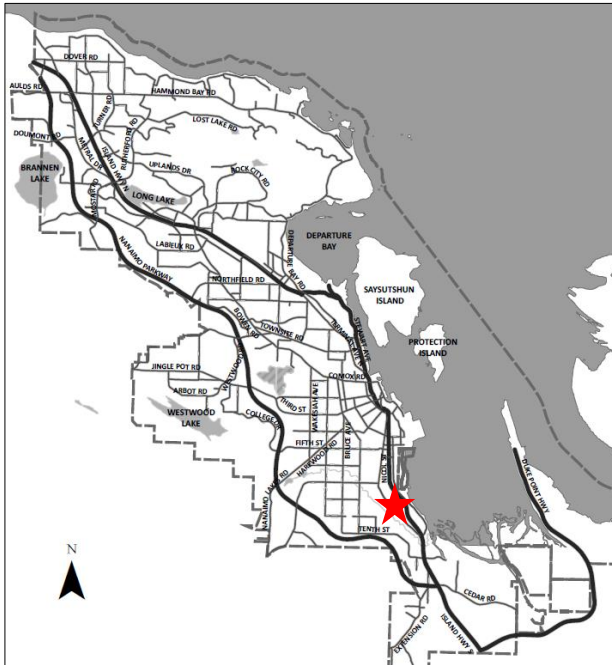


DATE OF MEETING | May 6, 2024 |

AUTHORED BY | KRISTINE MAYES, PLANNER, CURRENT PLANNING |

SUBJECT | **DEVELOPMENT PERMIT APPLICATION NO. DP1307 – 924 OLD VICTORIA ROAD**



Proposal:

To allow a light industrial development

Zoning:

I2 – Light Industrial

City Plan Land Use Designation:

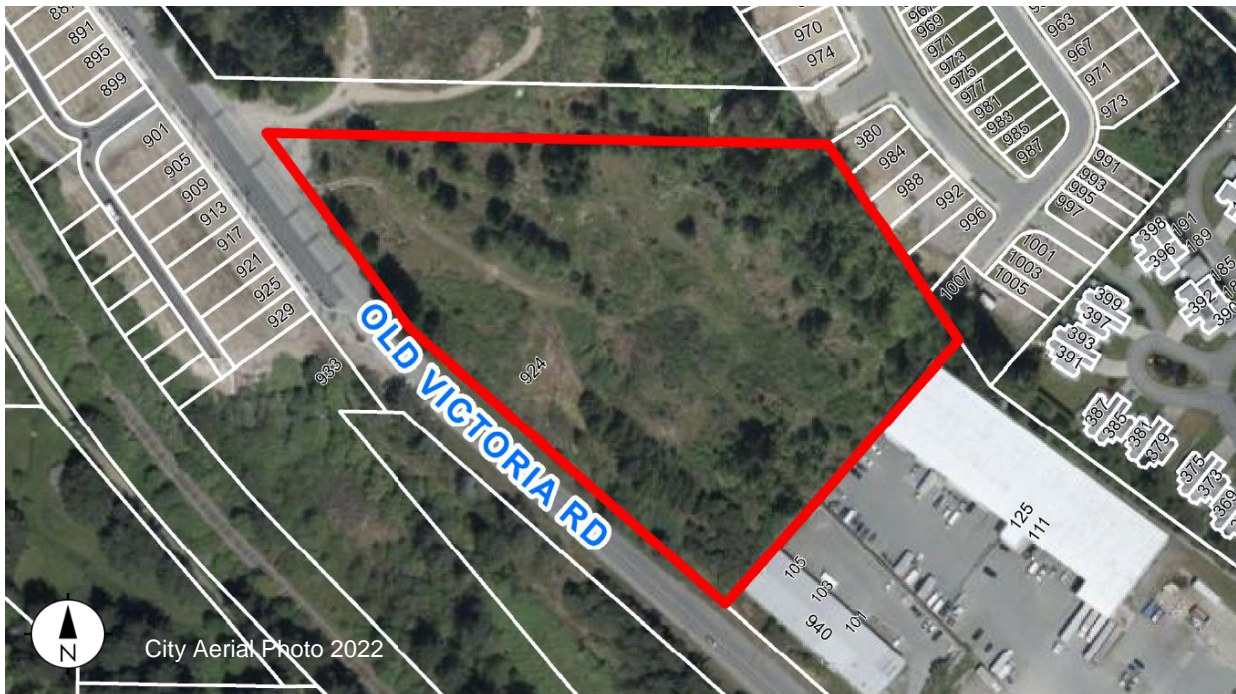
Light Industrial

Development Permit Areas:

DPA5 – Wildfire Hazard
DPA8 – Form & Character

Lot Area:

2.39 ha



OVERVIEW

Purpose of Report

To present for Council's consideration a development permit application for a light industrial development at 924 Old Victoria Road.]

Recommendation

That Council issue Development Permit No. DP1307 for a light industrial development at 924 Old Victoria Road with variances as outlined in the "Proposed Variances" section of the Staff Report dated 2024-MAY-06.]

BACKGROUND

A development permit application, DP1307, was received from Top Down Investments Inc., on behalf of NA-924 OVR GP Ltd. (BC 1359165), to permit a light industrial development at 924 Old Victoria Road.

Subject Property and Site Context

The subject property is located in the southern extent of the South End Neighbourhood. The property is an irregularly shaped lot that borders Old Victoria Road to the southwest and an undeveloped road (Eighth Street) to the north. The topography of the site slopes down moderately to the middle of the site from the south and steeply down from the north.

The surrounding neighbourhood primarily consists of established light industrial uses to the southeast, residential uses with established single-family dwellings to the northeast, and proposed future residential development to the north at 101 South Street (RA499). The subject property is within walking distance to active transportation routes.]

DISCUSSION

Proposed Development

The proposed development is comprised of four light industrial buildings including three multi-tenant buildings and one mini storage building. The proposed floor area is as follows: 532m² (Building 1); 3,347m² (Building 2); 4,941m² (Building 3); and 8,361m² (Building 4, mini storage), with a total gross floor area of 17,182m².

Site Design

The proposed buildings are oriented southeast to northwest, with site design influenced by the steep slope at the northeast corner of the site. Vehicle access to the site is via an entrance off Eighth Street for Buildings 1, 2 and 3, and from Old Victoria Road for Building 4. Onsite parking is comprised of 105 car spaces of which five are designated accessible and the six required loading spaces (with additional loading areas proposed throughout the site). Bicycle parking consists of 28 long-term bicycle spaces within Buildings 1, 2 and 3 (exceeding the 17 required long-term bicycle spaces), and 14 short-term bicycle spaces comprising of a bicycle rack in front

of each building. Three refuse enclosures are proposed, one to the north of Building 1, the second to the east of Building 2, and the third beside the southwest corner of Building 3. A network of concrete sidewalks and painted pedestrian crosswalks are proposed around the perimeter of the buildings.

As condition of the Development Permit, corner rounding with a radius of 6m has been secured as a statutory right-of-way for corner rounding at the intersection of Old Victoria Road and Eighth Street.

Building Design

The exterior finishes of the buildings are comprised of a mix of materials; including, concrete panel (flat, corrugated or brick finish), metal panels, steel, aluminum trim, generous glazing, exposed concrete, and canopies over entrances to provide weather protection and wayfinding. Mechanical equipment will be screened on the roofs. Buildings 1, 2 and 3 are double height, which will allow for mezzanine spaces. Each building has a unique design and material palette, with contrasting colours and materials used to visually break up long building facades.

Landscape Design

Landscaping is provided along Old Victoria Road and the future Eighth Street, and through the middle of the development with a variety of deciduous and coniferous trees, shrubs, perennials, ground covers, and grasses. Landscaped islands are proposed within the parking areas to reduce the extent of hard surfacing. The existing trees at the northeast portion of the site will be retained to provide a buffer to the adjacent residential development. A gateway element is proposed at the corner of Old Victoria Road and Eighth Street which includes a plaza with pavers and generous landscaping. Amenity areas beside Buildings 1, 2 and 3 will be furnished with benches and picnic tables. Site lighting consists of downcast dark-sky friendly pole mount lighting, as well as wall lighting, and under canopy lighting on the buildings.

The proposed development meets the intent of the General Development Permit Area Design Guidelines and South End Neighbourhood Plan with building forms and exterior materials that complement the existing streetscape; glazing on building corners facing the street; weather protection over doorways; and landscaping which uses native species, minimizes the extent of hard surfacing, and reinforces the pedestrian realm.

Design Advisory Panel

The Design Advisory Panel (DAP), at its meeting held on 2023-JUN-22, accepted DP1307 as presented and provided the following recommendations:

- Consider ways to improve pedestrian circulation throughout the site;
- Consider ways of enhancing the facade facing Old Victoria Road on Building 4;
- Provide screening for rooftop equipment;
- Consider adding secure bike parking and a change room with showers for cyclists;
- Consider adding electric charging stations for cars and bicycles;
- Consider a landscaping features to create a gateway feature to enhance the corner of Eighth Street and Old Victoria Road;
- Consider adding lighting along Old Victoria Road and Eighth Street;

- Consider ways to use the landscape to harmonize the transition between the adjacent residential areas in the neighbourhood;
- Consider sign design that will harmonize with the residential and industrial nature of the neighbourhood;
- Consider green options such as green roofs and solar power;
- Add tables, seating, and a covered area to the outdoor amenity space for employees;
- Consider an alternate tree species to the Arbutus and review the shrub species to ensure they are suitable to the soil moisture onsite (drought tolerant);
- Consider adding concrete texturing or trailing plants to the retaining wall; and,
- Consider replacing the gravel strip by the parking lot with plantings.

The applicant subsequently submitted revised plans to address the DAP recommendations, including the following key design revisions:

- Improved pedestrian circulation (connections to the street and internal crosswalks);
- Incorporated a variety of materials on Building 4 to contrast with the lower stories to reduce apparent height and add visual interest;
- Added rooftop screening;
- Added a plaza at the corner of Old Victoria Road and Eighth Street;
- Incorporated employee amenity areas with site furniture; and,
- Reviewed plantings, added plants along retaining walls and replaced gravel with landscaping.

The subject property is also partly within Development Permit Area 5 (DPA5): Wildfire Hazards Guidelines. A Wildfire Hazard Assessment prepared by Strathcona Forestry Consulting, dated 2023-JAN-24 has been prepared and recommends a number of mitigation measures to inform the proposed development respective of vegetation management, implementation of firesmart zones, firesmart landscaping, maintenance, building materials, water supply, and access. As condition of the Development Permit, the site must be developed in accordance with the recommendations contained within the Wildfire Hazard Assessment.

Proposed Variances

Fence Height

The maximum permitted fence height (including retaining walls) in the I2 zone outside of the required yard setback is 3.0m. The proposed retaining wall height is up to 7.34m, a requested variance of 4.34m. The applicant is requesting additional retaining wall height to address the onsite topography (a similar retaining wall was constructed on the adjacent property to the northeast) and maximize the onsite turning area for trucks accessing Building 3. The concrete retaining wall will largely face the internal drive aisle and as such, will not have a visual impact from the street. Additionally, cascading plants are proposed along the top of the retaining wall.

Building Height

The maximum permitted height for a principal building in the I2 zone is 12m. The proposed building height for Building 4 is 16.5m, a requested variance of 4.5m. The applicant is requesting additional height to maximize the floor area of the mini storage building within a more compact footprint. The variance encompasses the uppermost fourth storey of the mini storage building,

which incorporates cladding in a lighter colour than the floors below it. This will reduce apparent height, and the absence of windows on the overheight portion will mitigate overlook onto adjacent properties.

Staff support the proposed variances. |

SUMMARY POINTS

- Development Permit Application No. DP1307 proposes a new industrial development at 924 Old Victoria Road.
- A variance is requested to increase the permitted retaining wall height and maximum building height for Building 4.
- The proposed development meets the intent of the General Development Permit Area Design Guidelines, South End Neighbourhood Plan, and Wildfire Hazard Development Permit Area Guidelines. |

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Subject Property Map
ATTACHMENT C: Site and Parking Plans
ATTACHMENT D: Building Elevations and Details
ATTACHMENT E: Building Perspectives
ATTACHMENT F: Landscape Plan and Details |

Submitted by:

Lainya Rowett
Manager, Current Planning |

Concurrence by:

Jeremy Holm
Director, Planning & Development |

ATTACHMENT A PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

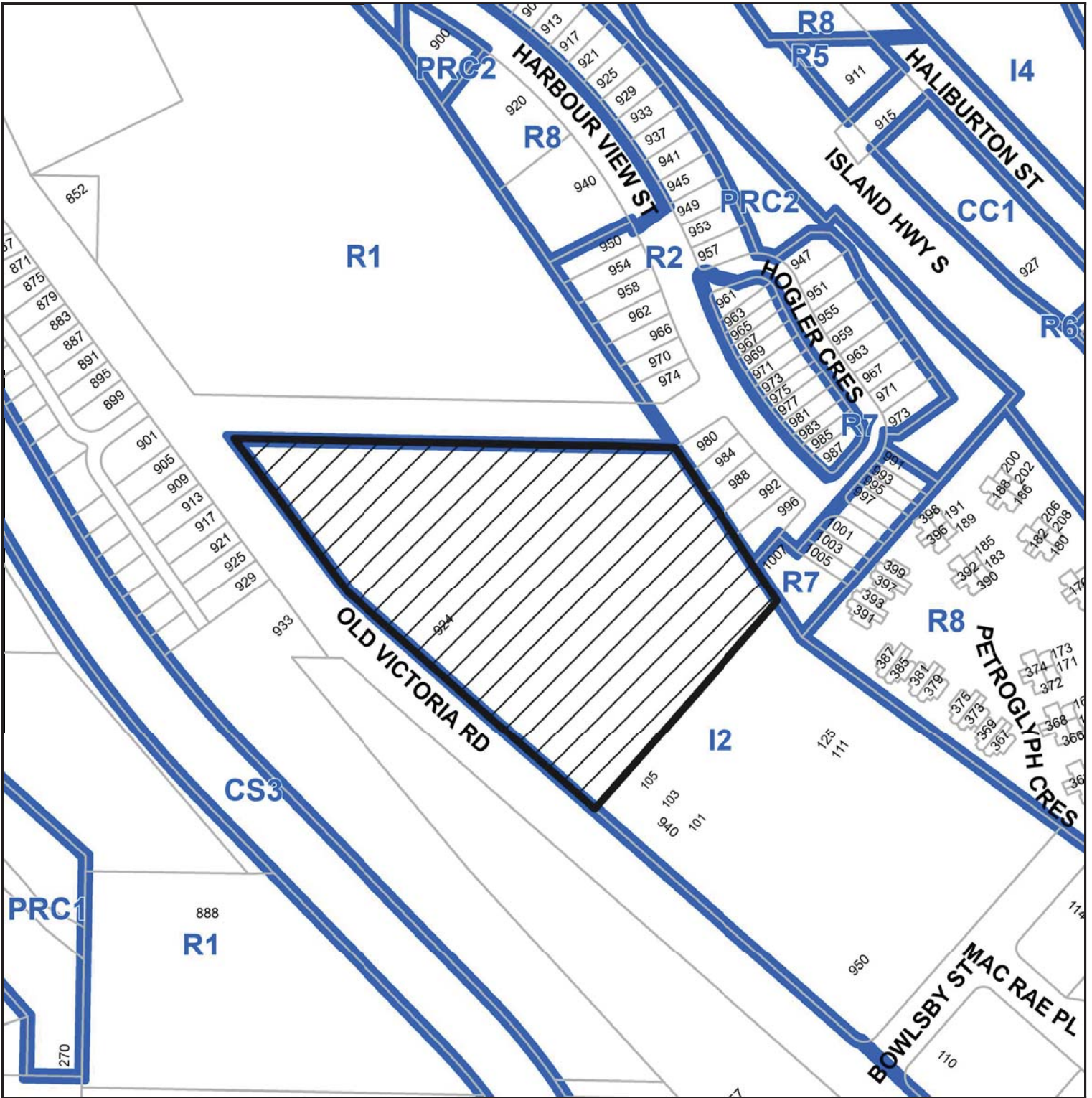
The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 6.10.5 Fence Height* – to increase the maximum permitted height of a retaining wall outside a required yard setback from 3.0m up to 7.34m as shown on Attachment D & F.
2. *Section 13.6.1 Size of Buildings* – to increase the maximum permitted height of a principal building (Building 4) from 12.0m up to 16.5m as shown on Attachment D.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site and Parking Plans, prepared by Larry Podhora Architecture Inc., dated 2023-DEC-15, as shown on Attachment C.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Larry Podhora Architecture Inc., dated 2023-DEC-15, as shown on Attachment D.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by KD Planning & Design Ltd., dated 2024-MAR-20 & 2023-DEC-08, as shown on Attachment F.
4. Registration of a Statutory Right-of-Way (SRW) for corner rounding with a radius of 6.0m at the intersection of Old Victoria Road and Eighth Street.
5. The subject property shall be developed in accordance with the recommendations contained within the Wildfire Hazard Assessment prepared by Strathcona Forestry Consulting, dated 2023-JAN-24.

ATTACHMENT B
SUBJECT PROPERTY MAP



 924 Old Victoria Road

ATTACHMENT C SITE AND PARKING PLANS



PROPERTY INFORMATION :
 CIVIC ADDRESS: 524 OLD VICTORIA ROAD, NANAIMO, BC
 PID: 006-166-857
 LEGAL ADDRESS: VP 17-48 BLOCK C
 SITE AREA: 257,807.63 sq. ft. (23,932.24 sq. m.)
 ZONING: I2 - LIGHT INDUSTRIAL

12 - LIGHT INDUSTRIAL ZONING REVIEW :
 FRONT LOT LINE: -7.5m
 FRONT LOT LINE WHERE LANDSCAPED BETWEEN BUILDING + ROAD: -4.5m
 REAR LOT LINE: -4.5m
 FLANKING SIDE YARD: -4.5m
 SIDE YARD NO. 2: -0.0m

LOT COVERAGE :
 MAXIMUM 40% OR 103,003 sq. ft.
 PROPOSED 39.9% OR 102,959 sq. ft.

ADDITIONAL 15% LOT COVERAGE AVAILABLE WHERE DEVELOPMENT PROVIDES SUFFICIENT AMENITY TO MEET MINIMUM REQUIRED POINTS FOR ONE OF THE CATEGORIES IN SCHEDULE D OF THE BYLAW

BUILDING HEIGHT : MAXIMUM 12.0m

GROSS FLOOR AREA :

BUILDING 1:	MAIN FLOOR	4,850 sq. ft.
	MEZZANINE ALLOW (18%)	873 sq. ft.
BUILDING 2:	MAIN FLOOR	30,534 sq. ft.
	MEZZANINE ALLOW (18%)	5,496 sq. ft.
BUILDING 3:	MAIN FLOOR	45,074 sq. ft.
	MEZZANINE ALLOW (18%)	8,113 sq. ft.
INDUSTRIAL SITE - TOTAL GROSS FLOOR AREA		
94,942 sq. ft.		
BUILDING 4:	MAIN FLOOR	22,500 sq. ft.
	SECOND FLOOR	22,500 sq. ft.
	THIRD FLOOR	22,500 sq. ft.
	FOURTH FLOOR	22,500 sq. ft.
B4 - TOTAL GROSS FLOOR AREA		
90,000 sq. ft.		
TOTAL GROSS FLOOR AREA		
184,942 sq. ft.		

BICYCLE PARKING CALCULATIONS - BYLAW NO. 7266 SECTION 7.6 :

BICYCLE PARKING REQUIREMENTS :
 SHORT TERM: NONE REQUIRED
 LONG TERM: 0.1 PER SPACES PER 100m² (1,076 sq. ft.) OF GFA

BICYCLE PARKING CALCULATIONS :
 SHORT TERM: 0 REQUIRED
 LONG TERM: 184,940 sq. ft. / 1076 sq. ft. x 0.1 = 17 (17.18) PROVIDED

OFF-STREET PARKING REVIEW - BYLAW 2018 NO. 7266 :

LIGHT INDUSTRIAL
 1 STALL PER 100 sq. m. (1,076 sq. ft.) GROSS FLOOR AREA REQUIRED

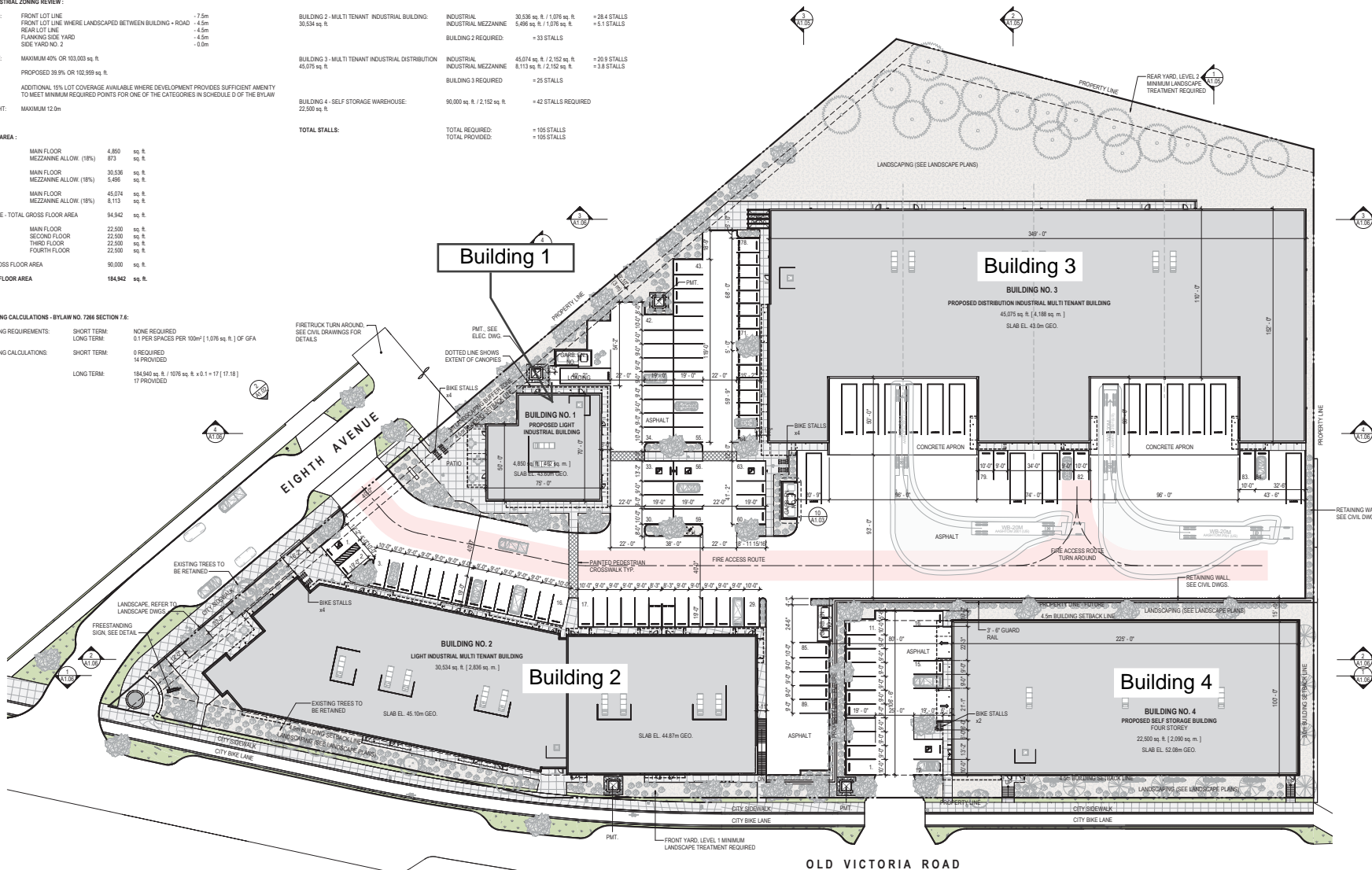
WAREHOUSING / STORAGE
 1 STALL PER 200 sq. m. (2,152 sq. ft.) GROSS FLOOR AREA REQUIRED

OFF-STREET PARKING CALCULATIONS :

BUILDING 1 - LIGHT INDUSTRIAL BUILDING	INDUSTRIAL	4,850 sq. ft. / 1,076 sq. ft.	= 4.5 STALLS
	INDUSTRIAL MEZZANINE	873 sq. ft. / 1,076 sq. ft.	= 0.8 STALLS
TOTAL STALLS REQUIRED: = 5.3 STALLS			
BUILDING 2 - MULTI TENANT INDUSTRIAL BUILDING	INDUSTRIAL	30,534 sq. ft. / 1,076 sq. ft.	= 28.4 STALLS
	INDUSTRIAL MEZZANINE	5,496 sq. ft. / 1,076 sq. ft.	= 5.1 STALLS
BUILDING 2 REQUIRED: = 33 STALLS			
BUILDING 3 - MULTI TENANT INDUSTRIAL DISTRIBUTION	INDUSTRIAL	45,074 sq. ft. / 2,152 sq. ft.	= 20.9 STALLS
	INDUSTRIAL MEZZANINE	8,113 sq. ft. / 2,152 sq. ft.	= 3.8 STALLS
BUILDING 3 REQUIRED: = 25 STALLS			
BUILDING 4 - SELF STORAGE WAREHOUSE		90,000 sq. ft. / 2,152 sq. ft.	= 42 STALLS REQUIRED
TOTAL STALLS:			
TOTAL REQUIRED:		= 105 STALLS	
TOTAL PROVIDED:		= 105 STALLS	

OFF-STREET PARKING DESIGN REQUIREMENTS - BYLAW 2018 NO. 7266 :

STANDARD PARKING STALL 90 DEGREE 2.75m (9'0") x 5.80m (19'0")
SMALL CAR PARKING STALL 2.50m (8'3") x 4.60m (15'0")
 MAXIMUM 40% OF ROAD PARKING MAY BE SMALL CAR
TWO WAY DRIVE AISLE 6.70m (22'0")



PRELIMINARY
 NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of the CLIENT and there are no representations of any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

3	2023.12.15	Re-issued for GP
2	2023.12.04	Issued for Review
1	2023.03.24	Issued for GP
NO.	DATE	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		



larry podhora | architecture inc
 1447 HOWE STREET, RD. NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
 OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
 524 OLD VICTORIA ROAD
 NANAIMO BC

DRAWING TITLE
 OVERALL SITE PLAN + PROJECT INFORMATION

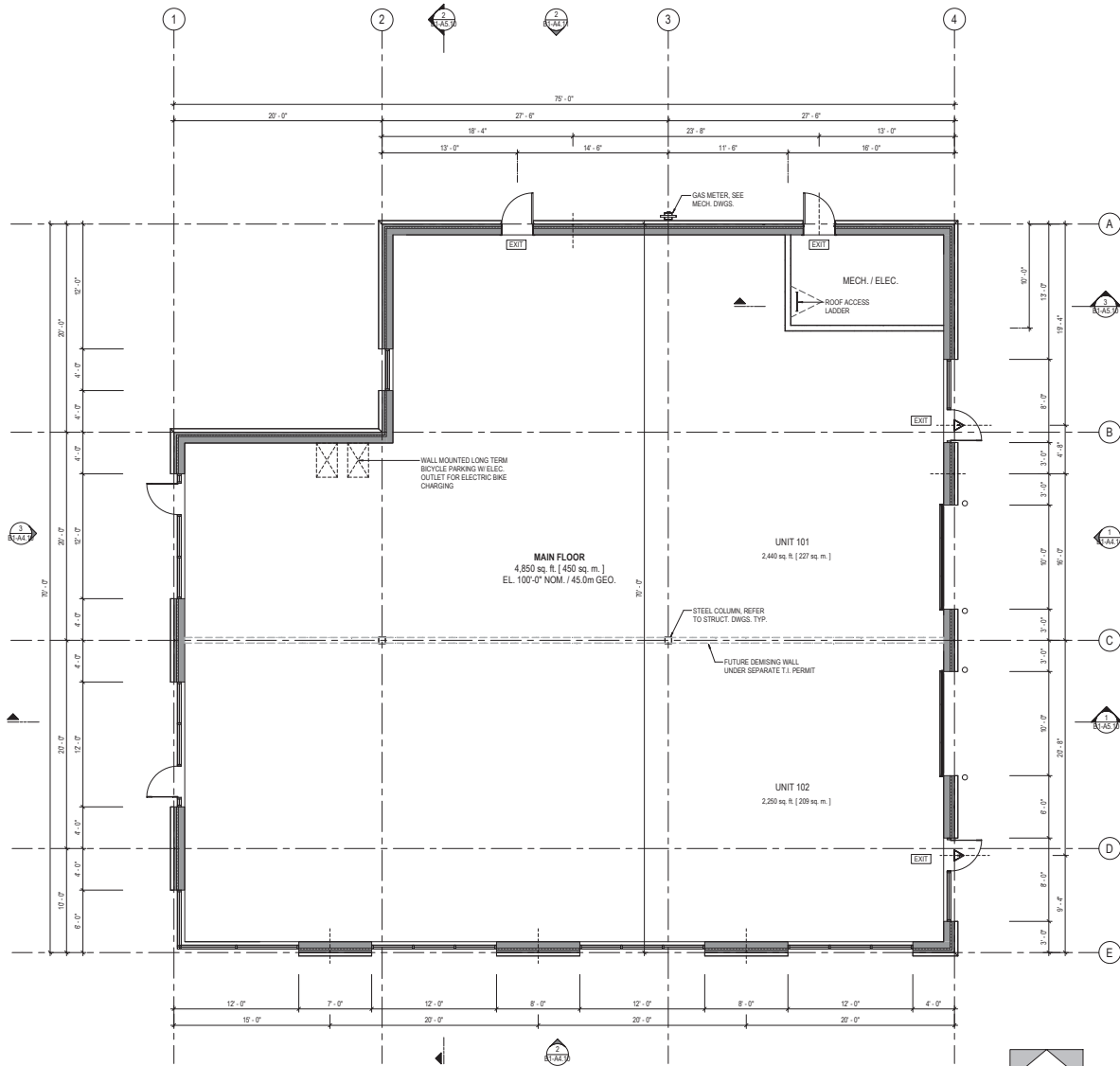
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DRAWN	
REVIEWED	
PROJECT NO.	22026
DRAWING NO.	

A1.01

1 SITE PLAN
 SCALE: 1" = 30'-0"

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2024-MAR-28
 Current Planning





1 MAIN FLOOR PLAN
SCALE: 3/16" = 1'-0"



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B	2023.12.04	Issued for Review
A	2023.03.24	Issued for GP
NO.	DATE	SYNO. DESCRIPTION

ISSUES AND REVISIONS



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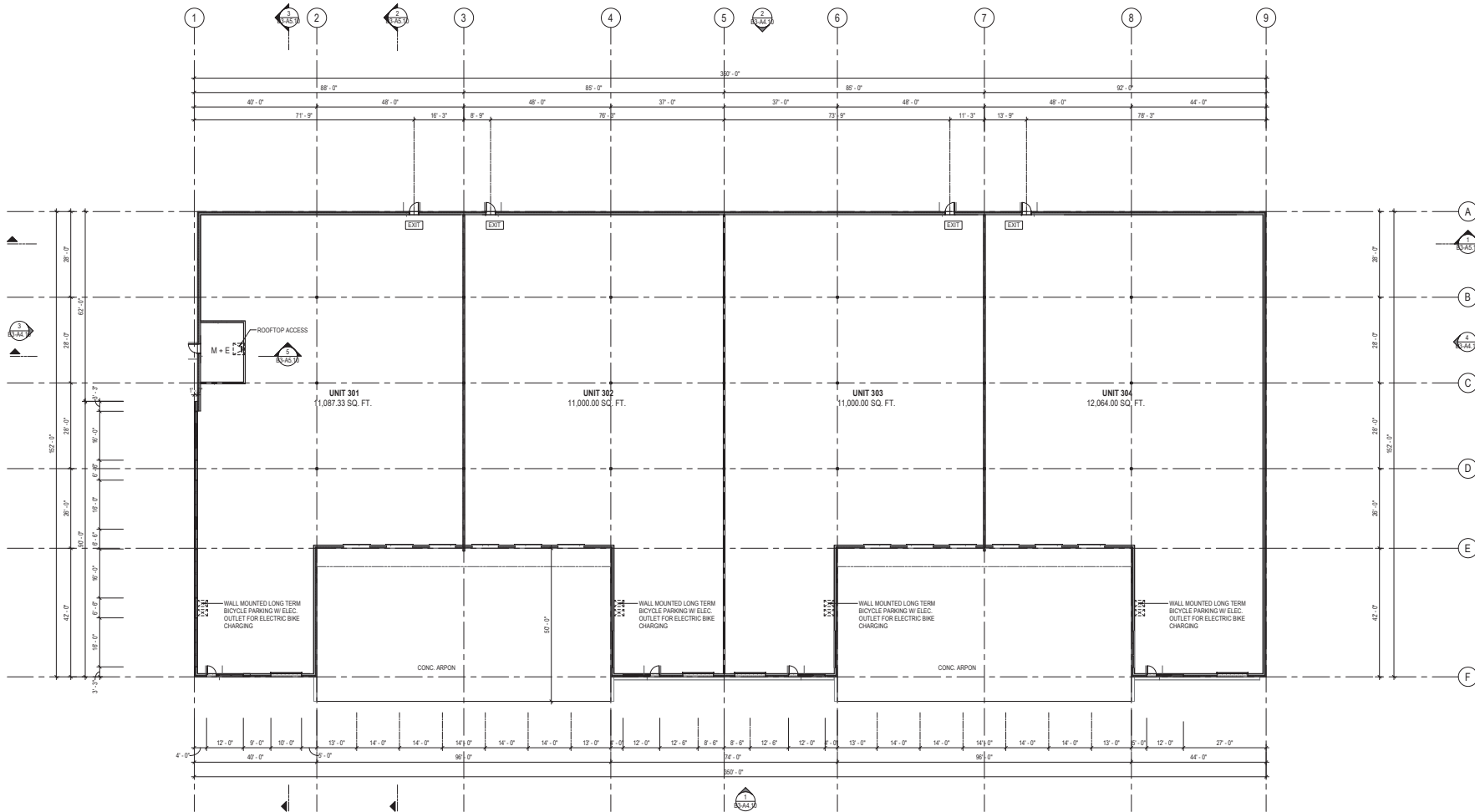
PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO, BC

DRAWING TITLE
BUILDING 1 - FLOOR PLAN

SCALE	3/16" = 1'-0"
DRAWN	
REVIEWED	
PROJECT NO.	220325
DRAWING NO.	B1-A2.01

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DP1307
2024-MAR-28
C:\Users\larry\Documents\220325\OVR\Bldg 1\Floor 1\main floor



1 BUILDING 3 - MAIN FLOOR PLAN
 SCALE: 1/8" = 1'-0"



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C	2023.12.15	Revised for DP	
B	2023.12.04	Issued for Review	
A	2023.03.24	Issued for DP	
NO.	DATE	SYMBOL	DESCRIPTION

ISSUES AND REVISIONS

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PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
 524 OLD VICTORIA ROAD
 NANAIMO BC

DRAWING TITLE
BUILDING 3 - MAIN FLOOR PLAN

SCALE 1/8" = 1'-0"
 DRAWN
 REVIEWED

PROJECT NO. 220325
 DRAWING NO.

RECEIVED
DP1307
2024-MAR-28
 Current Planning

B3-A2.01

ATTACHMENT D BUILDING ELEVATIONS AND DETAILS

MATERIAL LEGEND	
1.	THIN BRICK TILT-UP CONCRETE - SUMMITVILLE 16-PLYMOUTH
2.	GLAZING FRAMING
3.	SPANDREL METAL PANEL
4.	GLAZING
5.	ARCHITECTURAL STEEL C - CHANNEL
6.	CONCRETE BASE TRIM
7.	PARAPET CAP
8.	STEEL DOOR PAINTED - BM 1609
SEE DWG. A1.08 PROJECT MATERIAL BOARD FOR DETAILS	



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B	2023.12.04	Issued for Review	
A	2023.03.28	Issued for GP	
NO.	DATE	YMD	DESCRIPTION
ISSUES AND REVISIONS			

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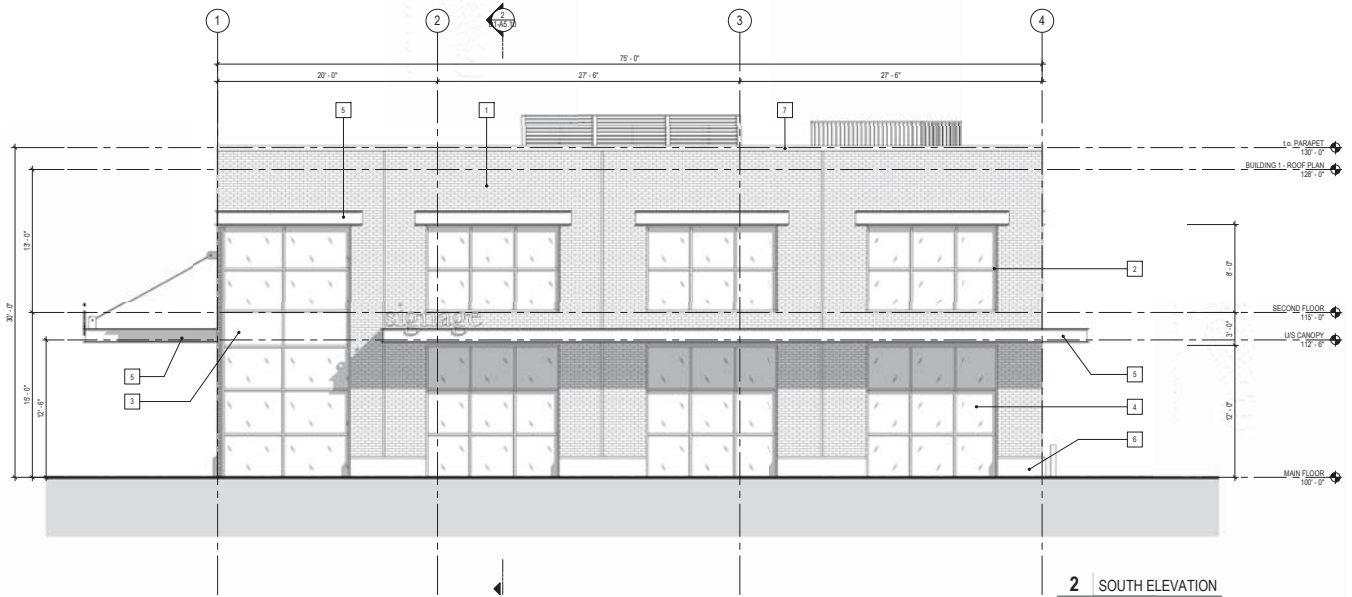
PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO, BC

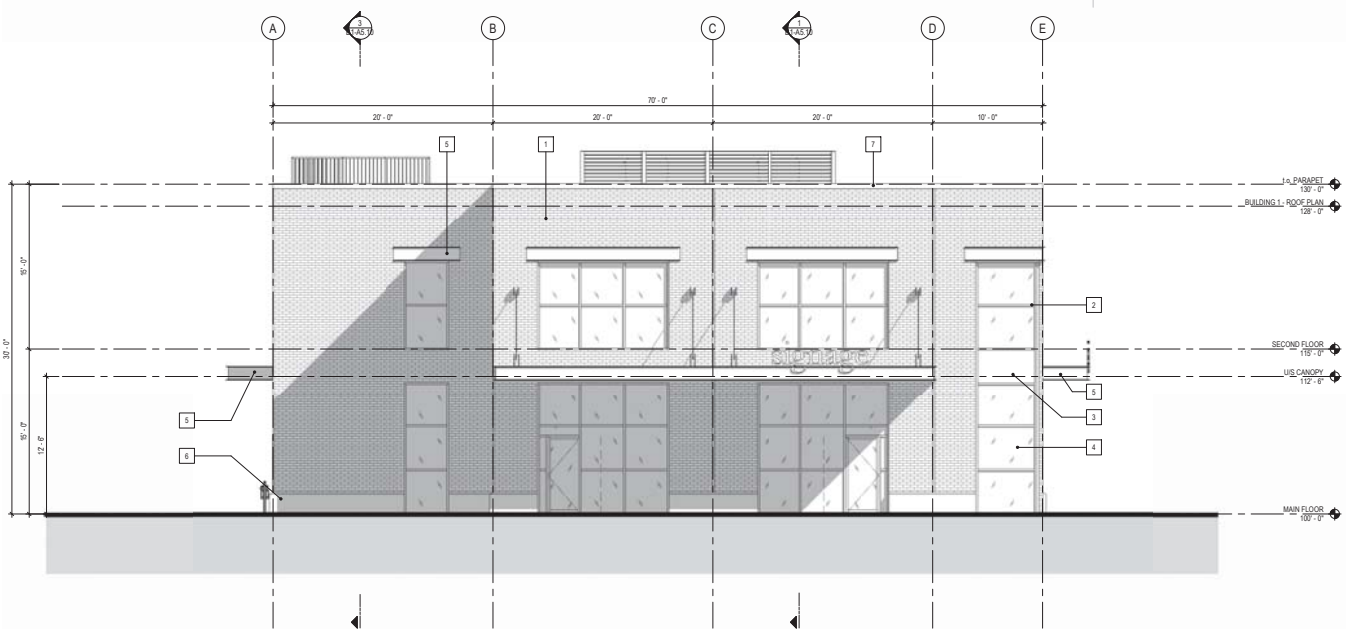
DRAWING TITLE
BUILDING 1 ELEVATIONS

SCALE	3/16" = 1'-0"
DRAWN	
REVIEWED	
PROJECT NO.	220325
DRAWING NO.	B1-A4.10

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2024-MAR-28
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2 SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



3 WEST ELEVATION
SCALE: 3/16" = 1'-0"

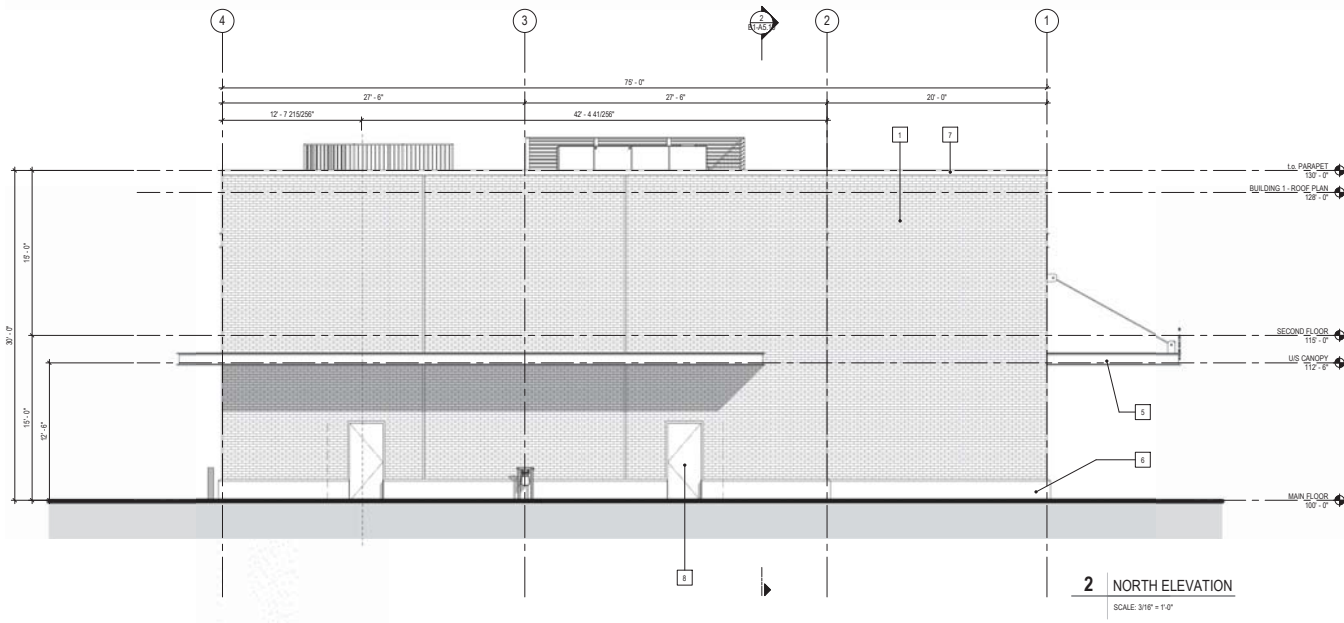
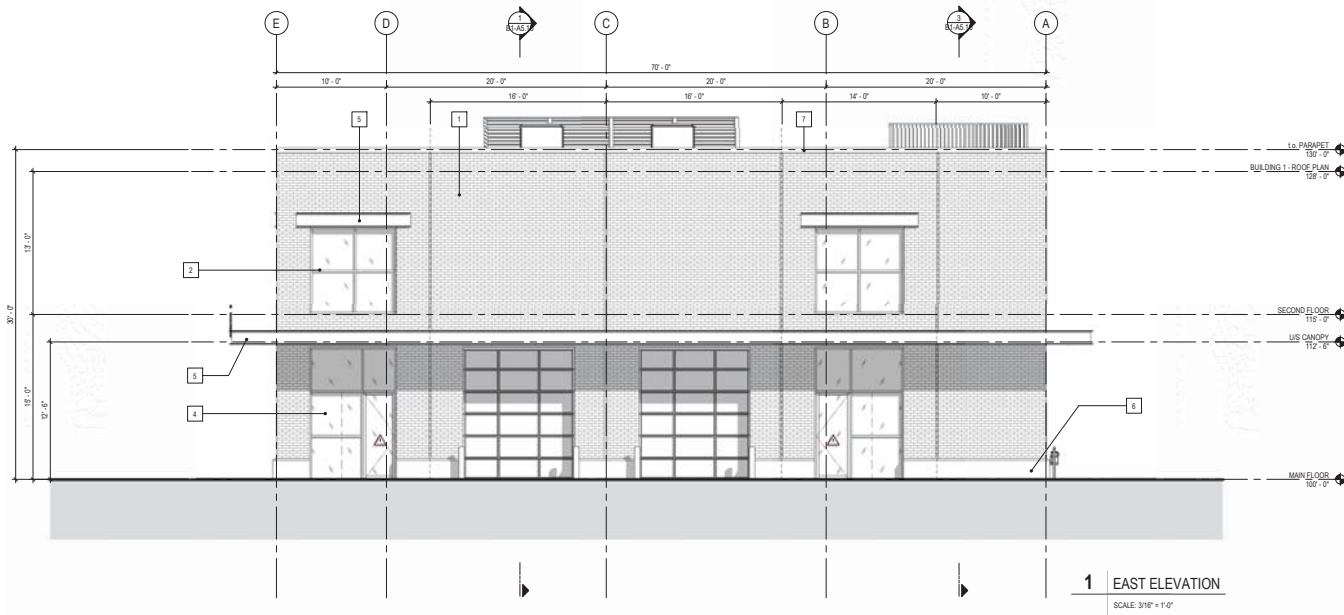
(Facing Eighth Street)



MATERIAL LEGEND

1. THIN BRICK TLT-UP CONCRETE - SUMMITVILLE
2. GLAZING FRAMING
3. SPANDREL METAL PANEL
4. GLAZING
5. ARCHITECTURAL STEEL C - CHANNEL
6. CONCRETE BASE TRIM
7. PARAPET CAP
8. STEEL DOOR

SEE DWG. A1.08 PROJECT MATERIAL BOARD FOR DETAILS

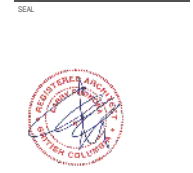


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A	2023.03.24	Issued for GP
NO.	DATE	SYNO. DESCRIPTION

ISSUES AND REVISIONS



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 1447 HOWE STREET, RD. NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
 524 OLD VICTORIA ROAD
 NANAIMO, BC

DRAWING TITLE
BUILDING 1 ELEVATIONS

SCALE	3/16" = 1'-0"
DRAWN	
REVIEWED	
PROJECT NO.	220325
DRAWING NO.	B1-A4.11

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DP1307
2024-MAR-28
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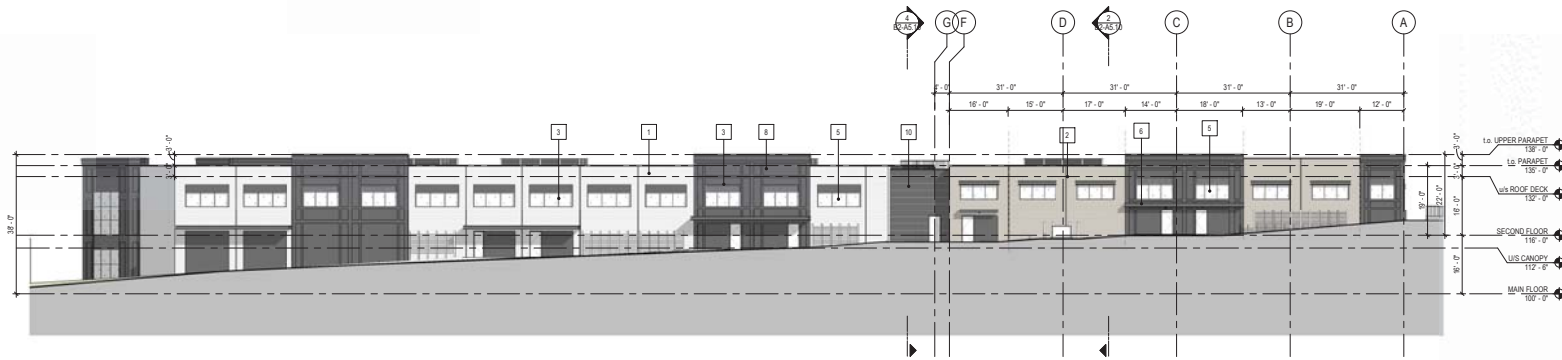
MATERIAL LEGEND

1. BRICK FORMER TILT CONCRETE - BM, GC-21
2. BRICK FORMER TILT CONCRETE - SW, 7639
3. GLAZING FRAMING
4. SPANDREL ALUMINUM PANEL
5. GLAZING
6. STEEL C - CHANNEL
7. CONCRETE BASE TRIM
8. TILT PANEL WITH 3/4" DEPRESSION - BM, 1699
9. PARAPET CAP
10. CORRUGATED FORMER TILT CONCRETE - PAINTED BM, 1699

SEE DWG. A1.08 PROJECT MATERIAL BOARD FOR DETAILS



1 BUILDING 2 - NORTH ELEVATION
SCALE: 1/16" = 1'-0"

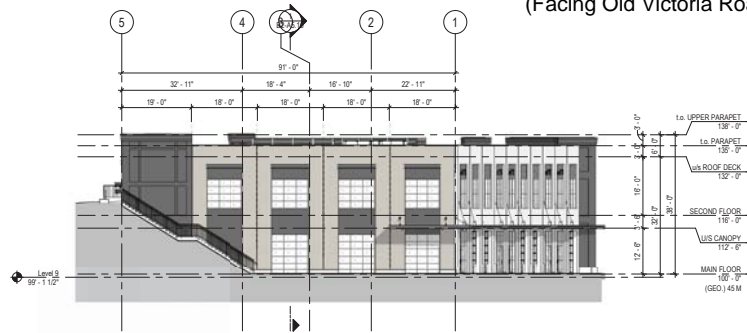


2 BUILDING 2 - SOUTH ELEVATION
SCALE: 1/16" = 1'-0"

(Facing Old Victoria Road)



3 BUILDING 2 - WEST ELEVATION
SCALE: 1/16" = 1'-0"
(Facing Eighth Street)



4 BUILDING 2 - EAST ELEVATION
SCALE: 1/16" = 1'-0"

PRELIMINARY
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NO.	DATE	SYMBOL	DESCRIPTION
C	2023.12.15		Re-issued for GP
B	2023.12.04		Issued for Review
A	2023.03.24		Issued for GP

ISSUES AND REVISIONS

SEAL



larry podhora | architecture inc
1447 HOWE STREET, NORTH VANCOUVER, BC, V6L 5K1

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO BC

DRAWING TITLE
BUILDING 2 ELEVATIONS

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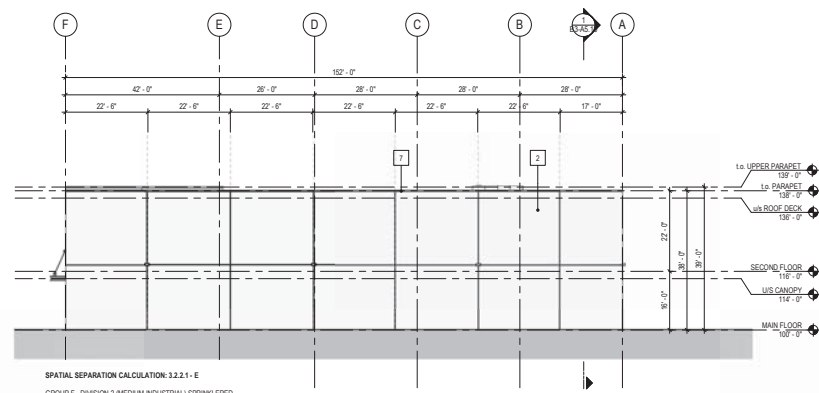
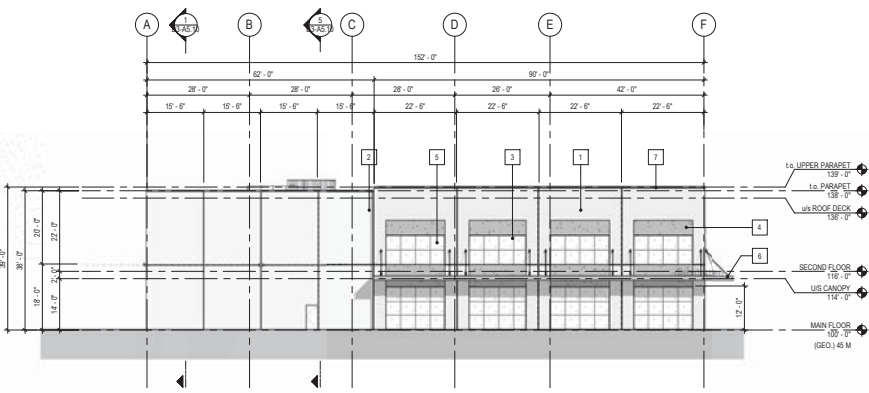
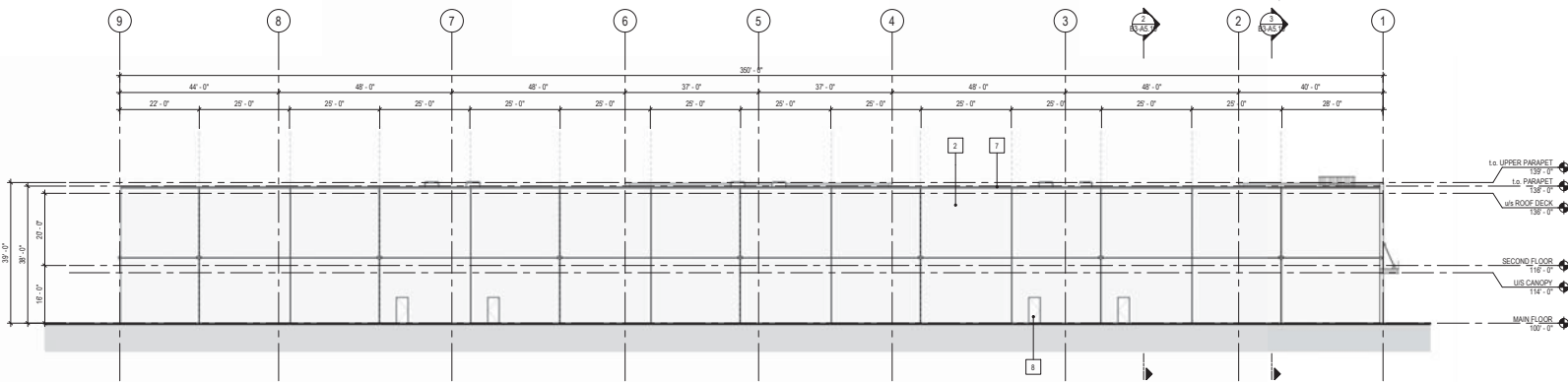
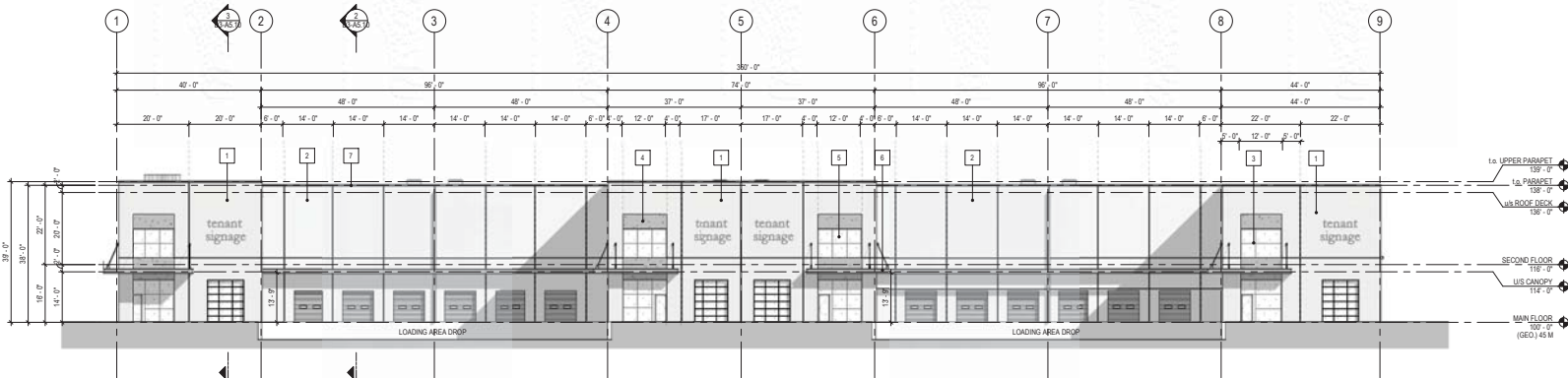
RECEIVED
DP1307
2024-MAR-28
Current Planning



MATERIAL LEGEND

1. BRICK FORMER TILT CONCRETE - BM, CSP-90
2. PAINTED TILT CONCRETE - BM, CSP-385
3. GLAZING FRAMING
4. CONCRETE LINTEL 3/4" DEPRESSION
5. GLAZING
6. STEEL C - CHANNEL
7. PARAPET CAP
8. BLACK PAINTED STEEL DOOR - BM, 1059

SEE DWG. A1.08 PROJECT MATERIAL BOARD FOR DETAILS



SPATIAL SEPARATION CALCULATION: 3.2.2.1 - E
GROUP F - DIVISION 2 (MEDIUM INDUSTRIAL) SPRINKLERED
LIMITING DISTANCE: 15 m
WALL AREA: 6,840 sq ft (633.5 sq m)
ALLOWABLE OPENINGS: 8%
PROPOSED OPENINGS: 0%

PRELIMINARY
NOT FOR CONSTRUCTION

This drawing has been prepared solely for the use of THE CLIENT and there are no representations or any kind made by LARRY PODHORA ARCHITECTURE INC. to any party with whom LARRY PODHORA ARCHITECTURE INC. has not entered into a contract. This drawing shall not be used for construction purposes until it is issued for the purpose.

C	2023.12.15	Revised for DP
B	2023.12.04	Issued for Review
A	2023.03.24	Issued for DP
NO.	DATE	SYNO. DESCRIPTION

ISSUES AND REVISIONS



larry podhora | architecture inc
1447 HOWE STREET RD. NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

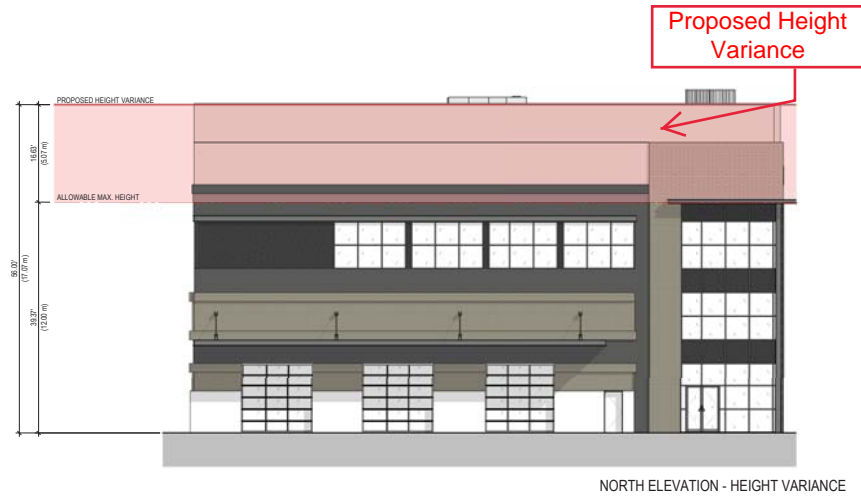
PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO BC

DRAWING TITLE
BUILDING 3 - ELEVATIONS

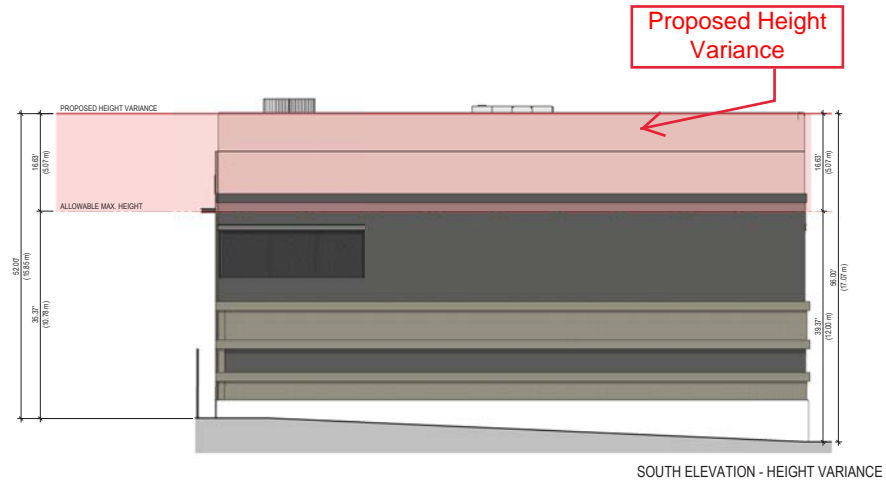
SCALE	1/16" = 1'-0"
DRAWN	
REVIEWED	
PROJECT NO.	220355
DRAWING NO.	

RECEIVED
DP1307
2024-MAR-28
Current Planning

B3-A4.10



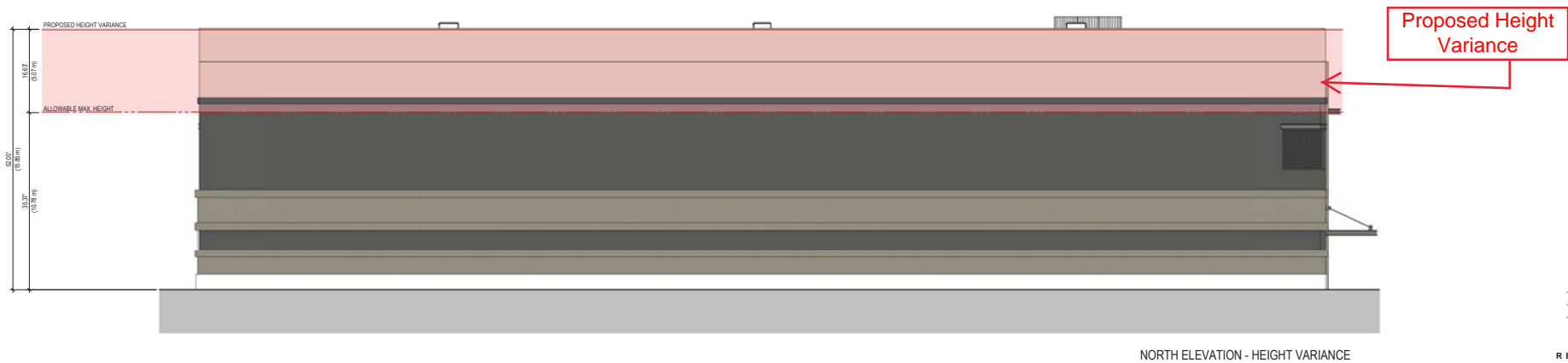
NORTH ELEVATION - HEIGHT VARIANCE



SOUTH ELEVATION - HEIGHT VARIANCE



WEST ELEVATION - HEIGHT VARIANCE
(Facing Old Victoria Road)



NORTH ELEVATION - HEIGHT VARIANCE

PRELIMINARY
NOT FOR CONSTRUCTION

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NO.	DATE	YMD.	DESCRIPTION
ISSUES AND REVISIONS			

SEAL

larry podhora | architecture inc
1417 HOWE STREET, NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO BC

DRAWING TITLE
BUILDING 4 - ELEVATIONS HEIGHT VARIANCE

SCALE 1" = 10'-0"
DRAWN
REVIEWED
PROJECT NO. 220000
DRAWING NO.

RECEIVED B4-A4.12
DP1307
2024-APR-15

EXTERIOR - PROJECT MATERIAL BOARD



BUILDING 1

	1. THIN BRICK TILT - UP CONCRETE PANEL MANUFACTURER: SUMMITVILLE FINISH: THIN BRICK COLOUR: 19-FLYMOUTH PATTERN: HORIZONTAL - RUNNING NOTES: CAST INTO TILT UP PANELS
	2. GLAZING FRAMING MANUFACTURER: TBD FINISH: ANODIZED ALUMINUM COLOUR: BLACK NOTES: N/A
	3. SPANDREL METAL PANEL MANUFACTURER: TBD FINISH: ALUMINUM COLOUR: BLACK NOTES: N/A
	4. GLAZING MANUFACTURER: VITRO GLASS PRODUCT: SOLARBAN 70 COLOUR: OPTIGRAY CLEAR NOTES: N/A
	5. STEEL C - CHANNEL MANUFACTURER: TBD FINISH: ARCHITECTURAL STEEL COLOUR: BLACK NOTES: N/A
	6. CONCRETE BASE TRIM FINISH: NATURAL SEALED FINISH NOTES: CAST-IN-PLACE CONCRETE
	7. ALUMINUM PARAPET CAP MANUFACTURER: MAKIN METALS FINISH: ALUMINUM PRE-FINISHED COLOUR: WEATHERED ZINC NOTE: OR EQUIVALENT
	8. STEEL DOOR - PAINTED PATTERN: SATIN FINISH: PAINTED COLOUR: BM. 1609 TEMPTATION NOTE: OR EQUIVALENT

BUILDING 2

	1. PAINTED CONCRETE PANEL - BRICK FORMER PATTERN: HORIZONTAL BRICK - RUNNING FINISH: PAINTED COLOUR: SW. 7639 ETHREAL MOOD NOTES: N/A
	2. PAINTED CONCRETE PANEL - BRICK FORMER PATTERN: HORIZONTAL BRICK - RUNNING FINISH: PAINTED COLOUR: BM. OC-21 WINTER WHITE NOTES: N/A
	3. GLAZING FRAMING MANUFACTURER: TBD FINISH: ANODIZED ALUMINUM COLOUR: BLACK NOTES: N/A
	4. SPANDREL METAL PANEL MANUFACTURER: TBD FINISH: ALUMINUM COLOUR: BLACK NOTES: N/A
	5. GLAZING - MAIN FLOOR MANUFACTURER: VITRO GLASS PRODUCT: SOLARBAN 70 COLOUR: OPTIGRAY CLEAR NOTES: N/A
	6. STEEL C - CHANNEL MANUFACTURER: TBD FINISH: ARCHITECTURAL STEEL COLOUR: BLACK NOTES: N/A
	6. PRE - CAST CONCRETE LINTEL FINISH: NATURAL COLOUR: TBD
	7. CONCRETE BASE TRIM FINISH: NATURAL SEALED FINISH NOTES: CAST-IN-PLACE CONCRETE
	8. CONCRETE PANEL - 3/4\"/>
	9. ALUMINUM PARAPET CAP MANUFACTURER: MAKIN METALS FINISH: ALUMINUM PRE-FINISHED COLOUR: WEATHERED ZINC NOTE: OR EQUIVALENT
	10. CONCRETE PANEL - CORRUGATED FORMER PATTERN: FLAT FINISH: PAINTED COLOUR: BM. 1609 CODE: TBD

BUILDING 3

	1. PAINTED CONCRETE PANEL - BRICK FORMER PATTERN: HORIZONTAL BRICK - RUNNING FINISH: PAINTED COLOUR: BM. CSP-90 COACHMANS CAPE OR EQUIVALENT NOTES:
	2. CONCRETE PANEL PATTERN: FLAT FINISH: PAINTED COLOUR: BM. CSP-385 GOTHAN OR EQUIVALENT CODE:
	3. GLAZING FRAMING MANUFACTURER: TBD FINISH: ANODIZED ALUMINUM COLOUR: BLACK NOTES: N/A
	4. PRE - CAST CONCRETE LINTEL FINISH: NATURAL COLOUR: TBD CODE:
	5. GLAZING - MAIN FLOOR MANUFACTURER: VITRO GLASS PRODUCT: SOLARBAN 70 COLOUR: OPTIGRAY CLEAR NOTES: N/A
	6. STEEL C - CHANNEL MANUFACTURER: TBD FINISH: ARCHITECTURAL STEEL COLOUR: BLACK NOTES: N/A
	7. ALUMINUM PARAPET CAP MANUFACTURER: MAKIN METALS FINISH: ALUMINUM PRE-FINISHED COLOUR: WEATHERED ZINC NOTE: OR EQUIVALENT
	8. STAMPED TILT - UP CONCRETE PATTERN: STAMPED BRICK - RUNNING FINISH: PAINTED COLOUR: DARK GRAY CODE: TBD

BUILDING 4

	1. CONCRETE PANEL PATTERN: FLAT FINISH: PAINTED COLOUR: BM. OC-52 GRAY OWL OR EQUIVALENT CODE:
	2. GLAZING FRAMING MANUFACTURER: TBD FINISH: ANODIZED ALUMINUM COLOUR: BLACK NOTES: N/A
	3. SPANDREL ALUMINUM PANEL MANUFACTURER: TBD FINISH: ALUMINUM COLOUR: BLACK NOTES: N/A
	4. GLAZING - MAIN FLOOR MANUFACTURER: VITRO GLASS PRODUCT: SOLARBAN 70 COLOUR: OPTIGRAY CLEAR NOTES: N/A
	5. STEEL C - CHANNEL MANUFACTURER: TBD FINISH: ARCHITECTURAL STEEL COLOUR: BLACK NOTES: N/A
	6. PRE - CAST CONCRETE BASE TRIM FINISH: NATURAL COLOUR: TBD CODE: TBD
	7. CONCRETE PANEL - 3/4\"/>
	8. THIN BRICK VENEER MANUFACTURER: SUMMITVILLE FINISH: THIN BRICK COLOUR: 19-FLYMOUTH PATTERN: HORIZONTAL - RUNNING NOTES: CAST INTO TILT UP PANELS
	9. ALUMINUM PARAPET CAP MANUFACTURER: MAKIN METALS FINISH: ALUMINUM PRE-FINISHED COLOUR: WEATHERED ZINC NOTE: OR EQUIVALENT

PRELIMINARY
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3	2023.12.15	Re-issued for CP
1	2023.03.28	Issues for CP
NO.	DATE	DESCRIPTION
ISSUES AND REVISIONS		
SEAL		



larry podhora | architecture inc
1407 HOWE STREET, RD. NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO BC

DRAWING TITLE
MATERIAL BOARD

SCALE	
DRAWN	
REVIEWED	
PROJECT NO.	220236
DRAWING NO.	A1.07

RECEIVED
DP1307
2024-MAR-28
SPECIAL PRINTING

ATTACHMENT E BUILDING PERSPECTIVES



BUILDING 2 - 8TH AVENUE

Eighth Street



BUILDING 3 - NORTHWEST ELEVATION



BUILDING 1 - SOUTHEAST ELEVATION



BUILDING 4 - OLD VICTORIA ROAD



PRELIMINARY
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3	2023.12.15	Re-issued for CP	
1	2023.03.24	Issues for CP	
NO.	DATE	YMO.	DESCRIPTION
ISSUES AND REVISIONS			
SEAL			



larry podhora | architecture inc
1487 HOWE STREET, RD. NORTH SAANICH, BC, V8L 5K1

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
**524 OLD VICTORIA ROAD
NANAIMO BC**

DRAWING TITLE
RENDER VIEWS

SCALE	
DRAWN	
REVIEWED	
PROJECT NO.	220236
DRAWING NO.	

RECEIVED
DP1307
2024-MAR-28
Current Planning

A1.04

ATTACHMENT F LANDSCAPE PLAN AND DETAILS



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VANCOUVER OFFICE
114-2500 WILLOW WAY VANCOUVER, BC V6M 4Y3
T: 504.261.6022 F: 504.264.5655 www.kdplanning.com

LEGEND	
	PLANTING MEDIUM
	SOIL
	CONCRETE WALK
	GRAVEL
	SAWCUT PAVING
	WALLS RET. ARCH
	PROPERTY LINE
	SETBACK LINE
	TREE PROTECTION FENCE
	BIKE RACK (SINGLE)
	BENCH
	TABLE
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED

24/05/20	ISSUED FOR COORDINATION
22/07/20	ISSUED FOR RE-CP
23/11/20	ISSUED FOR PERMITS
23/08/21	ISSUED FOR COORDINATION
23/03/24	ISSUED FOR CLIENT REVIEW
23/08/28	ISSUED FOR CLIENT REVIEW
NO. DATE (MM/DD)	DESCRIPTION
ISSUES & REVISIONS	
SEAL	



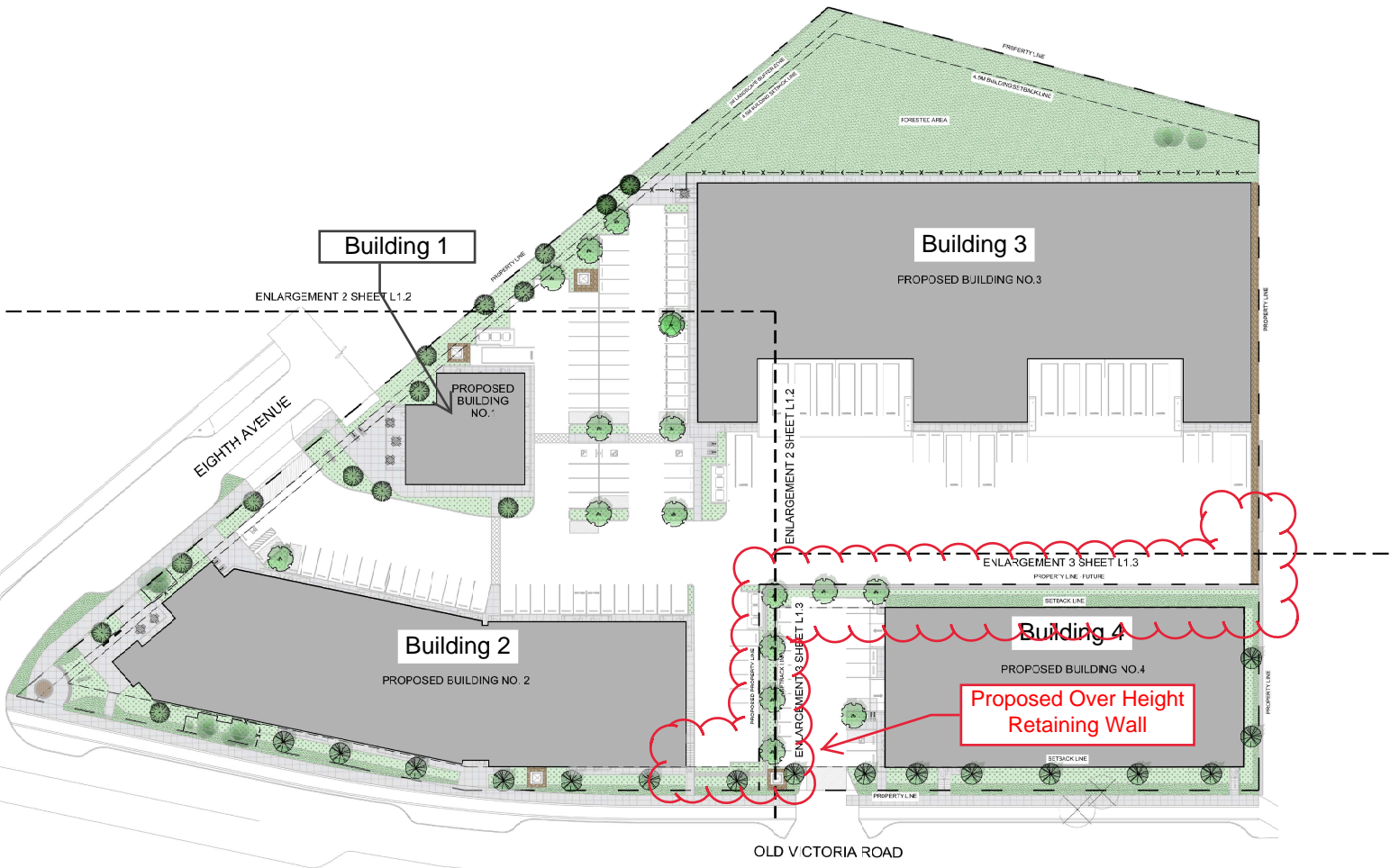
PROJECT NAME
CVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
**524 OLD VICTORIA ROAD
NANAIMO, BC**

DRAWING TITLE
OVERALL LANDSCAPE PLAN

SCALE	MA
DRAWN	JT
CHECKED	JT
PROJECT NO.	220325-4
DRAWING NO.	L1

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PLANT LIST						
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	16	Crataegus Douglasii	Elach Hawthorn	6m Cal.	As Shown	N/B
CONIFEROUS TREES						
	16	Picea Engelmannii X Glauca	Hybrid White Spruce	4.5m Ht.	As Shown	N/B
	16	Platanus Orientalis	Douglas Fir	35m Ht.	As Shown	N/B
SHRUBS						
	83	Ilex Sibirica	Inkberry	35cm Ht.	As Shown	#6 Pot.
	69	Rosa Gymnocarpa	Edgely Rose	1.2m Ht.	As Shown	#6 Pot.
	331	Vaccinium Oxaleum	Evergreen Huckleberry	65cm Ht.	As Shown	#6 Pot.
	54	Thuja Occidentalis 'Emerald	Emerald Green Cedar	1.5m Ht.	As Shown	E & B
	33	Juniper Horizontalis	Common Fluff	80cm Ht.	As Shown	#6 Pot.
	66	Rubus Parviflorus	Thimbleberry	1.2m Ht.	As Shown	#6 Pot.
	32	Pachysandra Terminalis	Jacobaea Spurge	0.15m Ht.	As Shown	#6 Pot.
	34	Erica Carnea 'Polaris' Red	Winter Heath	0.15m Ht.	As Shown	#6 Pot.
	28	Calluna Vulgaris 'Tender	Heather	0.3m Ht.	As Shown	#6 Pot.
	24	Arctostaphylos Uva-ursi	Korean Goat's Beard	0.3m Ht.	As Shown	#6 Pot.
	71	Cotoneaster Adpressus	Creeching Cotoneaster	30cm Ht.	As Shown	#6 Pot.
	115	Spiraea Douglasii	Western Spirea	1.2m Ht.	As Shown	#6 Pot.
	280	Arctostaphylos Uva-ursi	Goats Beard	1.2m Ht.	As Shown	#6 Pot.
PERENNIALS, GROUND COVERS AND GRASSES						
	353	Erythronium lanatum	Onion Squill	50cm Ht.	As Shown	#6 Pot.
	319	Polygonum Amaranthaceum	Staleweed	30cm Ht.	As Shown	#6 Pot.

- GENERAL NOTES**
- EXAMINE SITE AND CONFIRM EXISTING SITE CONDITIONS BEFORE BEGINNING.
 - CONFIRM ALL MEASUREMENTS ON SITE. DO NOT SCALE DRAWINGS.
 - CONFIRM EXISTING AND PROPOSED GRADES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - CONFIRM MUNICIPAL REQUIREMENTS FOR BUILDING PERMITS, SETBACKS, BUILDING CODE WORKS AND OTHER BY-LAW REQUIREMENTS. OBTAIN REQUIRED PERMITS PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - OBTAIN UTILITY AND SERVICES LOCATES PRIOR TO BEGINNING CONSTRUCTION WORKS.
 - PROTECT FROM DAMAGE: ALL EXISTING STRUCTURES, TREES, SURFACES, SITE FURNISHINGS, UNDERGROUND SERVICES AND OTHER SITES ADJACENT TO THIS SITE. SEE PART OF THE SITE ACCESS OR AS ADJACENT TO THE SITE. PERFORM REPAIR AND MAKE GOOD WORKS FOR ANY DAMAGE THAT OCCURS BY THE CONTRACTOR'S WORK AT THE CONTRACTOR'S OWN EXPENSE.
 - UNLESS OTHERWISE SPECIFIED, CONTRACTORS SHALL MAINTAIN ALL WORKS AND MATERIALS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR. CONTRACTOR SHALL RESPECT THE LANDSCAPE ON A REGULAR BASIS AND REPLACE MATERIALS THAT ARE IN POOR CONDITION WITHIN TWO WEEKS OF INSPECTION OR NOTIFICATION.
 - THE CONTRACTOR SHALL MAINTAIN THE SITE IN GOOD WORKING ORDER WITH A CLEAN AND ORDERED APPEARANCE DURING THE PERIOD OF WORKS. FEDERAL, PROVINCIAL AND LOCAL AGENCIES ARE TO BE SWEEPED AT THE END OF EACH DAY AND MUST FREE OF DEBRIS. LANDSCAPE DEBRIS TO BE DISPOSED OFF SITE AT LEGAL AND APPROVED LOCATION.
- PLANTING NOTES**
- PLANTS SHALL BE INSTALLED AS DIRECTED BY THE DRAWING NOTES AND DETAILS.
 - PLANT MATERIAL SUBSTITUTIONS WILL NOT BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL.
 - ALL "PLANT" MATERIAL SHALL BE THOROUGHLY WATERED AND SOAKED AT THE TIME OF PLANTING.
 - TREE PROTECTION PER THE MUNICIPAL DETAIL IF REQUIRED.
 - ALL LANDSCAPE MATERIALS TO COMPLY WITH THE CANADIAN LANDSCAPE STANDARD.
 - SOIL DEPTH IN ALL PLANTING AREAS TO BE MINIMUM 400mm.
 - SOIL SAMPLES FOR PROPOSED GROWING MEDIUMS IS TO BE PROVIDED TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - PLANTING MEDIUM TO MEET CANADIAN LANDSCAPE STANDARD FOR LEVEL 1.

- ALL PLANTING BEDS TO BE FINISHED WITH 75mm OF BARK MULCH. REFER TO PLANTING DETAILS FOR METALIZATION AND/OR PLANT MATERIALS.
 - PLANT MATERIALS SPECIFIED FOR THIS PROJECT WILL CONFORM TO THE CANADIAN LANDSCAPE STANDARD AND MUNICIPAL LANDSCAPE STANDARD FOR SIZE, VARIETY AND CONDITION AS INDICATED ON THE PLANT LIST. SHOW ON THE DRAWING ANY PLANT OVERLAPPING FROM ADJACENT PLOTS. REMOVE OR REJECT ANY PLANT THAT IS REJECTED. REJECTED PLANTS SHALL BE REMOVED FROM THE SITE AND REPLACED WITH PLANT OF ACCEPTABLE QUALITY AT NO ADDITIONAL COST TO THE OWNER.
 - REMOVE DEAD OR DAMAGED BRANCHES. ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICES AND INTERNATIONAL SOCIETY OF ARBORICULTURISTS (ISA) SPECIFICATIONS WITH APPROPRIATE TIMING FOR EACH SPECIES.
 - PROVIDE ONE YEAR WARRANTY FOR THE PLANT MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION DURING THE WARRANTY PERIOD UNLESS OTHERWISE AGREED UPON, AND FOR REPLACEMENT OF PLANT MATERIALS THAT ARE DEAD OR IN POOR CONDITION DURING THE WARRANTY PERIOD AT THE CONTRACTOR'S OWN EXPENSE. MAINTENANCE INCLUDES BUT IS NOT LIMITED TO:
 - Regular schedule of watering of the plants as required, and/or as directed by the Project Manager during construction and the warranty period. Plants shall be watered within 48 hours of their receipt by the Owner or Owner's representative. Failure to do so after the request shall result in the work being undertaken by others. The cost of the work shall be made from the site Costed Price or Estimate and otherwise recovered from the Contractor.
 - Maintenance and additional irrigation if required.
 - Weed removal.
 - Deadwood removal.
- IRRIGATION NOTES**
- IRRIGATION TO BE PROVIDED FOR ALL "SOFT" LANDSCAPE AREAS SHOWN ON THE DRAWING USING A HIGH EFFICIENCY IRRIGATION SYSTEM.
 - IRRIGATED AREAS TO BE INSTALLED AS A DESIGN BUILD IRRIGATION SYSTEM FOR THE SITE OUTS PROJECT. PROVIDE SUBMITTALS OF DESIGN TO CONSULT AT LEAST ONE WEEK PRIOR TO METALLIZATION AND AS-BUILT DRAWING WITH ONE MONTH OF SUBSTANTIAL PERFORMANCE.
 - THE IRRIGATION SYSTEM DESIGN AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE IRRIGATION MANUAL OF THE IRRIGATION AND DRAINAGE SOCIETY OF CANADA.
 - ALL IRRIGATOR VALVE BOXES TO BE EQUIPPED WITH CHECK COUPLERS.
 - USE PIPER SPRINKLER HEADS.
 - DO NOT SPRAY WATER ONTO TREE TRUNKS.

NATURAL ROCK OUTCROPS TO BE RETAINED WHERE POSSIBLE



KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
	16	<i>Crataegus Douglas</i>	Black Hawthorn	5cm Cal.	As Shown	N/B.
CONIFEROUS TREES						
	16	<i>Picea Engelmannii X Glauca</i>	Hybrid White Spruce	4.5m H.	As Shown	N/B.
	16	<i>Pseudotsuga Menziesii</i>	Douglas Fir	3.5m H.	As Shown	N/B.
SHRUBS						
	83	<i>Ilex Glabra</i>	Holly	20cm H.	As Shown	#6 Pot
	89	<i>Rosa Glymcarpa</i>	Balding Rose	1.2m H.	As Shown	#6 Pot
	331	<i>Vaccinium Cratum</i>	Evergreen Huckleberry	50cm H.	As Shown	#5 Pot
	34	<i>Thuja Occidentalis 'Smaragd'</i>	Emerald Green Cedar	1.5m H.	As Shown	B.S.B.
	33	<i>Juniperus Effusa</i>	Common Juniper	80cm H.	As Shown	#6 Pot
	86	<i>Rubus Parviflorus</i>	Tinkerbell	1.2m H.	As Shown	#5 Pot
	32	<i>Padalyanica Terminalis</i>	Japanese Spurge	0.15m H.	As Shown	#6 Pot
	34	<i>Erica Carnea 'Polaris' Red</i>	Winter Heath	0.15m H.	As Shown	#6 Pot
	28	<i>Catalpa 'Vigana Fluffy'</i>	Fluffy Heather	0.2m H.	As Shown	#6 Pot
	24	<i>Artemisia Doulos var. Aestivifolia</i>	Korean Goats Beard	0.2m H.	As Shown	#6 Pot
	71	<i>Colanderula Alpigena</i>	Chrysops Comnaster	30cm H.	As Shown	#6 Pot
	115	<i>Spirea Douglasii</i>	Western Spirea	1.2m H.	As Shown	#5 Pot
	280	<i>Artemisia Doulos</i>	Goats Beard	1.2m H.	As Shown	#5 Pot
PERENNIALS, GRASSES, AND ORNAMENTALS						
	353	<i>Elythrum lanatum</i>	Oregon Sunshine	90cm H.	As Shown	#6 Pot



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VANCOUVER OFFICE
214-2820 WILLOW WAY, VANCOUVER, BC V6M 4Y3
T: 504.261.6022 F: 504.264.5655 www.kdplanning.com

LEGEND

- PLANTING MEDIUM
- SOIL
- CONCRETE WALK
- GRAVEL
- SWACU PAVING
- WALLS RE. ARCH
- PROPERTY LINE
- SETBACK LINE
- TREE PROTECTION FENCE
- BIKE RACK (SINGLE)
- BENCH
- TABLE
- EXISTING TREE TO BE RETAINED
- EXISTING TREE TO BE REMOVED

- 24/05/20 ISSUED FOR COORDINATION
 - 22/07/20 ISSUED FOR RE-CP
 - 23/01/20 ISSUED FOR PERM
 - 20/04/17 ISSUED FOR COORDINATION
 - 23/02/04 ISSUED FOR CLIENT REVIEW
 - 22/05/08 ISSUED FOR CLIENT REVIEW
- NO. DATE (MM/DD) DESCRIPTION
ISSUES & REVISIONS



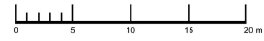
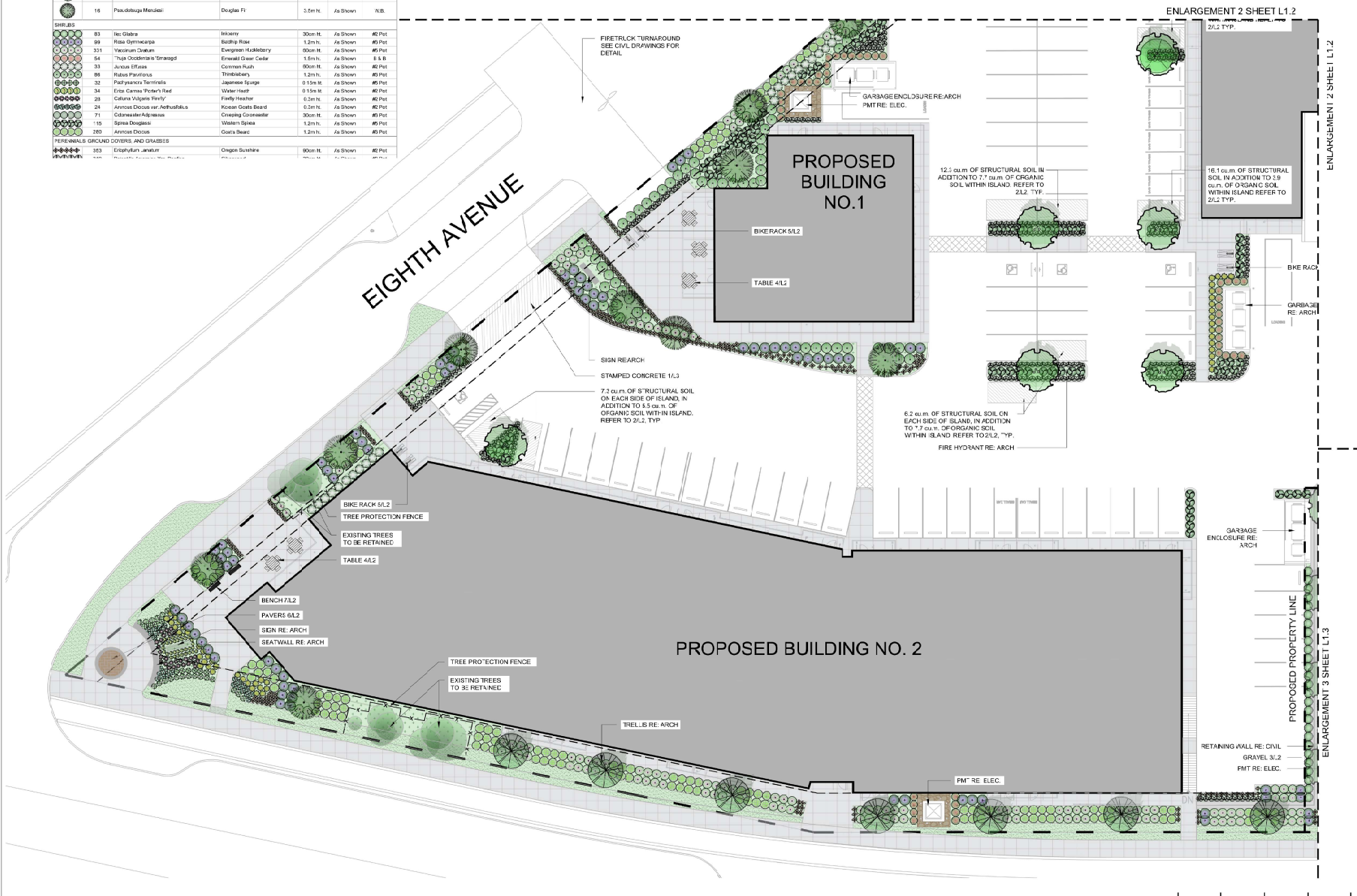
PROJECT NAME
CVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
924 CLD VICTORIA ROAD
NANAIMO, BC

DRAWING TITLE
ENLARGEMENT 1

SCALE: 1:200
DRAWN: MA
CHECKED: JT
PROJECT NO.: 220325-1
DRAWING NO.: **L1.1**

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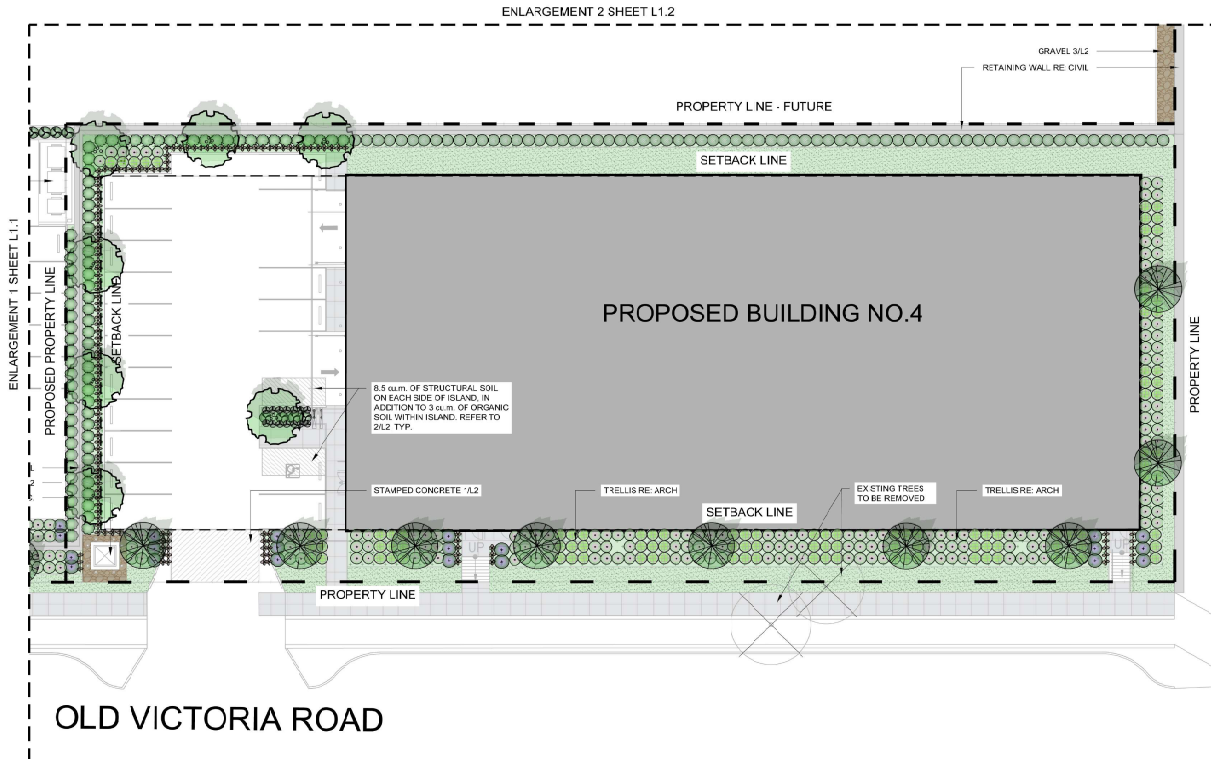
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VANCOUVER OFFICE
114-5250 WILLOW TRL. VANCOUVER, BC V6M 4Y3
T: 504.261.6052 F: 504.264.5653 www.kdplanning.com

LEGEND

- PLANTING MEDIUM
- BOX
- CONCRETE WALK
- GRAVEL
- SWACU PAVING
- WALLS RE. ARCH
- PROPERTY LINE
- SETBACK LINE
- TREE PROTECTION FENCE
- RKE RACK (SINGLE)
- BENCH
- TABLE

PLANT LIST

KEY	QTY*	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	CONDITION
DECIDUOUS TREES						
16		<i>Crazeagus Boglassii</i>	Black Hawthorn	5cm Cal	As Shown	W.B.
CONIFEROUS TREES						
16		<i>Picea Engemansii</i> X <i>Glauca</i>	Hybrid White Spruce	4.5m Ht	As Shown	W.B.
16		<i>Pseudotsuga Menziesii</i>	Douglas Fir	3.5m Ht	As Shown	W.B.
SHRUBS						
83		<i>RexGlabra</i>	Hebarty	33cm Ht	As Shown	R2 Pot
89		<i>Rosa Gymnocarpa</i>	Barberry Rose	1.2m Ht	As Shown	R3 Pot
13		<i>Vaccinium Ovatum</i>	Evergreen Huckleberry	50cm Ht	As Shown	R3 Pot
54		<i>Thuja Occidentalis</i> 'Smaragd'	Emerald Green Cedar	1.5m Ht	As Shown	5 & 8
33		<i>Juniperus Horizontalis</i>	Common Juniper	50cm Ht	As Shown	R3 Pot
85		<i>Rubus Parviflorus</i>	Thimbleberry	1.2m Ht	As Shown	R3 Pot
32		<i>Pachysandra Terminalis</i>	Japanese Saurce	8.15cm Ht	As Shown	R5 Pot
34		<i>Erica Carnea</i> 'Hortia's Red'	Winter Heath	6.15cm Ht	As Shown	R3 Pot
25		<i>Cornus rugosa</i> 'Tidely'	Fredy Heather	3.3m Ht	As Shown	R3 Pot
24		<i>Arctostaphylos uva-ursi</i>	Korean Goose's Beard	0.3m Ht	As Shown	R2 Pot
71		<i>Cotoneaster Adpressus</i>	Creeeping Cotoneaster	33cm Ht	As Shown	R3 Pot
115		<i>Saxifraga</i>	Western Stone	1.2m Ht	As Shown	R3 Pot
285		<i>Arctostaphylos</i>	Goat's Beard	1.2m Ht	As Shown	R3 Pot
PERENNIALS, GROUND COVERS, AND GRASSES						
35		<i>Eriophorum lanatum</i>	Open Sunflower	50cm Ht	As Shown	R3 Pot
316		<i>Potentilla Anserina</i> Var. <i>Purifica</i>	Shrubweed	33cm Ht	As Shown	R3 Pot



ISSUE LOG

NO.	DATE (MM/DD)	DESCRIPTION
1	24/05/20	ISSUED FOR COORDINATION
2	23/11/21	ISSUED FOR RE-OP
3	23/11/21	ISSUED FOR RE-OP
4	23/04/21	ISSUED FOR COORDINATION
5	23/03/24	ISSUED FOR CLIENT REVIEW
6	23/03/28	ISSUED FOR CLIENT REVIEW

NO. DATE (MM/DD) DESCRIPTION
ISSUES & REVISIONS



PROJECT NAME
CVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
**924 CLD VICTORIA RCAD
NANIMO, BC**

DRAWING TITLE
ENLARGEMENT 3

SCALE: 1:200

DRAWN: MA

CHECKED: JT

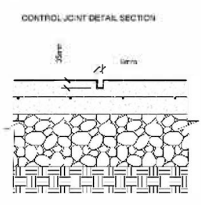
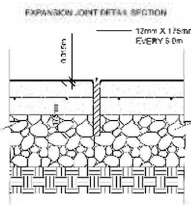
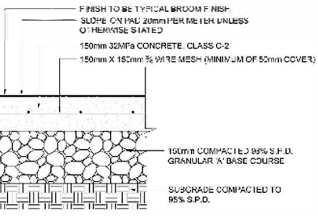
PROJECT NO: 220325-L

DRAWING NO: **L1.3**



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STAMPED CONCRETE SPECIFICATIONS
 PART 01 1000
 INTERIOR COLOUR
 FINISH: POLISHED
 MANUFACTURER: [REDACTED]
 CONTACT: [REDACTED]



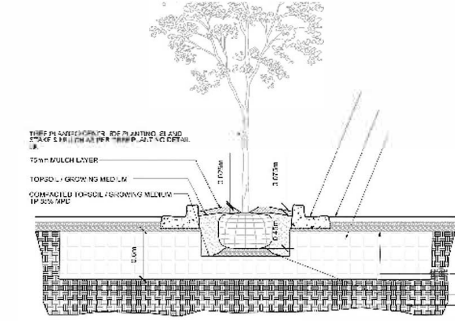
- NOTES:**
- CONCRETE TO BE 32Mpa CLASS C-2 AT 28 DAYS WITH 5% AIR ENTRAINMENT.
 - CONCRETE TO HAVE BROOM FINISH PERPENDICULAR TO THE LENGTH OF THE SIDEWALK.
 - EXPANSION JOINTS TO BE LOCATED AT EVERY 5.0M AND WHERE CONCRETE FINISHING ABUTS OTHER STRUCTURES OR BUILDINGS.
 - CONTROL JOINTS TO BE LOCATED AT INTERVALS OF 2.0M AND AT CENTERLINE OF 4.0M WIDE WALKWAYS.
 - CONCRETE TO BE SPRAYED WITH WHITE PIGMENT DURING CONCRETE POUR.
 - ALL DIMENSIONS ARE IN MILLIMETRES.

1 STAMPED CONCRETE



MAGNUM 250 CLUSTER SEATING MATERIAL: PE WOOD INSTALLATION: SURFACE MOUNT QUANTITY: 6 1.888-715-5600

4 TABLE

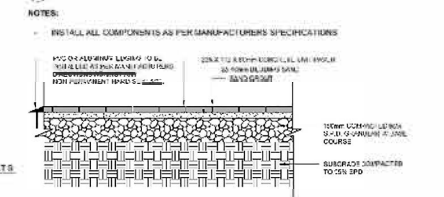


2 STRUCTURAL SOIL



MANUFACTURER: ULINE MODEL NUMBER: 11-6572 COLOUR: BLACK QUANTITY: 8

5 BIKE RACK



UNIT PAVER SPECIFICATIONS

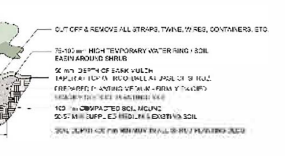
UNIT PAVERS
 MATERIAL: TRAVERTINE
 SIZE: 300 x 300 x 20mm
 MANUFACTURER: [REDACTED]

6 PAVERS

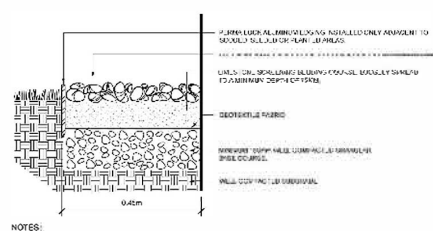


DECIDUOUS TREE

CONIFEROUS TREE



SHRUB AND PERENNIAL PLANTING DETAIL



- NOTES:**
- RIVER ROCK SHALL BE FREE FROM CRACKS AND FISSURES AND SHALL BE FREE FROM SAND, CLAY AND OTHER DEBRIS.
 - RIVER ROCK SHALL BE PLACED OVER THE SCREENING COURSE SUCH THAT AN OVERALL LEVEL APPEARANCE IS ACHIEVED WITHOUT VOIDS.
 - RIVER ROCK TO BE LIGHTLY COMPACTED TO FIT INTO BEDDING COURSES.

3 GRAVEL

ACKNOWLEDGED BENCH WOOD SURFACE MOUNT

7 BENCH



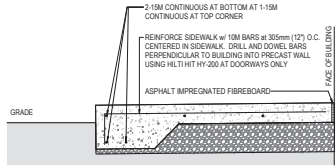
1000 PLANNING GROUP
 400 EAST 10TH AVENUE SUITE 200
 VANCOUVER, BC V6C 2K8
 TEL: 604.681.1111 FAX: 604.681.1112
 WWW.KDPLANNING.COM

NO.	REVISION	DESCRIPTION
1	202412	ISSUED FOR RFP
2	202412	ISSUED FOR CP
3	202412	ISSUED FOR CONSTRUCTION
4	202412	ISSUED FOR CLIENT REVIEW
5	202412	ISSUED FOR CLIENT REVIEW

OVR INDUSTRIAL DEVELOPMENT
 924 OLD VICTORIA ROAD
 NANAIMO BC

NO.	REVISION
1	202412
2	202412
3	202412
4	202412

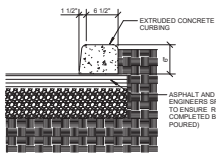
L2



NOTE
1/2" MIN. UNOBSTRUCTED LEVEL FROM TOP OF LEVDOWN
150mm (5") THICK SIDEWALK ON 6" COMPACTED CLEAN GRANULAR FILL. PROVIDE CONTROL JOINTS EVERY 1200mm (5'-0") REFER TO SITE PLAN.
PROVIDE 50mm (2") RIGID INSULATION BENEATH SIDEWALK AT ALL DOORS, EXTENDING 1200mm (5'-0") BEYOND DOOR at EITHER SIDE

1 SIDEWALK DETAIL

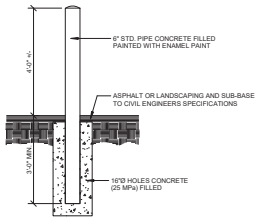
SCALE: 1" = 1'-0"



ASPHALT AND SUB-BASE TO CIVIL ENGINEERS SPEC'S (CONTRACTOR TO ENSURE ROLL TEST IS COMPLETED BEFORE CONCRETE IS POURED)

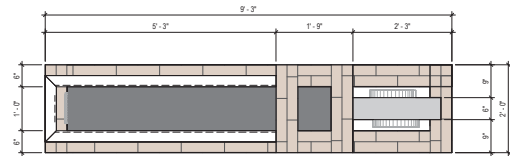
2 EXTRUDED CURB DETAIL

SCALE: 1" = 1'-0"



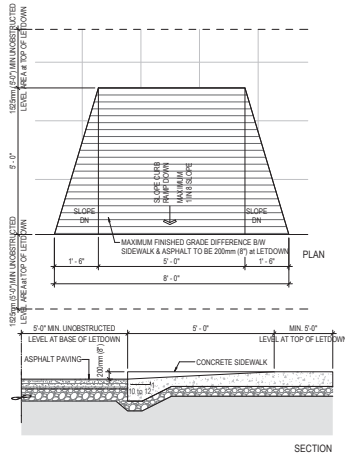
6 BOLLARD DETAIL

SCALE: 1" = 1'-0"



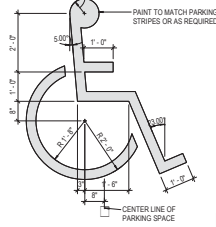
8 FREESTANDING SIGN PLAN VIEW

SCALE: 3/4" = 1'-0"



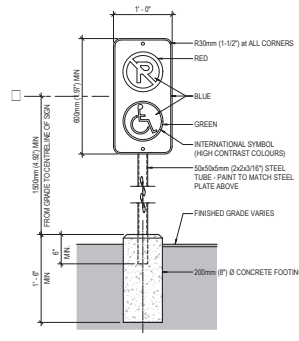
3 ACCESSIBLE LETDOWN

SCALE: 1/2" = 1'-0"



7 ACCESSIBLE PAINTED SYMBOL

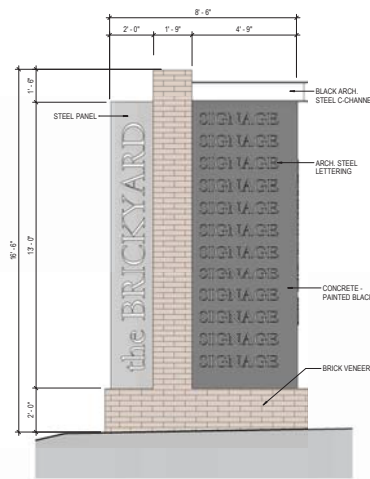
SCALE: 1/2" = 1'-0"



NOTE
1. SIGN SHOULD BE PROPERLY CENTERED AT FRONT OF PARKING SPACE.
2. SIGN FACE SHOULD BE LOCATED NO FURTHER THAN 150mm (6") FROM THE FRONT OF EACH PARKING SPACE w/ A MINIMUM 915mm (3'-0") CLEAR.
3. MOUNT SIGN ON COLUMN OR WALL AT S.M. CONDITION
4. WHERE SIGN IS PLACED IN PAVED AREA AT PARKING STALLS, PROVIDE PRE-CAST BUMPERS

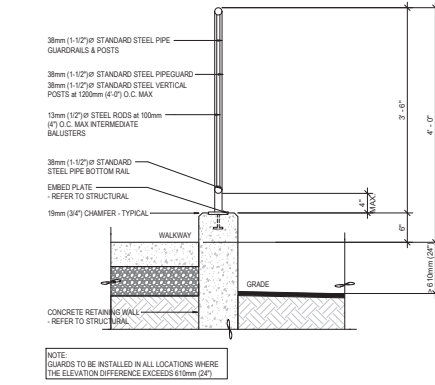
4 ACCESSIBLE POST MOUNTED SIGN DETAIL

SCALE: 1" = 1'-0"



9 FREE STANDING SIGN ELEVATION

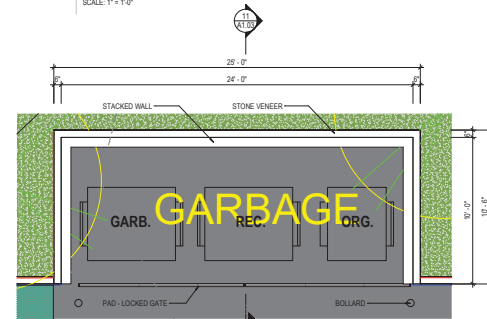
SCALE: 3/8" = 1'-0"



NOTE
GUARDS TO BE INSTALLED IN ALL LOCATIONS WHERE THE ELEVATION DIFFERENCE EXCEEDS 610mm (24")

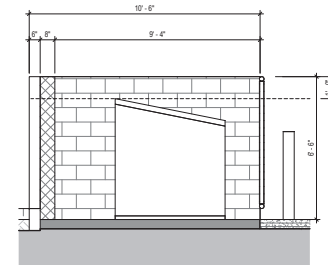
5 RETAINING WALL AND GUARDRAIL

SCALE: 1" = 1'-0"



10 TYP. GARBAGE ENCLOSURE

SCALE: 1/4" = 1'-0"



11 TYP. GARBAGE ENCLOSURE SECTION

SCALE: 3/8" = 1'-0"

PRELIMINARY
NOT FOR CONSTRUCTION

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3	2023.12.15	Re-issued for CP
1	2023.03.24	Issued for CP
NO.	DATE	SYNO. DESCRIPTION
ISSUES AND REVISIONS		
SEAL		



larry podhora | architecture inc
1447 HOWCREST RD. NORTH SAANICH, BC. V8L 5K1

PROJECT NAME
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS
524 OLD VICTORIA ROAD
NANAIMO BC

DRAWING TITLE
SITE DETAILS

SCALE	As indicated
DRAWN	
REVIEWED	
PROJECT NO.	220235
DRAWING NO.	

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DP1307
2024-MAR-28
Current Planning

A1.03



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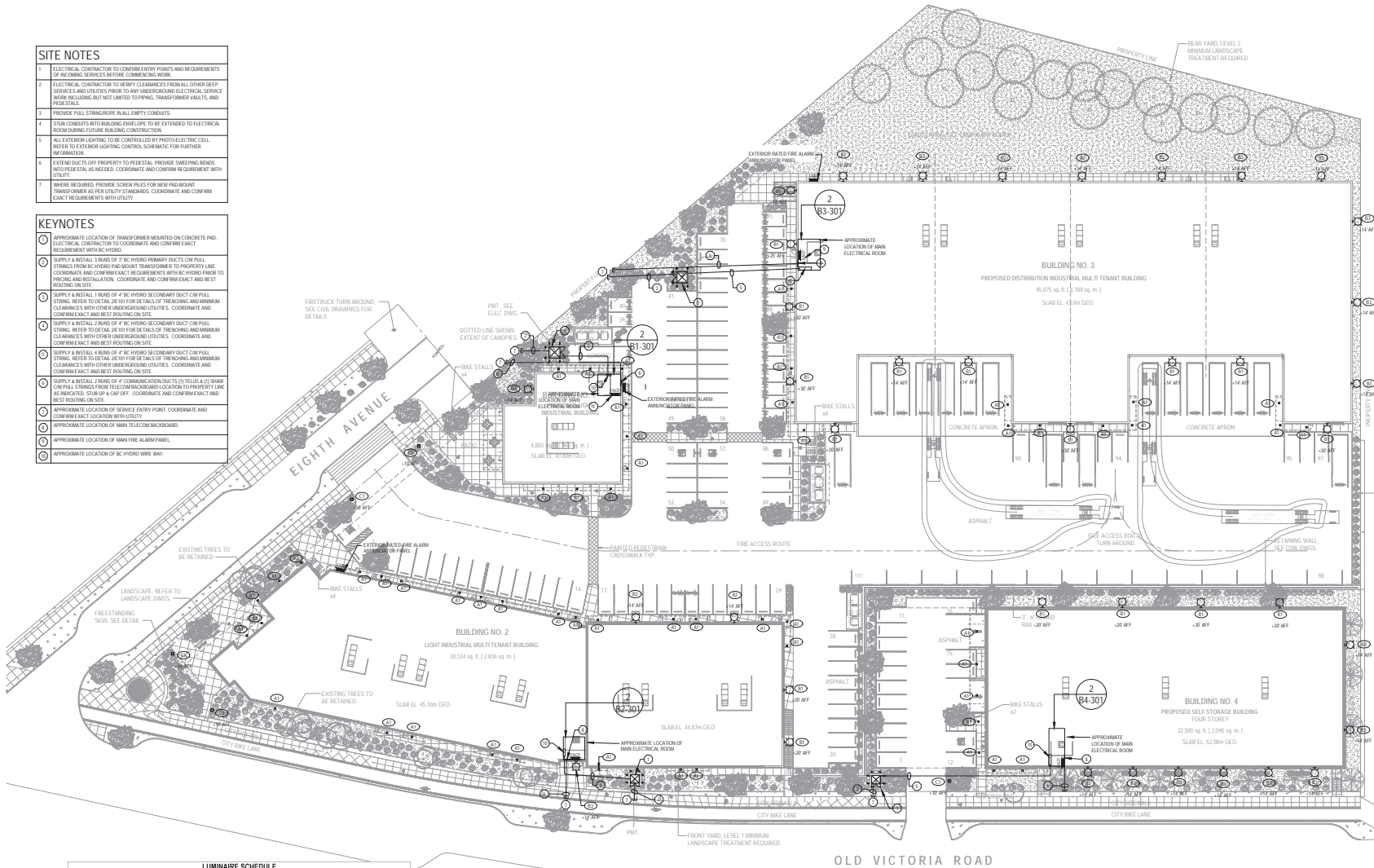
ELECTRICAL PROJECT MANAGER
DORIANE LAMARCA MENDONÇA
(87) 937-0917
www.krahn.com.br

SITE NOTES

- ELECTRICAL CONTRACTOR TO CONFIRM ENTRY POINTS AND REQUIREMENTS OF INCOMING SERVICES BEFORE COMMENCING WORK.
- ELECTRICAL CONTRACTOR TO VERIFY CLEARANCES FROM ALL OTHER LINES, SERVICES AND UTILITIES PRIOR TO ANY UNDERGROUND ELECTRICAL SERVICE WORK. INCLUDING BUT NOT LIMITED TO PIPING, TRANSFORMER VAULTS, AND PEDESTALS.
- PROVIDE FULL STRINGROPE IN ALL EMPTY CONDUITS.
- SLAB CONCRETS WITH BUILDING STRUCTURE TO BE EXTENDED TO ELECTRICAL ROOM DURING FUTURE BUILDING CONSTRUCTION.
- ALL EXTERIOR LIGHTING TO BE CONTROLLED BY PHOTO-ELECTRIC CELL. REFER TO EXTERIOR LIGHTING CONTROL SCHEDULE FOR FURTHER INFORMATION.
- EXTINGUISHERS TO BE PROVIDED TO ALL EXTERIOR LIGHTING FIXTURES. PROVIDE SLEEPING SIZES INTO PEDESTALS AS NEEDED. COORDINATE AND CONFIRM REQUIREMENT WITH CITY.
- WHERE REQUIRED, PROVIDE SCREW PILES FOR NEW PAD-MOUNT TRANSFORMER AS PER UTILITY STANDARDS. COORDINATE AND CONFIRM EXACT REQUIREMENTS WITH UTILITY.

KEYNOTES

- APPROXIMATE LOCATION OF TRANSFORMER MOUNTED ON CONCRETE PAD. ELECTRICAL CONTRACTOR TO COORDINATE AND CONFIRM EXACT REQUIREMENT WITH UTILITY.
- SUPPLY & INSTALL A TRUNK OF 4" BC HYDRO PRIMARY DUCTS C/W PULL STRING. REFER TO DETAIL SEE FOR SETBACKS OF TRENCHING AND MINIMUM CLEARANCES WITH OTHER UNDERGROUND UTILITIES. COORDINATE AND CONFIRM EXACT AND BEST ROUTING ON SITE.
- SUPPLY & INSTALL TRUNKS OF 4" BC HYDRO SECONDARY DUCT C/W PULL STRING. REFER TO DETAIL SEE FOR SETBACKS OF TRENCHING AND MINIMUM CLEARANCES WITH OTHER UNDERGROUND UTILITIES. COORDINATE AND CONFIRM EXACT AND BEST ROUTING ON SITE.
- SUPPLY & INSTALL TRUNKS OF 4" BC HYDRO SECONDARY DUCT C/W PULL STRING. REFER TO DETAIL SEE FOR SETBACKS OF TRENCHING AND MINIMUM CLEARANCES WITH OTHER UNDERGROUND UTILITIES. COORDINATE AND CONFIRM EXACT AND BEST ROUTING ON SITE.
- SUPPLY & INSTALL TRUNKS OF 4" COMMUNICATION DUCTS (S) TUBES & (S) SHAW C/W PULL STRING FROM TEL CO. ROOM LOCATED TO PROPERTY LINE AS INDICATED. STUB UP C/W UP. COORDINATE AND CONFIRM EXACT AND BEST ROUTING ON SITE.
- APPROXIMATE LOCATION OF SERVICE ENTRY POINT. COORDINATE AND CONFIRM EXACT LOCATION WITH UTILITY.
- APPROXIMATE LOCATION OF MAIN TEL CO. ROOM LOCATIONS.
- APPROXIMATE LOCATION OF MAIN FIRE ALARM PANEL.
- APPROXIMATE LOCATION OF BC HYDRO WIRE WAY.



LUMINAIRE SCHEDULE

VERIFY LUMINAIRE IDENTIFICATION REFERENCE TO THE LUMINAIRE SCHEDULE TO BE USED TO IDENTIFY THE TYPE OF SPACE FIXTURES TO BE USED.

TYP.	MANUFACTURER	MODEL DESCRIPTION	HEIGHT (M)	WATTAGE (W)	LUMENS (LM)	OR	COLOR TEMPERATURE (K)	LAMP (EQUIV.)	BEAM ANGLE (DEG)	SHIELDING LEVEL	REMARKS
01	PHOTONIC	PHOTONIC 4000K 150W 1500LM	1500	4000	1500	OR	4000	LED	30°	5 FT	
02	PHOTONIC	PHOTONIC 4000K 150W 1500LM	1500	4000	1500	OR	4000	LED	30°	5 FT	
03	PHOTONIC	PHOTONIC 4000K 150W 1500LM	1500	4000	1500	OR	4000	LED	30°	5 FT	
04	PHOTONIC	PHOTONIC 4000K 150W 1500LM	1500	4000	1500	OR	4000	LED	30°	5 FT	
05	PHOTONIC	PHOTONIC 4000K 150W 1500LM	1500	4000	1500	OR	4000	LED	30°	5 FT	
06	PHOTONIC	PHOTONIC 4000K 150W 1500LM	1500	4000	1500	OR	4000	LED	30°	5 FT	

1 SITE PLAN - LIGHTING LEVEL
E100 SCALE: 1"=30'-0"

02 LUMINAIRE
E101

1	ISSUED FOR UTILITIES
2	ISSUED FOR UTILITIES
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100	ISSUED FOR UTILITIES

PERMIT STAMP:
PERMIT TO PRACTICE
AS ELECTRICAL CONSULTANTS LTD.
 Signature: _____
 EORC ID: 207887
 Date: 2023-12-21
 PERMIT NUMBER: P1000001
 The Association of Professional Engineers and Geoscientists of the Province of British Columbia

PROJECT NAME:
OVR INDUSTRIAL DEVELOPMENT

PROJECT ADDRESS:
924 OLD VICTORIA ROAD
NANAIMO, BC

DRAWING TITLE:
OVERALL SITE PLAN

SCALE:	AS NOTED
DRAWN:	AA
CHECKED:	EM
PROJECT NO.:	220025-E
DRAWING NO.:	E100

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