



**DEVELOPMENT PERMIT NO. DP001304**

**DGC HOLDINGS CORP.**  
Owner(s) of Land (Permittee)

**4157 VERTE PLACE**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT B, SECTION 5, WELLINGTON DISTRICT, PLAN EPP74158**  
**PID No. 030-378-036**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map**  
**Schedule B Retaining Wall Survey Plan**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

**TERMS OF PERMIT**

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. Section 6.10.2 Fence Height – to increase the maximum allowable fence height in the flanking side yard from 1.8m to 4.25m for a tiered retaining wall and fence.
2. Section 6.10.2 Fence Height – to increase the maximum allowable fence height in the side yard from 2.4m to 3.79m for a retaining wall fence.

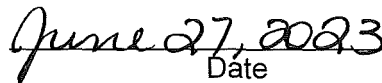
**CONDITIONS OF PERMIT**

The retaining wall on the subject property is developed in accordance with the Retaining Wall Survey prepared by Williamson and Associates Professional Surveyors, dated 2023-APR-12 as shown on Schedule B.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE  
19TH DAY OF JUNE, 2023.

  
Corporate Officer

Sheila Gurrie  
Corporate Officer  
City of Nanaimo

  
Date

KD/bb

Prospero attachment: DP001304



**Development Permit No. DP001304      Schedule B**  
**4157 Verte Place**  
**RETAINING WALL SURVEY PLAN**

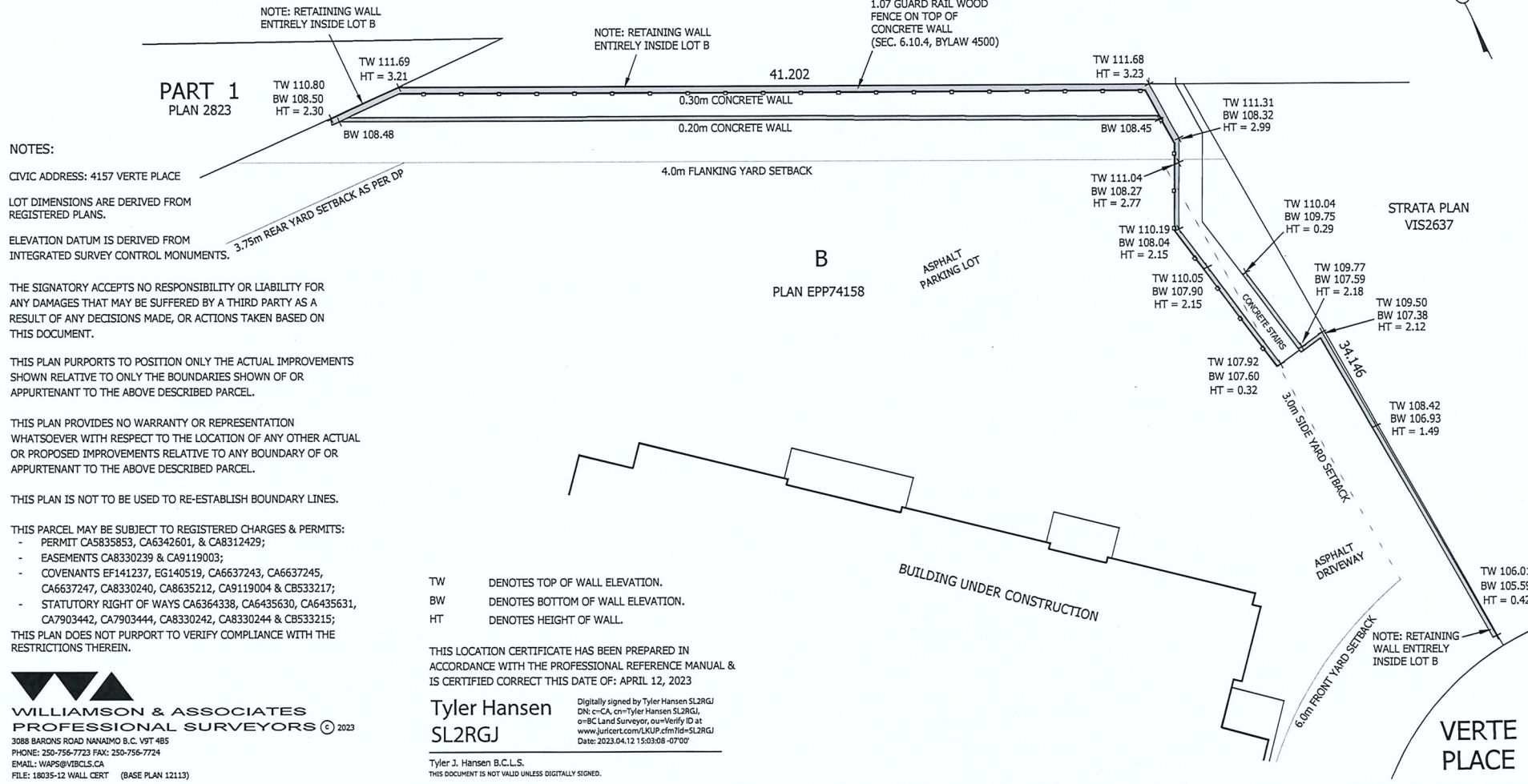
B.C. LAND SURVEYOR'S CERTIFICATE OF EXISTING WALL LOCATION ON:

**LOT B, SECTION 5, WELLINGTON DISTRICT, PLAN EPP74158**



BYLAW VARIANCE REQUESTS (BYLAW 4500)	
FENCE HEIGHT IN FLANKING YARD SETBACK (SEC. 6.10.2, BYLAW 4500) - INCREASE HEIGHT FROM 1.8m TO 3.23m (±79%)	
FENCE HEIGHT IN SIDE YARD SETBACK (SEC. 6.10.2, BYLAW 4500) - INCREASE HEIGHT FROM 2.4m TO 2.77m (±15%)	

**JINGLE POT ROAD**



**WILLIAMSON & ASSOCIATES**  
**PROFESSIONAL SURVEYORS © 2023**  
 3088 BARONS ROAD NANAIMO B.C. V9T 4B5  
 PHONE: 250-756-7723 FAX: 250-756-7724  
 EMAIL: WAPS@VBCLS.CA  
 FILE: 18035-12 WALL CERT (BASE PLAN 12113)

**Tyler Hansen**  
**SL2RGJ**  
 Digitally signed by Tyler Hansen SL2RGJ  
 DN: c=CA, ou=Tyler Hansen SL2RGJ,  
 o=BC Land Surveyor, ou=Verify ID at  
 www.juricert.com/LKUP.cfm?id=SL2RGJ  
 Date: 2023.04.12 15:03:08 -07'00'

Tyler J. Hansen B.C.L.S.  
 THIS DOCUMENT IS NOT VALID UNLESS DIGITALLY SIGNED.

**RECEIVED**  
**DP1304**  
**2023-APR-14**  
 Current Planning