



DEVELOPMENT PERMIT NO. DP001293

CHAHAL GAGANDEEP KAUR
Owner(s) of Land (Permittee)

582 BRADLEY STREET
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT A, SUBURBAN LOT 31, SECTION 1, NEWCASTLE TOWNSITE,
NANAIMO DISTRICT, PLAN EPP48723
PID No. 029-558-051**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building and Fence Elevations and Details
Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

PERMIT TERMS

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 7.5.1 Siting of Buildings* – to reduce the minimum required (west) side yard setback from 3.0m to 1.24m as shown on Schedule B.
2. *Section 6.10.2 Fence Height* – to increase the maximum permitted combined height of a retaining wall and fence within a front yard setback from 1.2m up to 1.49m as shown on Schedule C.
3. *Section 17.2.1 General Regulations* – to reduce the minimum landscape buffer width from 1.8m to 1.03m along the east side lot line to accommodate a continuous driveway as shown on Schedule B.
4. *Section 17.2.1 General Regulations* – to reduce the minimum landscape buffer width from 1.8m to 0.0m along a portion of the front lot line to accommodate a vehicle turn around as shown on Schedule B.

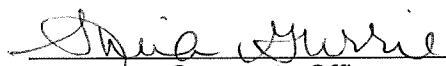
The City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

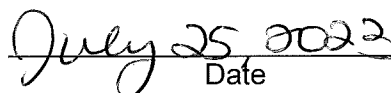
1. *Section 5.5 Driveways* – to reduce the width of a double lane driveway from 5.5m to 2.74m as shown on Schedule B.
2. *Section 7.6(iii) Bicycle Parking* – to reduce the access aisle width for long-term bicycle parking from 1.2m to 0.87m as shown on Schedule B.

CONDITIONS OF PERMIT

1. The subject property shall be developed in substantial compliance with the Site and Parking Plans, prepared by Raymond de Beeld Architecture Inc., dated 2023-JUN-09, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building and Fence Elevations and Details, prepared by Raymond de Beeld Architecture Inc., dated 2023-JUN-09, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Architecture Panel Inc., dated 2023-JUN-12, as shown on Schedule D.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 10TH DAY OF JULY, 2023.

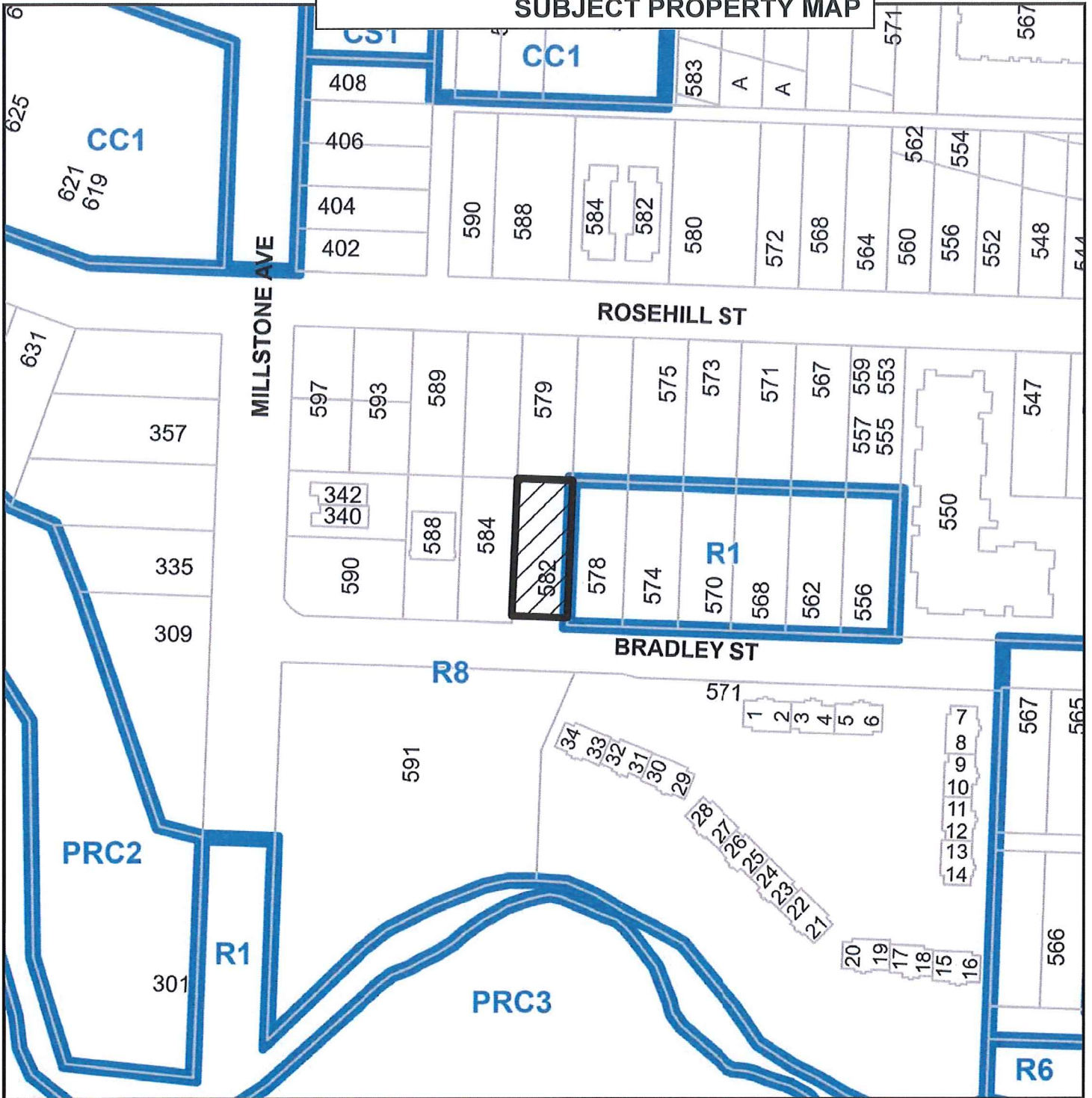

Corporate Officer


Date

KM/bb

Prospero attachment: DP001293

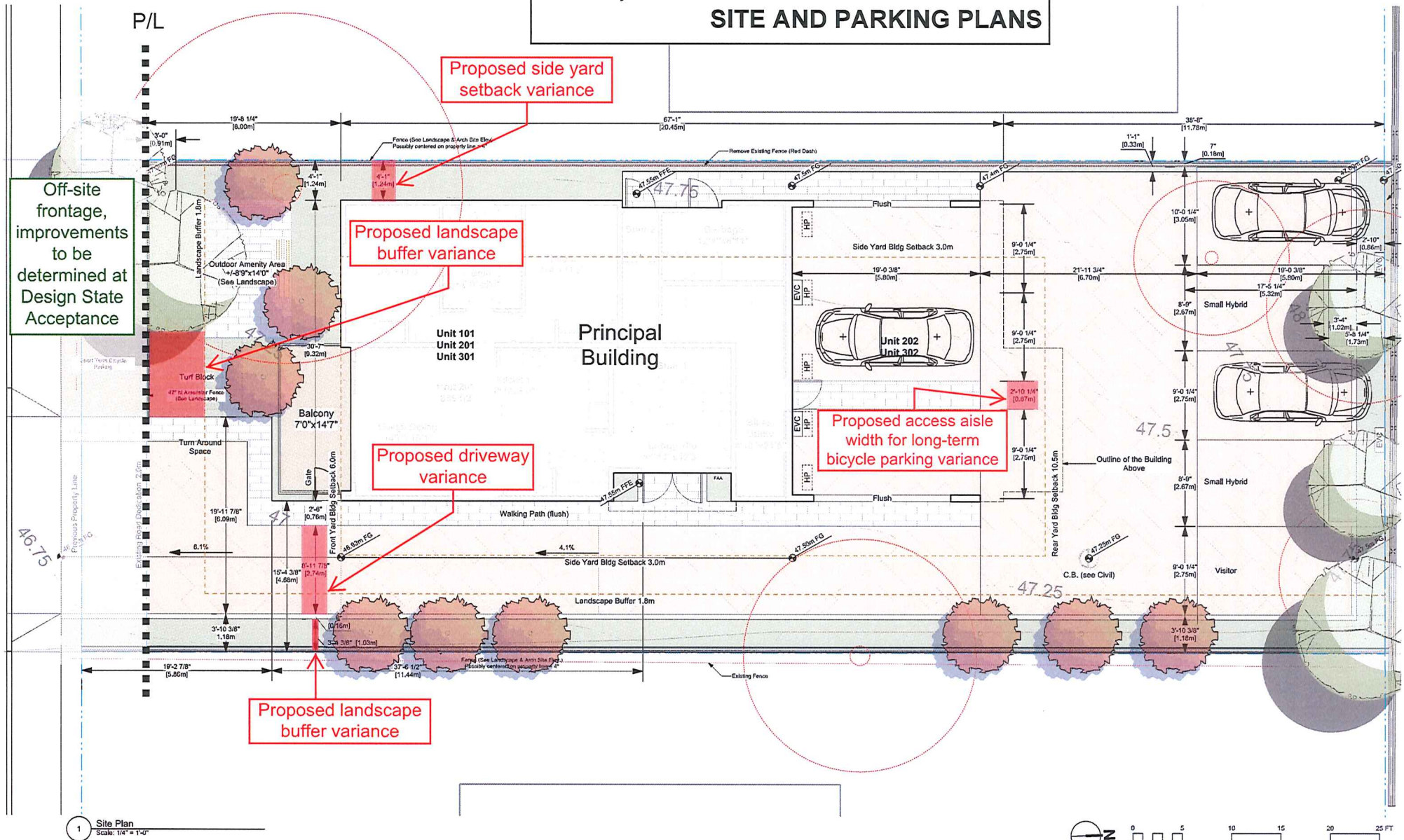
SUBJECT PROPERTY MAP

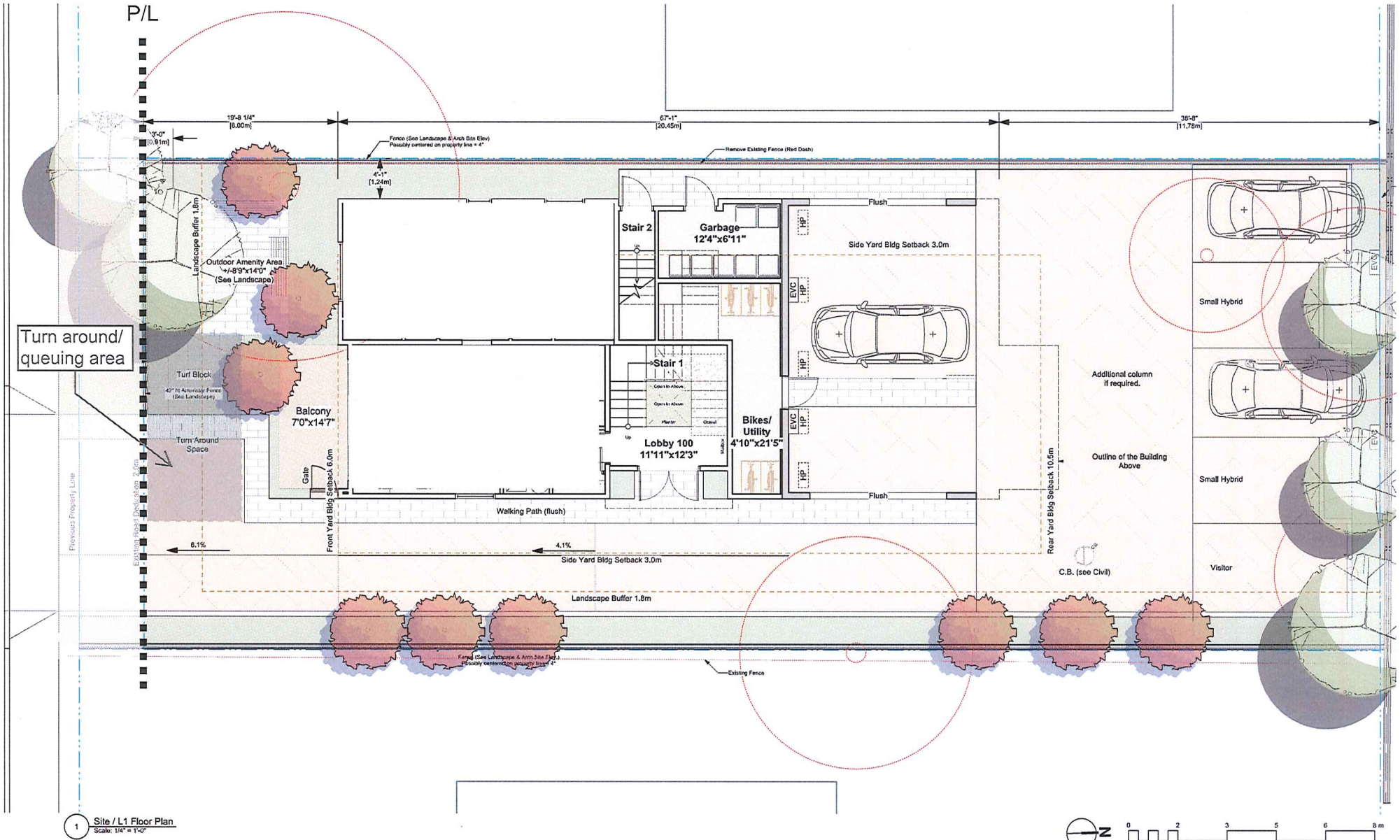


DEVELOPMENT PERMIT APPLICATION NO. DP001293

 582 BRADLEY STREET

SITE AND PARKING PLANS





Development Permit No. DP001293
582 Bradley Street

Schedule C

BUILDING AND FENCE ELEVATIONS AND DETAILS



1 North Elevation



2 East Elevations



3 South Elevation
(Facing Bradley Street)



4 West Elevation

MATERIAL LEGEND:

AL1 Aluminum Storefront (Black Anodized)	SV1 Stone Veneer (Variegated Greys)	MT1 Metal Flashing over Hardie Fascia (Dark Grey)
CN1 Concrete (Natural, Red & Cone)	GL1 Clear Tempered Glass Railings	MT2 Metal Door & Frame (Dark Grey)
FH1 Hardie Panel (Brown Wood Grain)	GL2 Vinyl Windows (Black)	WD1 Wood Column/ Trellis (Natural)
FP1 Hardie Board & Batten Siding	GL3 Glass Skylight	WD2 Wood T&G Soffit (Natural)
FP2 Hardie Vertical Siding		



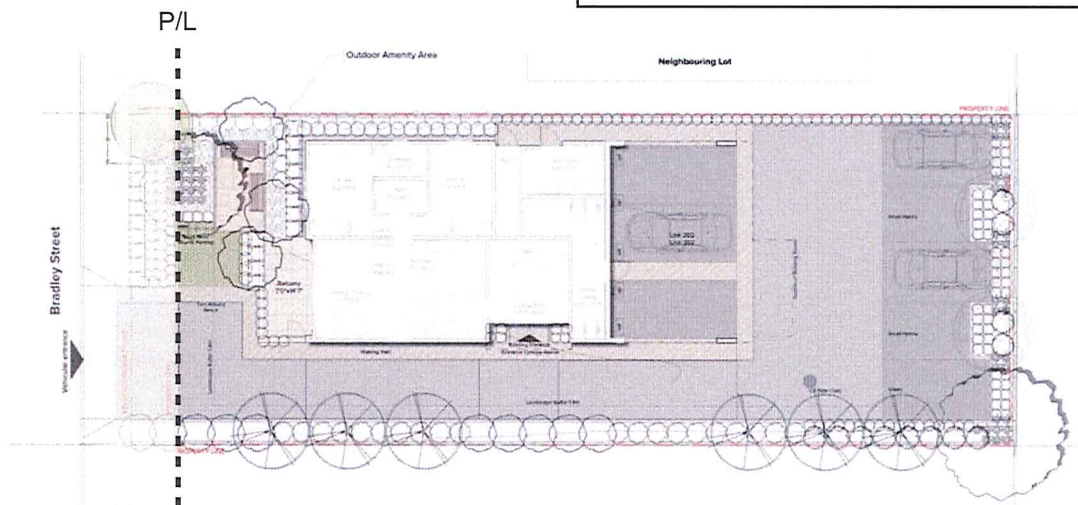
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Issued for Re. DP Comp. Ltr. June 09, 2023
DP Rev. 02

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2023-JUN-13

Development Permit No. DP001293
582 Bradley Street

Schedule D

LANDSCAPE PLAN AND DETAILS



1 Key Plan
Scale: 1:100

Neighbouring Lot



Hosta Blue Angel



Helictotrichon sempervirens



Vaccinium Ovatum



Sarcococca ruscifolia



Echinacea Rosita



Magnolia Elizabeth

2 Some proposed Trees and Shrubs
Scale: NTS

DESIGN RATIONALE AND SUMMARY

This residential project is located in the city of Nanaimo with Bradley Street, Milstree River and Bowen Park situated on the south side of the property, while the other three sides are surrounded by residential buildings.

To maintain the privacy on site, a 6' fence is proposed around the east, west and north edges of the property, along with hedging that vary in size and characteristics such as Taxus, Sarcococca Ruscifolia and Mahonia Aquifolium.

Different colors and styles of Aquapavers is being proposed for different spaces along the site for better way finding, space definition as well as maximizing the permeable surface area on the site.

Entering the site, shade loving plants are proposed on both sides of the amenity area entrance including Helleborus orientalis.

A magnolia elizabeth tree is proposed in the focal point of the outdoor amenity area, and a variety of ornamental grasses and flowering plants along the driveway to provide a pleasant and welcoming experience for residents.

The proposed amenity area on the south of the site provides an opportunity for outdoor dining and socializing.

The space is defined by multi-layered shrubbery which includes a row of Taxus to provide separation from Bradley Road and privacy to the adjacent ground floor unit, along other smaller shrubs with visually attractive characteristics to enhance the view for residents of the ground floor unit and the users of the amenity area.

GENERAL NOTES

All materials and workmanship to CLS Standards, latest edition. Soil depths and subgrade preparation, soil quality and plant sizes to meet or exceed that standard.

Plant sizes in this list are specified according to the BC Landscape Standards latest edition. Container sizes are specified as per "CNLA Standards". Both plant size and container size are the minimum acceptable sizes. The installers are advised to search and review, in-use plant material available to the Landscape Architect for optional review at the source of supply. Areas of search to include Lower Mainland and Fraser Valley. Substitutions must obtain written approval from the Landscape Architect prior to making any substitutions to specified material. Unapproved substitutions will be rejected. Allow a minimum of five working days prior to delivery for request to substitute. Substitutions are subject to the Landscape Standard.

All plant material must be provided from the certified 'Disease Free' nursery. All plant material must conform to the latest edition of the 'BC Landscape Standard'. Provide certification upon request. All landscaping and landscape materials to conform to the latest edition of the CLS standards.

Min. growing medium depths over prepared subgrade shall be:
Lawn Areas 300mm
Ground Cover Areas 450mm
Shrub Areas 450mm
Tree Pits 300mm
(around root balls)

Growing medium shall have physical and chemical properties as described in the standards for 'Ground Areas', except for the areas over structures where the medium shall conform to the requirements for level 1 applications. Processing and mixing of the growing medium shall be done off-site using a mechanized screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a sample representative of the soil to be used at the site.

On-site or imported soils shall satisfy the requirements of the standards for growing medium. Soils shall be virtually free from subsoil, wood including woody plant parts, weed or reproductive parts of the weeds, plant pathogenic organisms, toxic material, stones over 30mm, and foreign objects.

All planting beds shall receive min. 50mm bark mulch.

The contractor shall maintain clean working conditions, remove all refuse and debris and present the site in a safe and clean condition upon completion of all works.

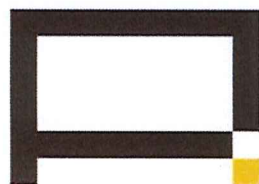
Plant species and varieties may not be substituted without the approval of the Landscape architect.

All wood fences to be cedar, with one coat of clear penetrating preservative.

All engineering drawings (Civil, Mechanical, Envelope and Electrical) to supersede the Landscape drawings where applicable. These Landscape drawings are to be considered overriding only in case of soft landscape planting.

All soft landscape areas to be serviced by High Efficiency Irrigation System.

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ARCHITECTURE PANEL INC.

ARCHITECTURE LANDSCAPE ARCHITECTURE URBAN DESIGN

Unit 101, 15505 Marine Drive, White Rock, BC V6B 4S1 | 604.783.4501 | info@architecturepanelinc.com

These Drawings and the design are and at all times remain the exclusive property of Architecture Panel Inc. and cannot be used without the Architect's / Landscape Architect's written consent. Contractor is responsible for verification of all dimensions, elevations and other data on drawings. Any discrepancies to be reported immediately to the Architect / Landscape Architect. Any changes made without the Architect's / Landscape Architect's written consent shall be the contractor's sole responsibility. Do not scale drawings. Dimensions govern. © Architecture Panel Inc. All rights reserved.

Project
582 Bradley Street

Owner

Sheet Title
Key Plan

Sheet No.
L1

Drawn By
BB

Reviewed By
SD

Total Sheets
6

Checked By
RD

Status
DP Application

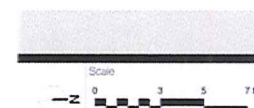
Contractors

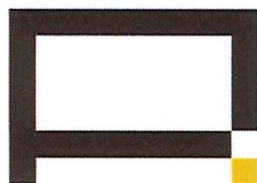
A-U
City of Nanaimo

Consultants
Architecture Panel Inc.

Documents
DP Application

No	Date	Issue Notes
A	2022-09-29	DP Application
B	2022-12-13	DP Resubmission
C	2023-06-01	DP Resubmission
D	2023-06-12	DP Resubmission





ARCHITECTURE : LANDSCAPE ARCHITECTURE : URBAN DESIGN

Unit 101, 15505 Maximo Drive, White Rock, BC | 604-783-1450 | info@westcoastbusiness.com

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Open File

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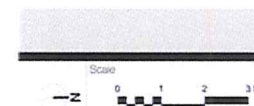
Chickadee Pie

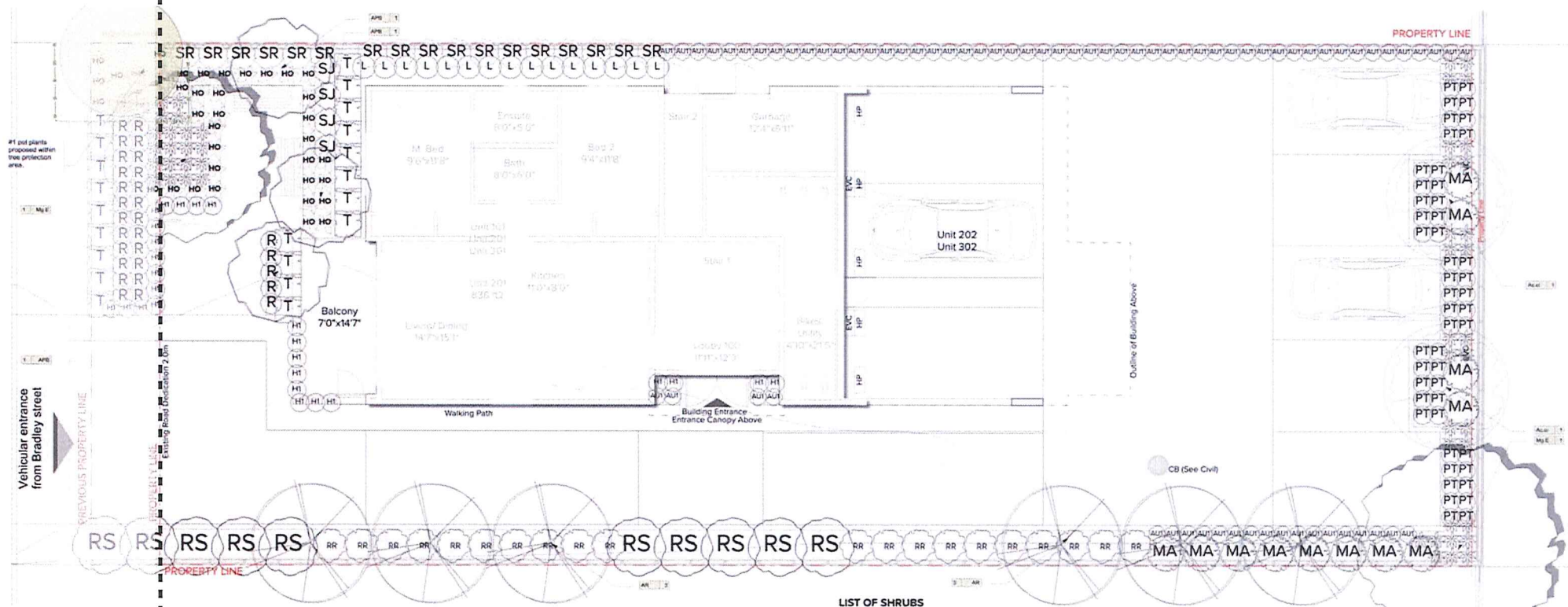
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1 Planting Plan
Scale: 1/50

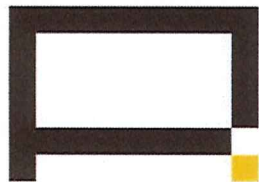
LIST OF TREES

ID	Quantity	Latin Name	Common Name	Scheduled Size
APB	3	Acer palmatum Bloodgood	Bloodgood Japanese Maple	6 cm. Cal.
MaE	2	Magnolia x 'Elizabeth' PP# 4345	Elizabeth Magnolia	7 cm. cal.
AR	6	Acer rubrum 'Bowhall'	Bowhall red maple	6 cm. cal.
Accl	2	Acer cratum	Vine maple	3.0m ht.

LIST OF SHRUBS

ID	Quantity	Latin Name	Common Name	Scheduled Size
RR	20	Rosa rugosa 'Hansa'	Hansa rose	#2 pot
MA	12	Mahonia aquifolium	Oregon grape	#3 pot
AUT	73	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 pot
L	15	Levensula vers	Levensula	#1 pot
SJ	4	Siermua japonica	Japanese Siermua	#2 pot
SR	17	Sarcococca ruscifolia	Fragrant Sarcococca	#3 pot
T	21	Taxus sp	Yew, hedge variety	1.5 m. ht.
PT	48	Pachystandra terminalis	Japanese Spurge	#1 pot
HQ	35	Hosta x 'Blue Angel'	Blue Angel Plantain Lily	#1 pot
P	49	Polystichum polylephanthum	Tessel Fern	#2 pot
RS	10	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#3 pot
R	29	Rosa Nutkana	Nootka Rose	#2 pot
HT	26	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
PM-1	4	Polystichum munifolium	swarthorn	#1 pot

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Project
582 Bradley Street

Owner

Sheet Title
Planting Plan

Sheet No.
L3

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6

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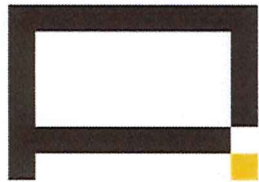
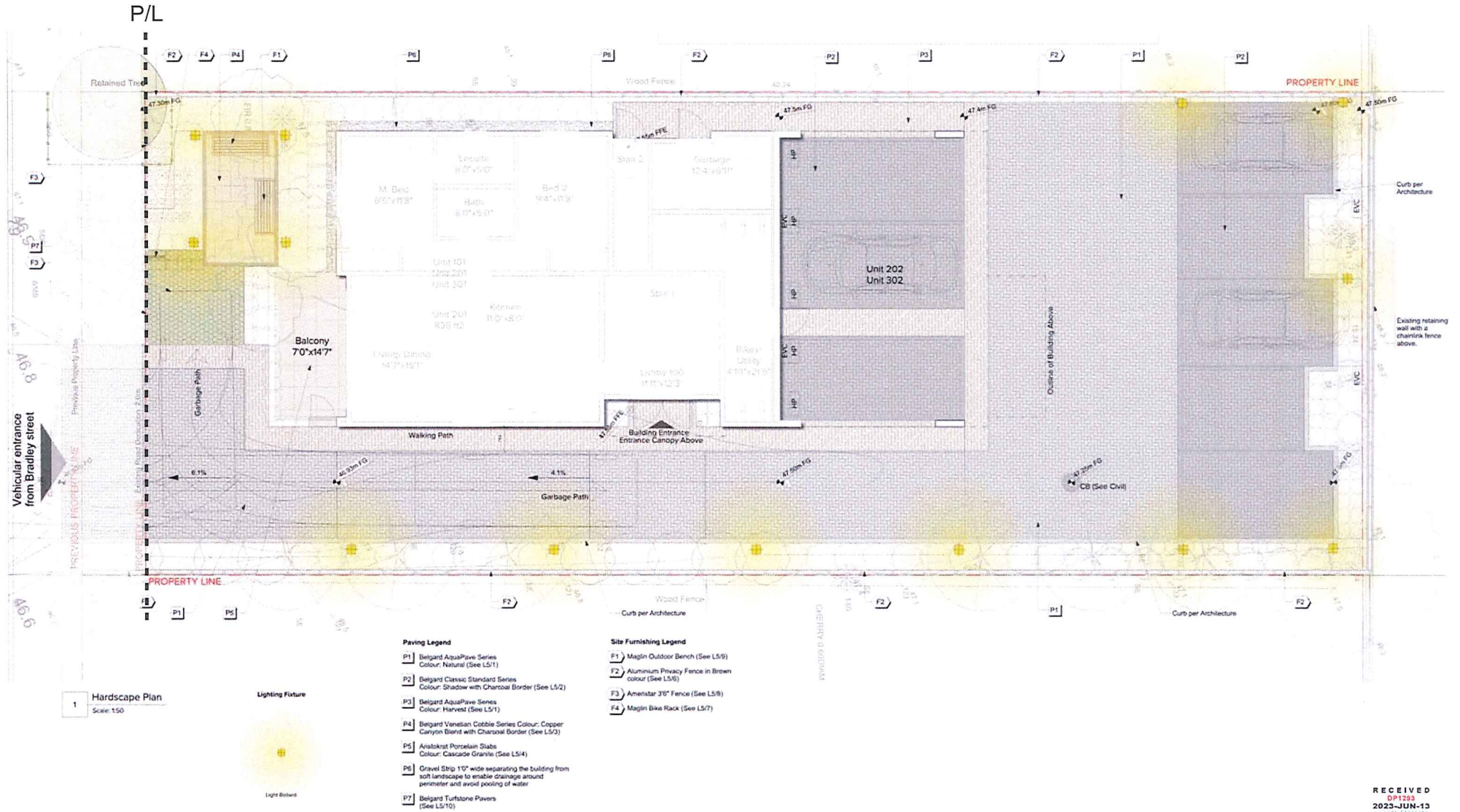
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City of Nanaimo

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Project
582 Bradley Street

Owner

Sheet Title
Hardscape Plan

Sheet No.
L4

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Total Sheets
6

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1 Belgard AquaPave Standard Series (P1, P3)
Scale: NTS



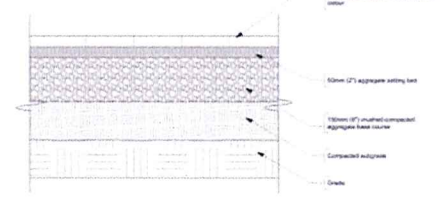
2 Belgard Classic Standard Series (P2)
Scale: NTS



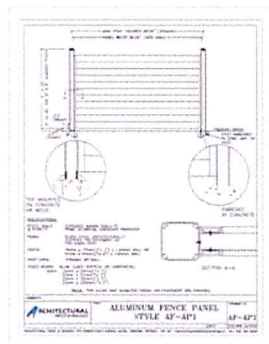
3 Belgard permeable Venetian Cobble Series (P4)
Scale: NTS



4 Aristokrat® Porcelain Slabs (P5)
Scale: NTS

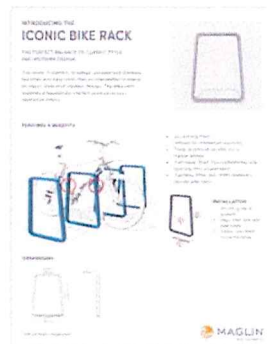


5 Detail: Concrete Unit pavers on Grade
Scale: NTS

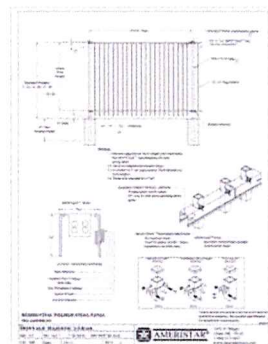


6 Aluminum Fence- Colour: Brown (F2)
Scale: 1:250

Note: Height of Aluminium fence per Architectural



7 Bike rack details (F4)
Scale: NTS



8 Ameristar Fence 3'6" (F3)
Scale: NTS



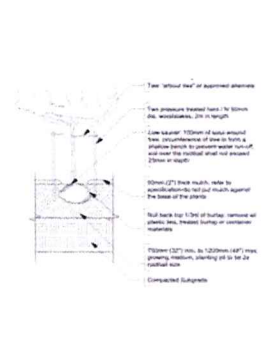
9 Maglin Outdoor Bench (F1)
Scale: NTS



10 Turfstone Pavers (P7)
Scale: NTS



11 Detail: Shrub at Grade
Scale: NTS



13 Detail: Tree at Grade
Scale: NTS

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Project
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