



**DEVELOPMENT PERMIT NO. DP001324**

**1253428 BC LTD.**

**Name of Owner(s) of Land (Permittee)**

**3180 ISLAND HIGHWAY N**

**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 2, SECTION 5, WELLINGTON DISTRICT, PLAN 47148  
PID No. 011-895-811**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map  
Schedule B Site and Parking Plan  
Schedule C Building Elevations and Details  
Schedule D Landscape Plans and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

### TERMS OF PERMIT

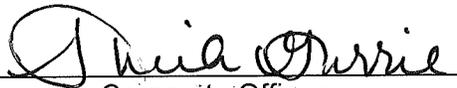
The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Subsection 6.5.1 General Regulations* – to increase the maximum allowable projection of a canopy into the flanking side yard setback from 1.0m to 2.85m, as proposed.
2. *Subsection 17.2.1 General Regulations* – to reduce the minimum required landscape buffer along the flanking side lot line from 1.8m to 0.0m, as proposed.

### CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site and Parking Plan, prepared by BFA Studio Architects, dated 2024-MAR-25, as shown on Schedule B.
2. The development shall be developed in substantial compliance with the Building Elevations and Details, prepared by BFA Studio Architects, dated 2024-MAR-25, as shown on Schedule C.
3. The development shall be in substantial compliance with the Landscape Plan and Details prepared by ETA Landscape Architecture, dated 2024-MAR-19, as shown on Schedule D.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 3RD DAY OF JUNE, 2024.



Corporate Officer

Sheila Gurrie  
Corporate Officer  
City of Nanaimo

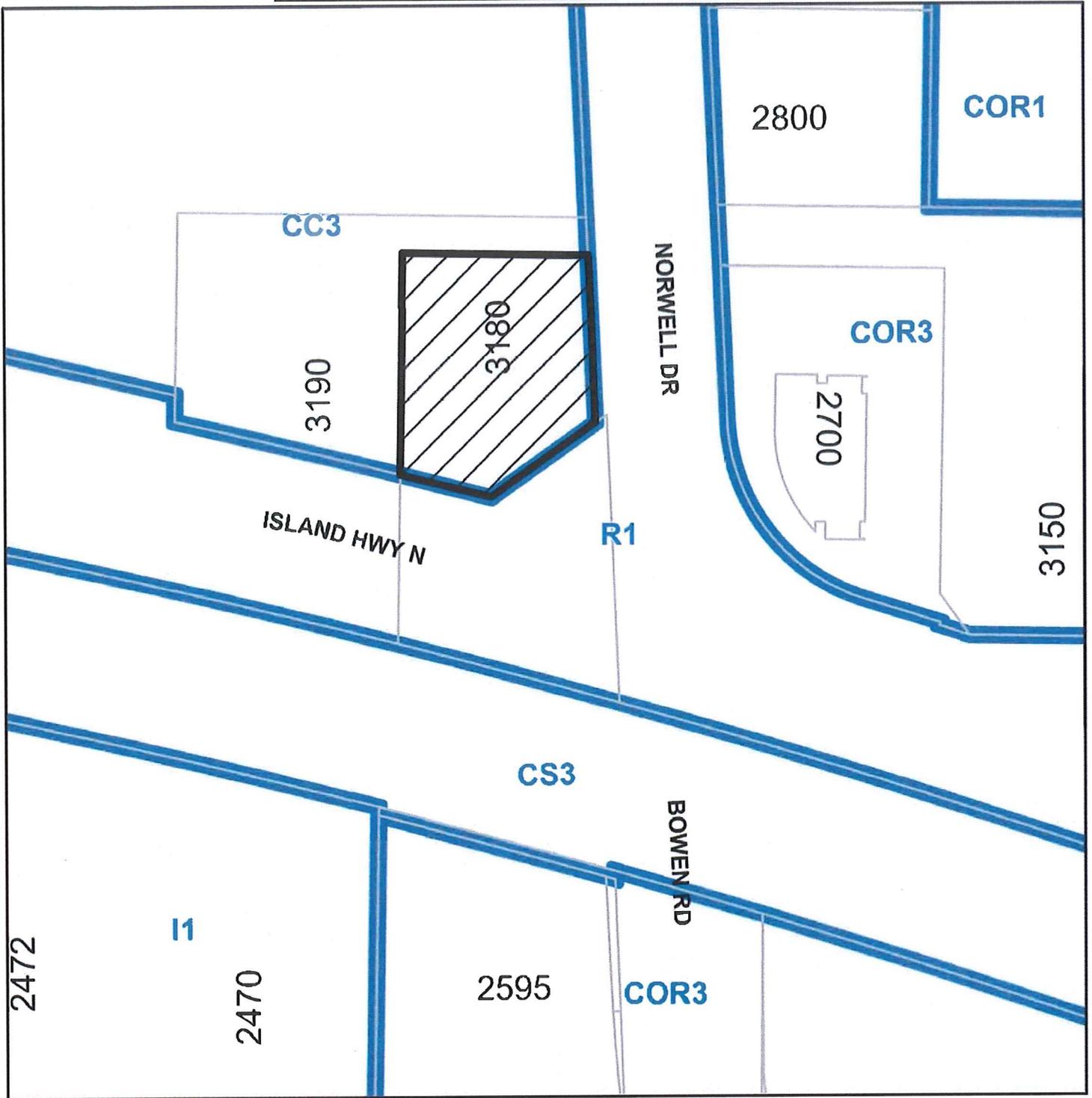


Date

PC/ab

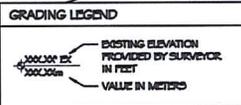
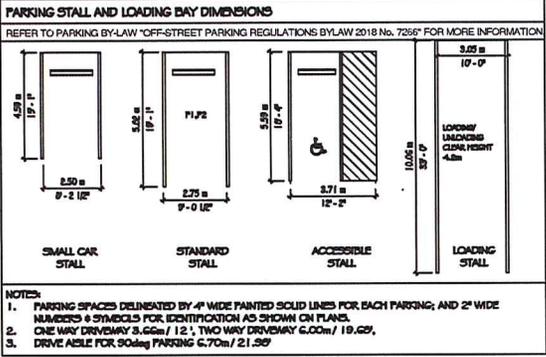
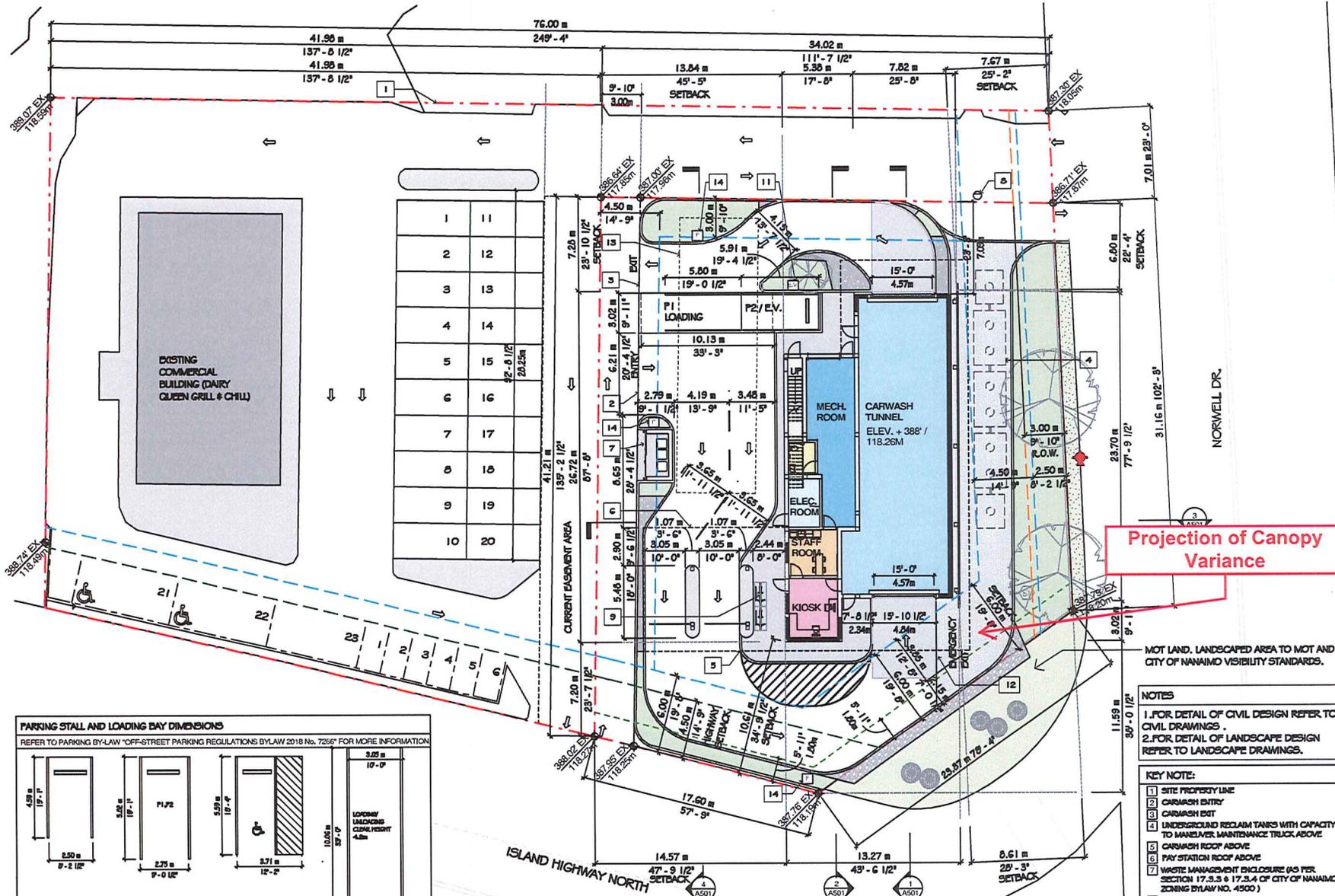
Prospero attachment: DP001324

**SUBJECT PROPERTY MAP**



 3180 Island Highway North

Development Permit No. DP001324 Schedule B  
 3180 Island Highway North  
**SITE AND PARKING PLAN**



**NOTES**  
 1. FOR DETAIL OF CIVIL DESIGN REFER TO CIVIL DRAWINGS.  
 2. FOR DETAIL OF LANDSCAPE DESIGN REFER TO LANDSCAPE DRAWINGS.

- KEY NOTE:**
- SITE PROPERTY LINE
  - CARWASH ENTRY
  - CARWASH EXIT
  - UNDERGROUND RECLAIM TANKS WITH CAPACITY TO MANUEVER MAINTENANCE TRUCK ABOVE
  - CARWASH ROOF ABOVE
  - PAY STATION ROOF ABOVE
  - WASTE MANAGEMENT ENCLOSURE (AS PER SECTION 17.3.3 & 17.3.4 OF CITY OF NANAIMO ZONING BY-LAW NO. 4500)
  - EXISTING CATCH BASIN
  - BICYCLE PARKING
  - ROOF TOP EQUIPMENTS WILL BE SCREENED IF ANY
  - EV CHARGER
  - EMERGENCY RESTRICTED EXIT
  - STORMWATER MANAGEMENT TANK
  - POLE LIGHT

**bfa studio architects**  
 ECO-REGIONAL ARCHITECTURE + INTERIOR DESIGN  
 600-222 DUNDAS STREET WEST VANCOUVER BC V6C 2G8  
 TEL: 604-682-8888 FAX: 604-682-4503  
 WWW.BFASTUDIOARCHITECTS.COM

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 DP1324  
 2024-APR-02  
 SCHEDULE B PLANNING

**A201**

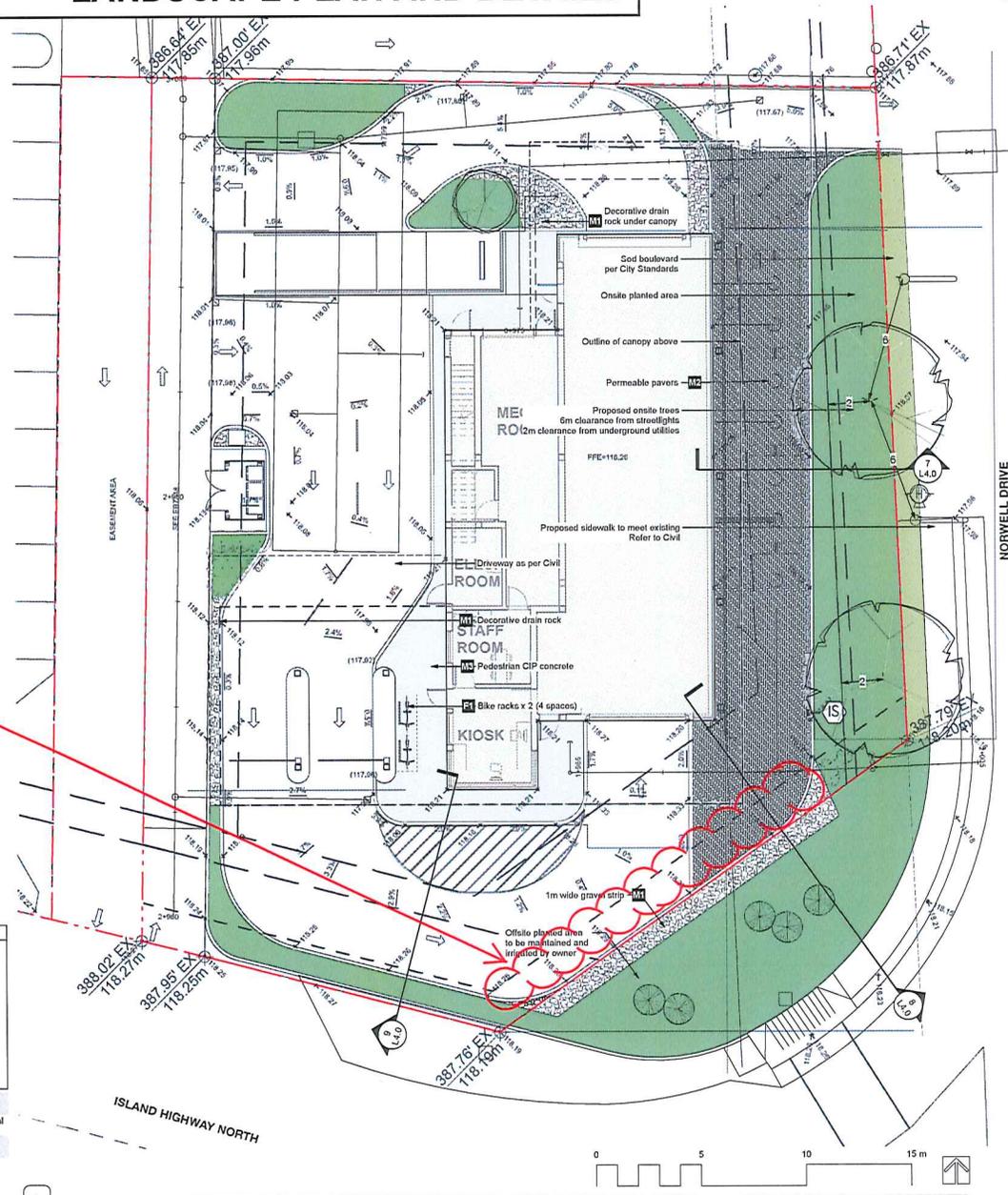
DATE: 03/13/23  
 SCALE: 1/8" = 1'-0"

DESIGN: Author  
 CHECKED: GARCIA  
 CHECKED: GARCIA



Development Permit No. DP001324 Schedule D  
 3180 Island Highway North  
**LANDSCAPE PLAN AND DETAILS**

Proposed Landscape Buffer Variance



Rev. No.	Date	Revision Notes
A	2023-10-26	Issued for EP
B	2024-04-12	Revised for EP

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Project  
**Car Wash**  
 3180 Island Highway North  
 Nanaimo

Landscape Materials  
 & Grading Plan

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 2024-APR-02  
 SURVEY PLANNING

Project Manager	Project No.	22018
Designer	Scale	1:100
Checker	Revision No.	
Client	Drawing No.	L1.0
Drawn	Scale	1:100
Checked	Scale	1:100

**IRRIGATED AREAS & SERVICING LEGEND**

(S) Irrigation Stub-out

\*All onsite planted areas to be irrigated.\*  
 Offsite planting irrigated as noted.

Note:  
 1. Refer to Canadian landscape standard, typ.  
 2. This sheet is for reference only. Contractor to refer to irrigation drawings for the irrigation design.  
 3. Final locations per Mechanical.  
 4. Shop drawings to be provided prior to installation for Landscape review.

**MATERIALS AND FURNISHINGS**

SITE FURNISHINGS						
ID	DETAIL DESCRIPTION	SIZE	COLOUR	MATERIAL	MODEL	MANUFACTURER QTY NOTES
F1	1x1.2.0 Bike Rack	2x19x35"	Red	Metal	MSR-0500-00001	Maglin 2 Direct Buryal

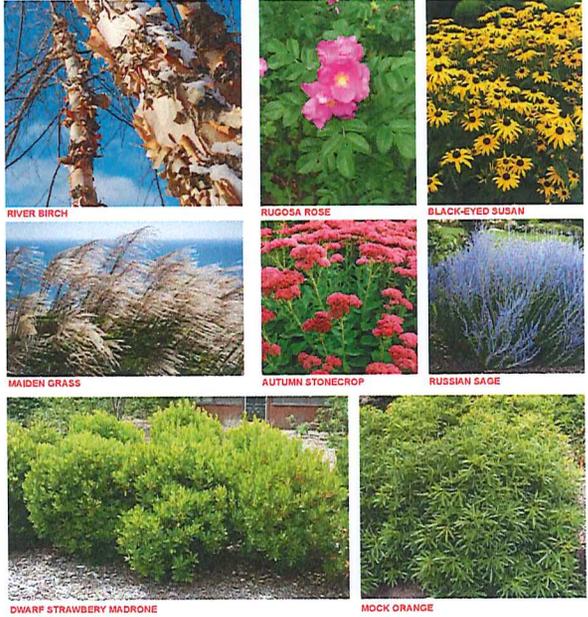
MATERIALS						
ID	DETAIL DESCRIPTION	SIZE	COLOUR	PATTERN	MODEL	MANUFACTURER QTY NOTES
M1	6x12.0 Decorative Drain Rock	2-3" dia	-	-	-	NW Landscape -
M2	4x12.0 Permeable Paver	4x8x3"	Gray	Herringbone	Eco Piora	Mutual Materials -
M3	5x12.0 CIP Pedestrian Concrete	-	-	-	-	per plan -

NOTE: IN THE EVENT OF A DISCREPANCY BETWEEN THE SITE FURNISHINGS, MATERIALS, AND LIGHTING SCHEDULE QUANTITIES AND THE LANDSCAPE PLANS, THE LANDSCAPE PLANS TAKE PRECEDENCE.

Scale: 1:100

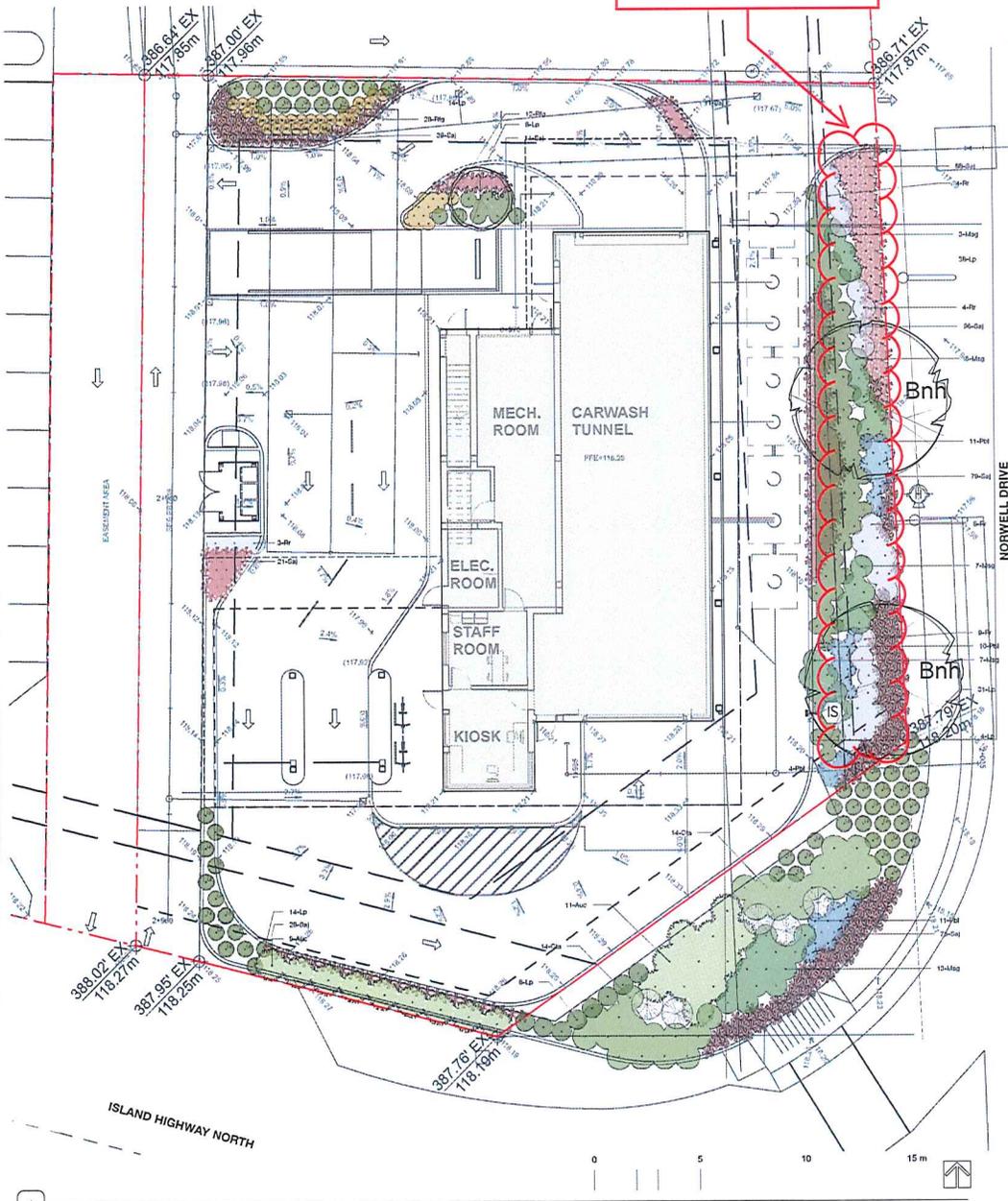
Interim Landscape Area

PLANT PALETTE



ID	QTY	LATIN NAME	COMMON NAME	SPACING	SIZE	NOTES	ATTRIBUTES
<b>TREES</b>							
Brh	2	Betulus nigra 'Heritage'	heritage river birch	as shown	6cm cal/B&B	multistem	E, B, P, Ed, W
Pas	5	Pinus nigra 'Arnold Sentinel'	Arnold Sentinel Austrian pinus	shown	3m ht/B&B	full/ bushy canopy	E, S
Pto	1	Populus tremula 'Erecta'	Sweedish columnar aspen	as shown	6cm cal/B&B	2m standard	N
<b>SHRUBS / GROUNDCOVERS / PERENNIALS</b>							
Auc	20	Arbutus unedo 'Compacta'	dwarf strawberry madrone	1.37	#10 cont.	full/ bushy plants	E, B, P, Ed, W
Cla	25	Chiosya x dewiltoema 'Aztec Pearl'	Aztec Pearl mock orange	1.07	#5 cont.	full/ bushy plants	E, P
Lp	117	Lonicera pileata	box leaf honeysuckle	0.91	#3 cont.	full/ bushy plants	E, B, P
Mag	36	Miscanthus sinensis 'Gracillimus'	maiden grass	0.91	#5 cont.	full/ bushy plants	B, W
Pbl	35	Perovskia 'Blue Spire'	Russian sage	0.51	#2 cont.	full/ bushy plants	P
Rto	40	Rudbeckia fulgida 'Goldsturm'	black-eyed Susan	0.46	#1 cont.	full/ bushy plants	B, P
Rr	28	Rosa rugosa	rugosa rose	0.91	#3 cont.	full/ bushy plants	B, P
Saj	451	Sedum 'Autumn Joy'	autumn stonecrop	0.46	#1 cont.	full/ bushy plants	P, W
	0			0			

NOTES:  
 1 ALL LANDSCAPE TO CONFORM TO THE CURRENT EDITION OF THE CSLA STANDARDS FOR LEVEL 1 'GROOMED' LANDSCAPE TREATMENT IN THE EVENT OF A DISCREPANCY BETWEEN THE PLANT LIST AND THE PLANTING PLAN, THE PLANTING PLAN TAKES PRECEDENCE.  
 2 SEARCH AREA TO INCLUDE BRITISH COLUMBIA, WASHINGTON, AND OREGON  
 3 N - NATIVE E - EVERGREEN B - BIRD FRIENDLY P - POLLINATOR Ed - EDIBLE W - WINTER INTEREST S - VERY SUITABLE/SUITABLE AS PER URBAN TREE LIST FOR METRO VANCOUVER IN A CHANGING CLIMATE  
 4 IN THE CASE OF ANY DISCREPANCY BETWEEN PLANT COUNTS ON PLANT LIST AND PLANT SYMBOLS ON DRAWING, THE DRAWINGS TAKES PRECEDENT. THE CONTRACTOR IS TO VERIFY ALL PLANT COUNTS AND NOTIFY CONSULTANT OF ANY DISCREPANCY.



Revision No.	Date	Revision Notes
A	2024-04-26	Issued for EP
B	2024-04-16	Revised for LP

Issue No.	Date	Issue Notes
A	2024-04-26	Issued for EP
B	2024-04-16	Revised for LP

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Project:  
**Car Wash**  
 3180 Island Highway North  
 Nanaimo  
 Drawing Title:  
**Landscape Planting Plan**

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 DP1324  
 2024-APR-02  
 Current Planning

Rev#	Rev. Description	Rev. Date	Rev. By
0	Issue for Review	2024-04-16	KL
1	Issue for EP	2024-04-26	KL
2	Issue for LP	2024-04-26	KL

Scale: 1:100