Aztec Pearl mock orange	1.07 #5 cont.		full/ bushy plants	E, P
Lp	117	Lonicera pileata	box leaf honeysuckle	0.91 #3 cont.		full/ bushy plants	E, B, P
Mag	36	Miscanthus sinensis 'Gracillimus'	maiden grass	0.91 #5 cont.		full/ bushy plants	B, W
Pbl	35	Perovskia 'Blue Spire'	Russian sage	0.51 #2 cont.		full/ bushy plants	P
Rtg	40	Rudbeckia fulgida 'Goldsturm'	black-eyed Susan	0.46 #1 cont.		full/ bushy plants	B, P
Rr	28	Rosa rugosa	rugosa rose	0.91 #3 cont.		full/ bushy plants	B, P
Saj	451	Sedum 'Autumn Joy'	autumn stonecrop	0.46 #1 cont.		full/ bushy plants	P, W
	0			0			

NOTES:

- 1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.
- 2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON
- 3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST S - VERY SUITABLE/SUITABLE AS PER URBAN TREE LIST FOR METRO VANCOUVER IN A CHANGING CLIMATE
- 4 IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.



1 Scale: 1:100

Interim Landscape Area

Revision Notes

No. Date Revision Notes

Issue

No. Date Issue Notes

A 2024-02-05 Issued for EP

B 2024-04-10 Rechecked for LF

Professional Seal

NORWELL DRIVE

eta landscape architecture

1535 West 2nd Avenue
Vancouver, BC, Canada V6J 1H4T 604.603.1456
F 604.603.1455
www.eta88.caAll Rights Reserved by eta landscape architecture Inc.
This document is the property of eta landscape architecture Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of eta landscape architecture Inc. The user of this document agrees to hold eta landscape architecture Inc. harmless from any and all claims, damages, losses, and expenses, including reasonable attorneys' fees, that may be incurred by eta landscape architecture Inc. as a result of the user's use of this document.Project:
Car Wash3180 Island Highway North
Nanaimo

Drawing Title:

Landscape
Planting PlanRECEIVED
DP1324
2024-APR-02
CURRENT PLANNING

Project Manager	Project ID
KD	22518
Designer	Scale
KD	1:100
Reviewer	Drawing No.
DL	
Rev	L2.0
	3
	5