



DEVELOPMENT PERMIT NO. DP001291

1283135 B.C. LTD. & SHERYL YVONNE MANN
Owner(s) of Land (Permittee)

13, 17 & 21 HALIBURTON STREET
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

THE SOUTHERLY 1/2 OF LOT 9, BLOCK 8, SECTION 1, NANAIMO DISTRICT, PLAN 584

LOT 8, BLOCK 8, SECTION 1, NANAIMO DISTRICT, PLAN 584

LOT 7, BLOCK 8, SECTION 1, NANAIMO DISTRICT, PLAN 584

PID Nos. 008-827-729 & 008-827-699 & 008-827-672

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details
Schedule E Schedule D – Amenity Requirements for Additional Density

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

The "City of Nanaimo Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.5.1 Projections into Yards* – to increase the maximum permitted projection for an entry portico into the required front yard setback from 2.0m to 2.97m as shown on Attachment C.
2. *Section 7.6.1 Size of Buildings* – to increase the maximum permitted height of a principal building from 14.0m to 15.6m as shown on Attachment C.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site and Parking Plans, prepared by Matthew T. Hansen Architect, dated 2023-AUG-29 and 2023-SEP-25, as shown on Attachment B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Matthew T. Hansen Architect, dated 2023-AUG-29, as shown on Attachment C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Prospect & Refuge Landscape Architects, dated 2023-AUG-03, as shown on Attachment D.
4. Consolidation of 13, 17, and 21 Haliburton Street prior to building permit issuance.
5. The subject property is developed in accordance with the 'Schedule D – Amenity Requirements for Additional Density' prepared by Matthew T. Hansen Architect, received 2023-SEP-25, as shown in Attachment E, and to include the following items:
 - i. A letter from the coordinating professional submitted prior to building permit issuance outlining how the required items for additional density will be achieved; and
 - ii. A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE
16TH DAY OF OCTOBER, 2023.


Corporate Officer
Sheila Gurrie

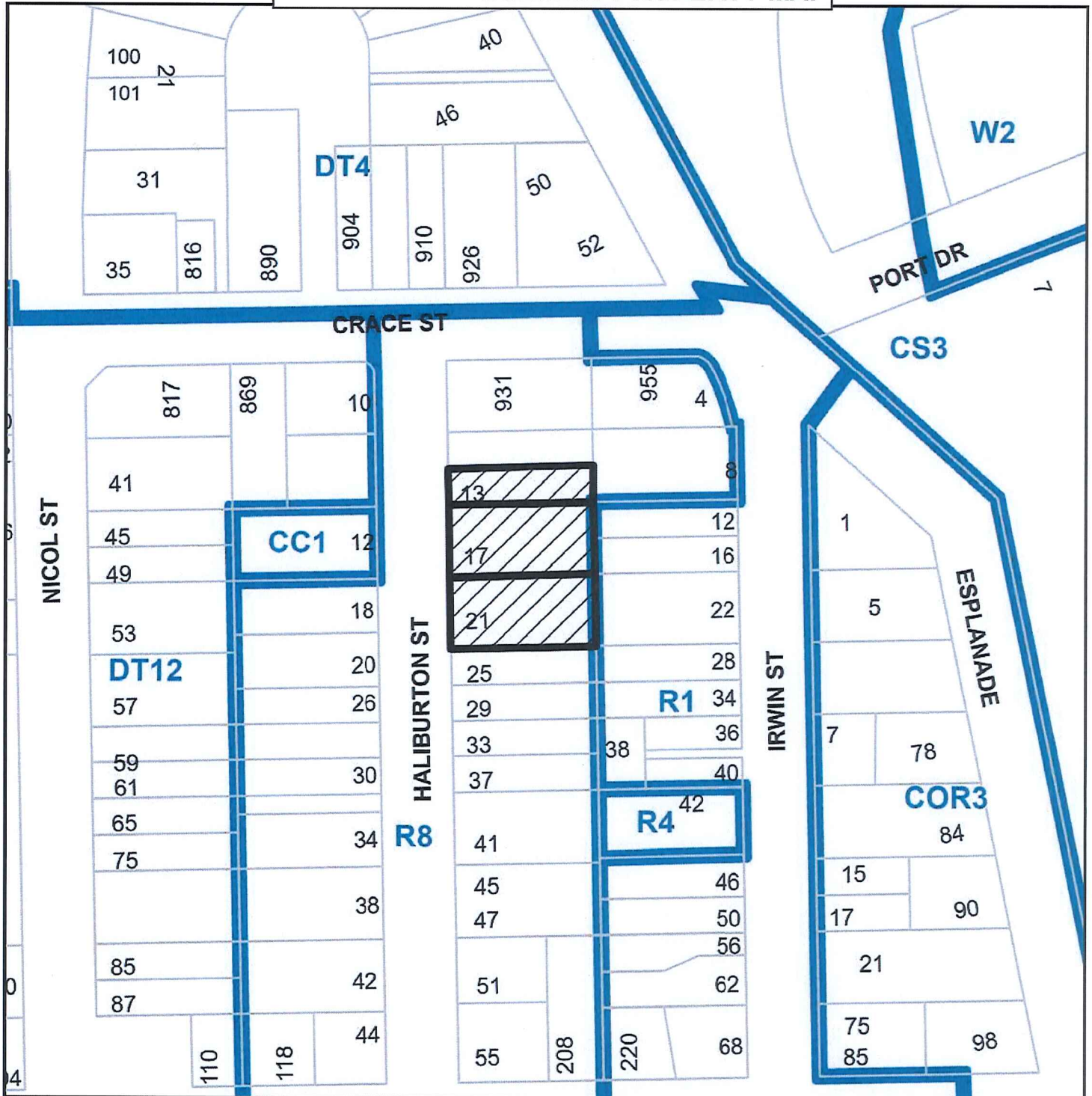

Date

KM/cr

Corporate Officer
City of Nanaimo

Prospero attachment: DP001291

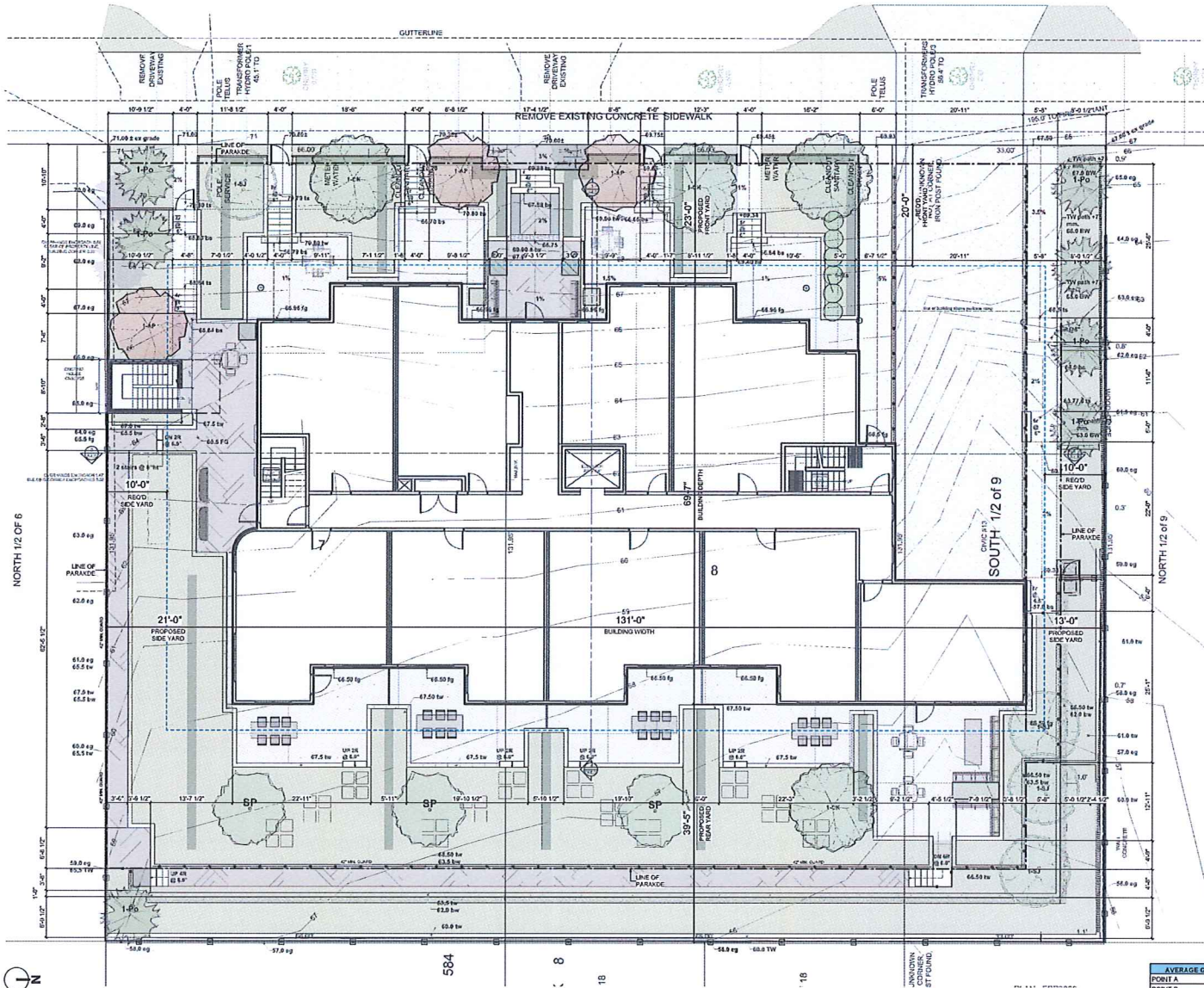
SUBJECT PROPERTY MAP



 13, 17, & 21 HALIBURTON STREET

Development Permit No. DP001291 Schedule B
13, 17 & 21 Haliburton Street
SITE AND PARKING PLANS

1 of 2



1 COMMON SITE PLAN
Scale: 1/8" = 1'-0"

NOTE:
1. DIMENSIONS WITHIN UNITS ARE TYPICAL UNLESS NOTED OTHERWISE

MATTHEW T. HANSEN
architect

1572 Kilmer Road
North Vancouver, B.C.
V7K 5K4
T: 604-683-3123
C: 604-671-2353

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PROJECT:
PARAMOUNT
13-17-21 HALIBURTON ST.
MULTI-FAMILY RESIDENTIAL
LEGAL DESCRIPTION:
THE SOUTHERLY 1/2 OF LOT 9, BLOCK 8, SECTION 1, NANAIMO DISTRICT PLAN 584

NO.	DATE	ISSUE NOTES
01	2023-12-05	ISSUED FOR DP
02	2023-05-04	DP COMP. LETTER REPLY
1.02	2023-08-29	MODIFY DRIVING AISLE WIDTH
1.02	2023-08-29	REVISION TO DP
1.01	2023-01-31	REVISION TO DP
NO.	DATE	REVISION NOTES

SHEET TITLE
SITE PLAN
RECEIVED
DP1291
2023-AUG-29

DRAWN BY: JC
CHECKED BY: MTH

JOB NO.: TBD
SHEET NO.: **A1.1**
SCALE: AS NOTED
DATE: Aug 29, 2023
C/O FILE: TBD

AVERAGE GRADE CALCULATION	
POINT A	68.5 FT
POINT B	68.13 FT
POINT C	68.4 FT
POINT D	68.4 FT
AVERAGE GRADE	68.5 FT

MATTHEW T. HANSEN architect

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PARAMOUNT 13-17-21 HALBURTON ST. MULTIFAMILY RESIDENTIAL

PROJECT

LEGAL DESCRIPTION: THE SOUTHERLY 1/2 OF LOT 6, BLOCK 8, SECTION 1, NANAIMO DISTRICT, PLAN 584

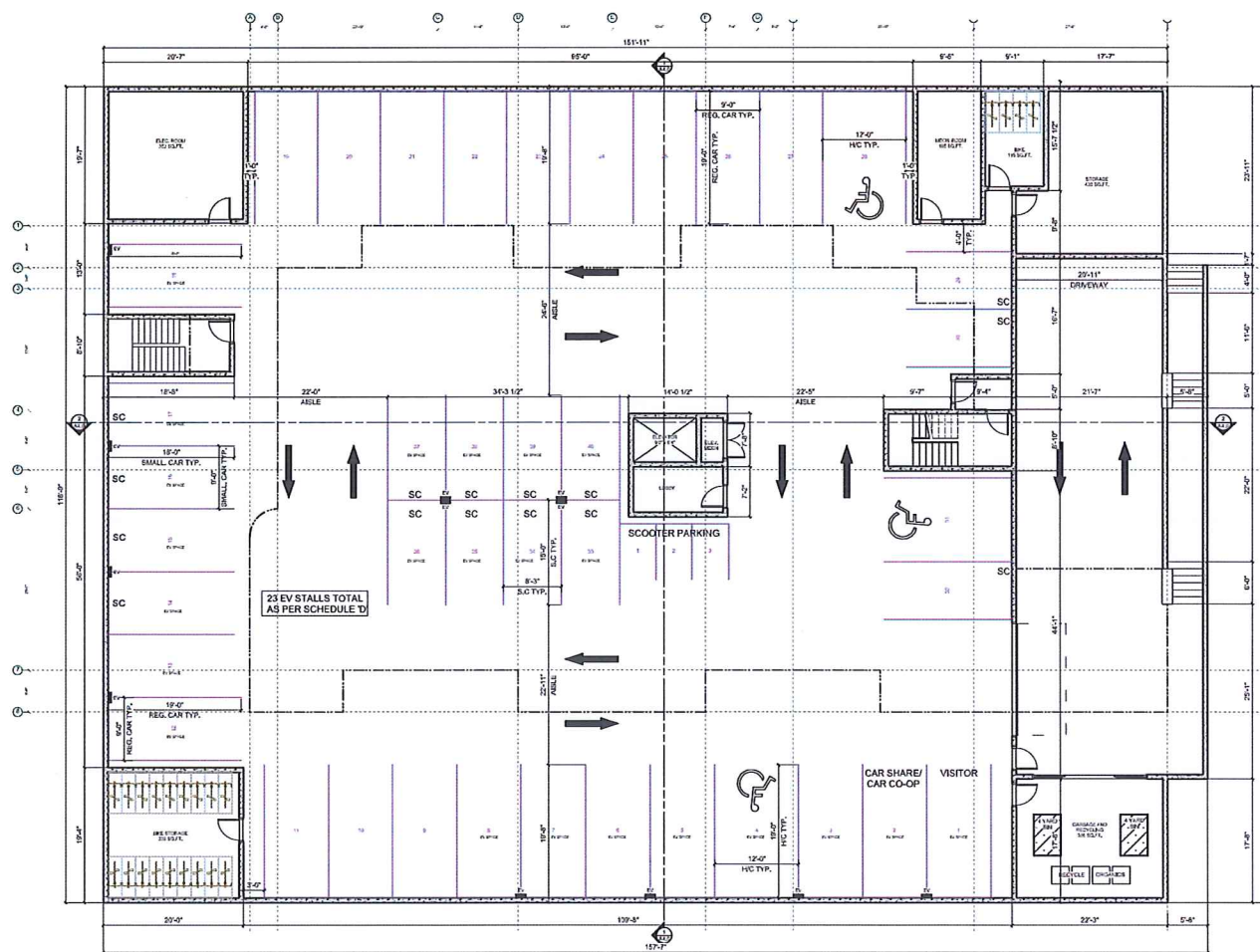
NO.	DATE	ISSUE NOTES
01	2022-12-05	ISSUED FOR DP
02	2023-05-04	DP COMP. LETTER REPLY
1/04	2023-08-25	MODIFY EV & CAR SHARE
1/05	2023-08-29	MODIFY DRIVING ABLE WIDTH
1/02	2023-03-23	REVISION TO DP
1/01	2023-01-31	REVISION TO DP
NO.	DATE	REVISION NOTES

SHEET TITLE:
PARKADE

DESIGNED JC	CHECKED MTH
JOB NO. TBD	SHEET NO. A2.0
SCALE: AS NOTED	DATE: Sep 25, 2023
CAD FILE: TBD	

RECEIVED
DP1251
2023-SEP-25
COURTESY PLANNING

1 PARKADE PLAN
Scale: 1/8" = 1'-0"



Development Permit No. DP001291 Schedule C
13, 17 & 21 Haliburton Street
BUILDING ELEVATIONS AND DETAILS

1 of 2

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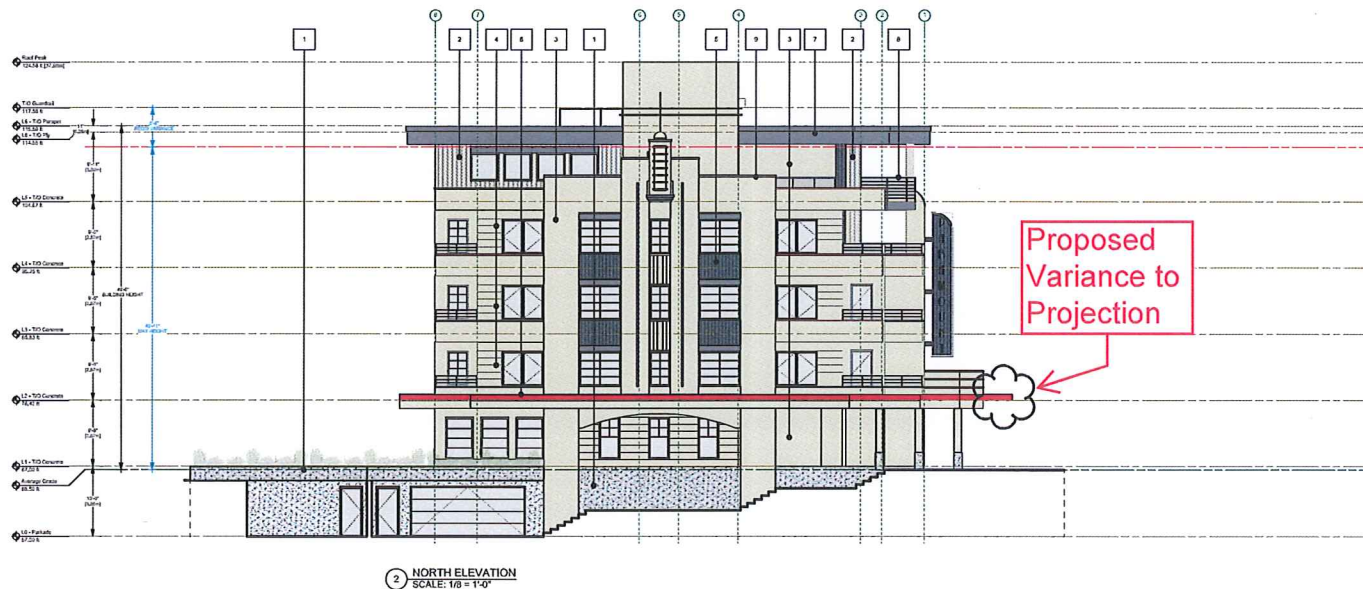
PROJECT:
PARAMOUNT
13-17-21 HALIBURTON ST.
MULTI-FAMILY RESIDENTIAL
LEGAL DESCRIPTION:
THE SOUTHERLY 1/2 OF LOT 6, BLOCK 8, SECTION 1, NANAIMO DISTRICT, PLAN 594

NO.	DATE	ISSUE NOTES
01	2022-12-05	ISSUED FOR DP
02	2023-06-04	DP COMP. LETTER REPLY
1.03	2023-08-29	MODIFY DRIVING AISLE WIDTH
1.04	2023-09-23	REVISION TO DP
1.01	2023-09-31	REVISION TO DP
NO.	DATE	REVISION NOTES

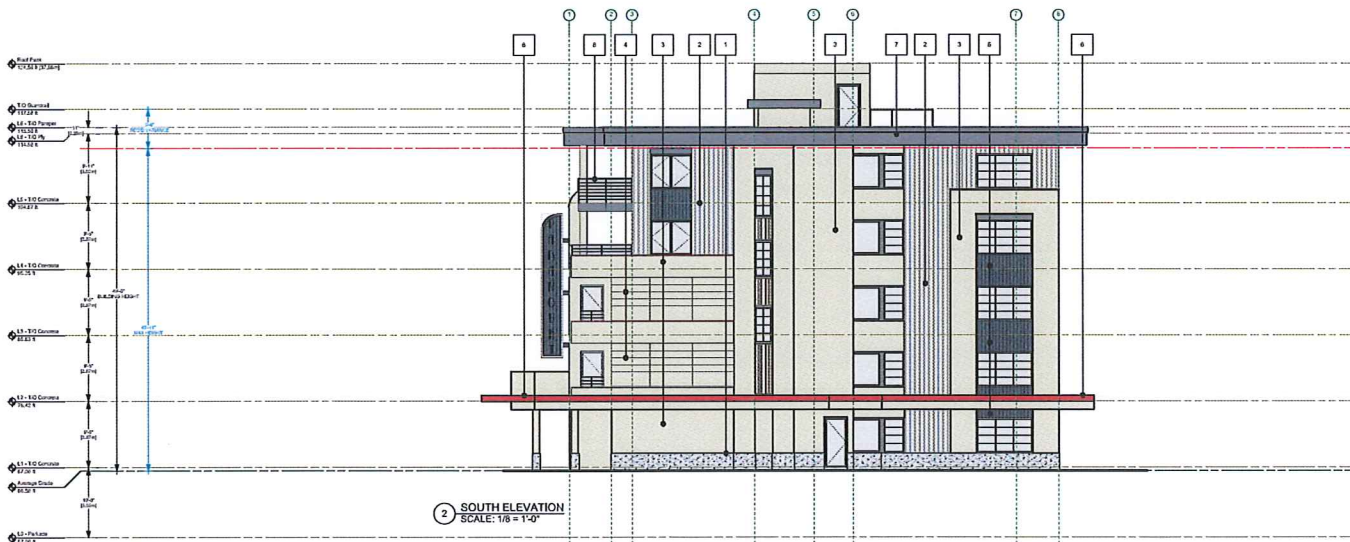
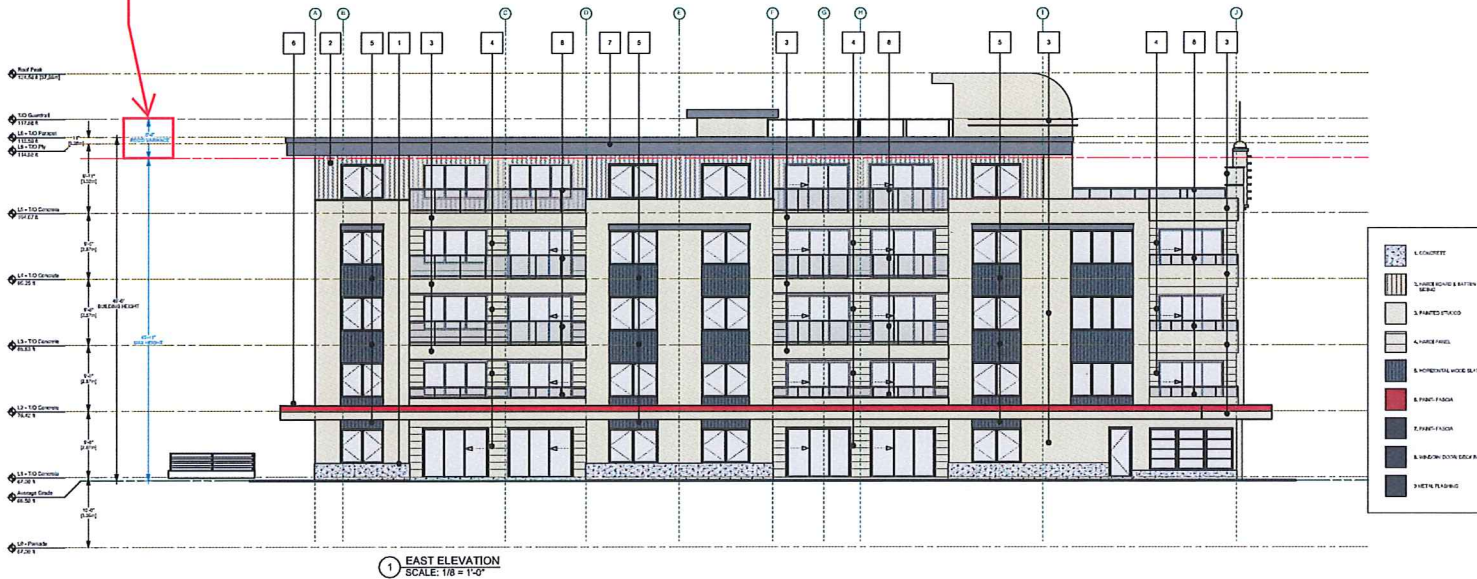
SHEET TITLE
ELEVATION

DESIGNER JC	CHECKED MTH
JOB NO. TBD	SHEET NO. A3.0
SCALE AS NOTED	DATE Aug 29, 2023
CAD FILE TBD	

RECEIVED
DP1291
2023-AUG-29



Proposed height
variance



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PROJECT:
PARAMOUNT
13-17-21 HALBURTON ST.
MULTI-FAMILY RESIDENTIAL
LEGAL DESCRIPTION:
THE SOUTHERLY 1/2 OF LOT 6, BLOCK 6, SECTION 1, NANAIMO DISTRICT, PLAN 564

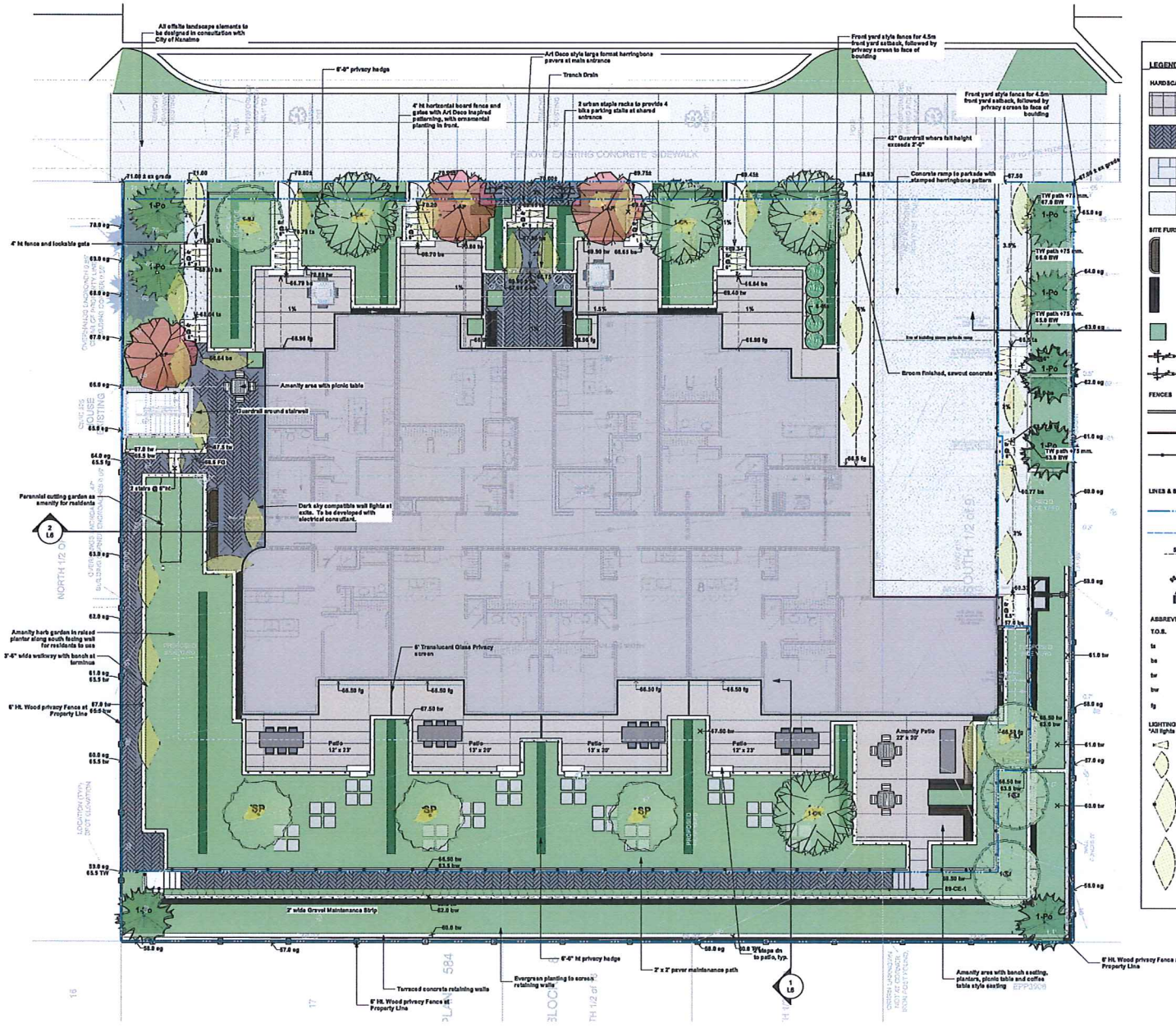
NO.	DATE	ISSUE NOTES
01	2022-12-05	ISSUED FOR DP
02	2023-06-04	DP CORR. LETTER REPLY
1.03	2023-08-29	MODIFY DRIVING AISLE WIDTH
1.02	2023-08-23	REVISION TO DP
1.01	2023-01-31	REVISION TO DP
NO.	DATE	REVISION NOTES

SHEET TITLE:
ELEVATION

DRAWN: JC	CHECKED: MTH
JOB NO.: TBO	SHEET NO.: A3.1
SCALE: AS NOTED	
DATE: Aug 29, 2023	
CAD FILE: TBO	

RECEIVED
DP1291
2023-AUG-29

LANDSCAPE PLAN AND DETAILS



DESIGN RATIONALE

The Prospect & Refuge development is designed to create a welcoming streetscape with a high level of detail and quality materials.

The landscape supports the architecture with details like the curved benches, the horizontal paving and the fence detailing along Haliburton.

Large private patios are created for ground level residents, with direct connections to the outdoors. All residents have access to a south facing amenity space adjacent to a summer pergola garden, as well as a western amenity area connected to the interior amenity.

The plant material is selected to be adaptive to the aspects of the site, as well as providing for seasonal change and year round interest.

GENERAL NOTES:

1. All Landscape material and execution shall conform to the Canadian Landscape Standard, and all applicable and noted codes, by-law and specifications.
2. Do not construct from these drawings unless marked "Ased For Construction".
3. The Contractor shall submit in writing to the Landscape Consultant, all questions, reports, inquiries and requests pertaining to these drawings or their execution.
4. Existing construction plans were prepared by others and actual conditions may vary from those shown. The Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plan and actual site to the Landscape Consultant prior to construction. The Contractor shall assume responsibility for actual site conditions (including subsurface).
5. The Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and assembly). Contractor shall report any discrepancies between the required and proposed work to the Landscape Architect prior to construction. The Contractor shall assume responsibility for actual site conditions (including subsurface).
6. Before submitting a bid proposal, the Contractor is to carefully examine the site of the proposed work. The submission of a bid will be considered proof that the bidder has examined the site and understands the conditions to be encountered in performing the work.
7. The Contractor shall verify all scaled and written dimensions in the contract drawings and on site prior to construction. Any discrepancies or incompatibilities shall be reported to the Landscape Consultant.
8. Provide positive grades away from buildings and toward lawn areas and parking areas. Slope away from building at a minimum of 2%.
9. All landscaping shall have a high efficiency irrigation system in place. Standards, unless otherwise specified, for irrigation systems shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
10. All substitutions shall be approved by the Landscape Consultant. The Contractor shall repair any damage resulting from work on site. The Landscape Contractor shall provide 1 year of maintenance (including watering) after the date of substantial completion.

LEGEND

HARDSCAPE MATERIALS:

- Newton Massachus Stone Ridge 12" x 15" x 3"
- Abolished Concrete Pavers Series 600 x 100 x 100
- Newton Massachus Pavers 12" x 12" x 3" in a horizontal pattern
- Perman in Place Concrete Medium Sandblast Finish Free Cut Joint - See Plan for Layout

SITE FURNITURE

- LANDSCAPE FORMS MELVILLE BENCH TITANIUM COLOR & THERMALLY MODIFIED ASH
- LANDSCAPE FORMS PALMADISE BENCH 12" x 84"
- POTING CUBO PLANTER 34" x 34"
- BIKE RACK (4 SPACES)

FENCES

- 6" Privacy Fence
- 6" Ornamental Front Yard Fence
- 6" Metal Guard Rail

LINES & SYMBOLS

- Property Line
- Line of Bush Below
- Drainage direction
- Spot Elevation
- 88-level area drain

ABBREVIATIONS

- T.O.S. Top of Slope
- to Top of Slope
- to Bottom of Slope
- to Top of Wall
- to Bottom of Wall
- to Finished Grade

LIGHTING LEGEND

- All lights to be 3000K
- Spot Light MP L81 30" beam
- True Light MP L81 30" spot
- Recessed MP L81 30" beam angle
- Wall Light MP L81 120" Road
- Dark sky cut off

DETAIL

2 L&S

3 L&S

1 L&S

2 L&S

1 L&S

1 L&S

3 L&S

2 L&S

4 L&S

Prospect & Refuge

LANDSCAPE ARCHITECTS

100-100-1000
100-100-1000
100-100-1000

Building for over 25 years of history in the landscape industry

Project Title and Address

Mid Rise Multi-Family Residence
13-21 Haliburton St. Toronto

Draw Title

Landscape Materials and Layout Plan

Project No. Date 1/2" = 1'-0"

Project Manager: ENI Draw No.

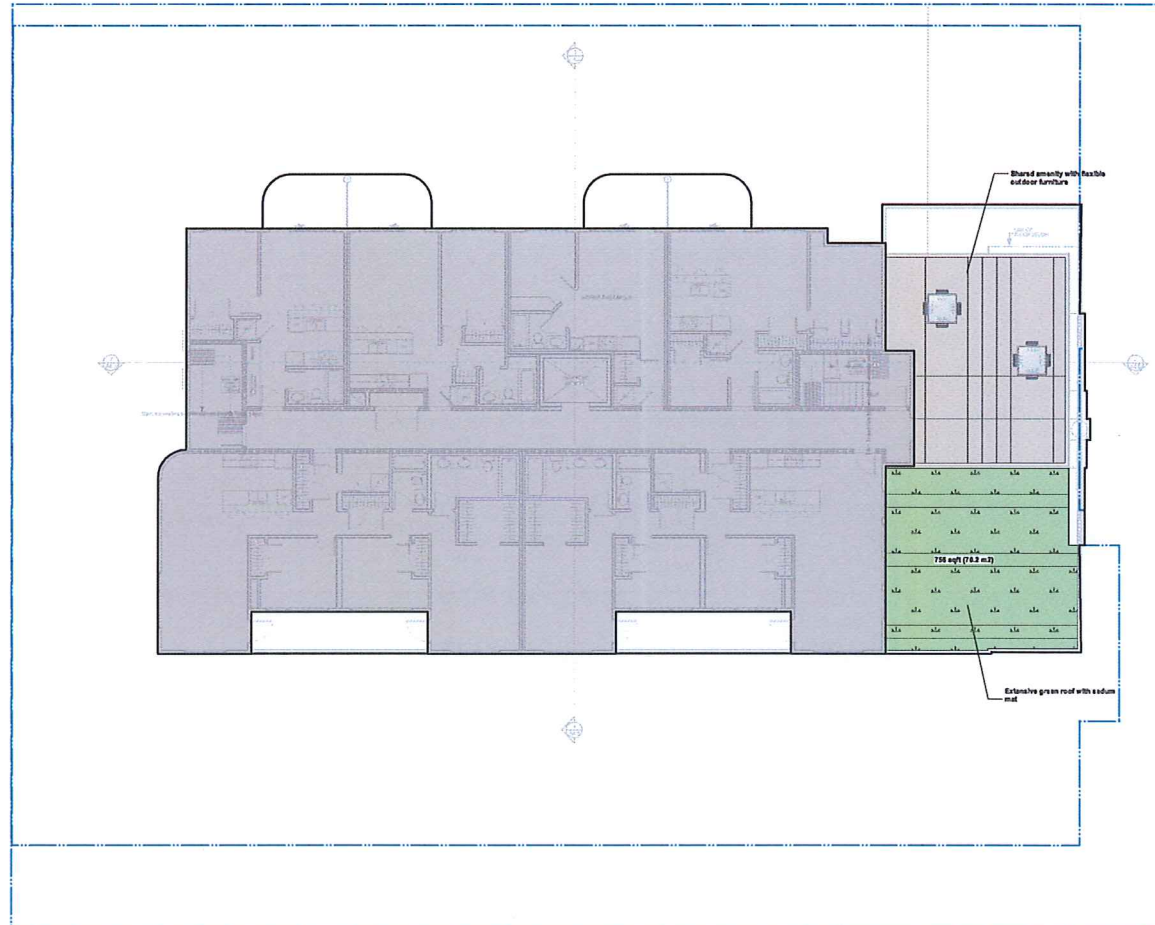
Reviewed By: AS

2022-08

2023-AUG-04

L1a

RECEIVED
DP1291
2023-AUG-04
SUNSHINE PROPERTIES



LEGEND-UPPER LEVELS

HARDSCAPE MATERIALS:

	Newstone Macadam Stone Blige
	Blige 1/2\"/>
	Extensive Grass Roof (Sodium Steel)

DETAIL

	2
	6

DESIGN RATIONALE

The Farmstead landscape is designed to create a welcoming streetscape with a high level of detailing and quality materials.

The landscape supports the architecture with details like the curved benches, the herringbone paving and the fence detailing along the building.

Large private patios are created for ground level residents, with direct connections to the outdoors. All residents have access to a south facing amenity space adjacent to a summer personal garden, as well as a western amenity area associated to the master amenity.

The plant material is selected to be adaptive to the aspects of the site, as well as providing for seasonal change and year round interest.

GENERAL NOTES:

1. All Landscape material and execution shall conform to the Canadian Landscape Standard, and all applicable and noted codes, by laws and specifications.
2. Do not construct from these drawings unless marked "Issued For Construction".
3. The Contractor shall submit in writing to the Landscape Consultant, all questions, reports, inquiries and requests pertaining to these drawings or their execution.
4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Contractor shall assume responsibility for actual site conditions (including surface).
5. The Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removal). Contractor shall report any discrepancies between the proposed and actual work to the Landscape Consultant prior to construction. The Contractor shall assume responsibility for the actual extent of work required to complete the proposed improvements.
6. Before submitting a bid proposal, the Contractor is to carefully examine the site of the proposed work. The submission of a bid will be considered proof that the bidder has examined the site and understands the conditions to be encountered in performing the work.
7. The Contractor shall verify all scaled and written dimensions in the contract drawings and on site prior to construction. Any discrepancies or incompatibilities shall be reported to the Landscape Consultant.
8. Provide positive grade away from buildings and toward lawn areas and street basins. Slope every building at a minimum of 2%.
9. All landscaping shall have a high efficiency irrigation system to SAG standards. Unless otherwise specified, the irrigation system shall be design-built by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
10. All substitutions shall be approved by the Landscape Consultant.
11. The Contractor shall repair any damage resulting from work on site. The Landscape Consultant shall provide 1 year of maintenance (including watering) after the date of substantial completion.

2023-08-03	Re-issue for DP
2023-07-19	To Architect for Coordination
2023-06-30	Issue with municipal Prior to Comments
2023-04-20	Issue with additional roof levels
2023-02-08	Issue with Municipal comments addressed
2022-12-05	Issue for DP

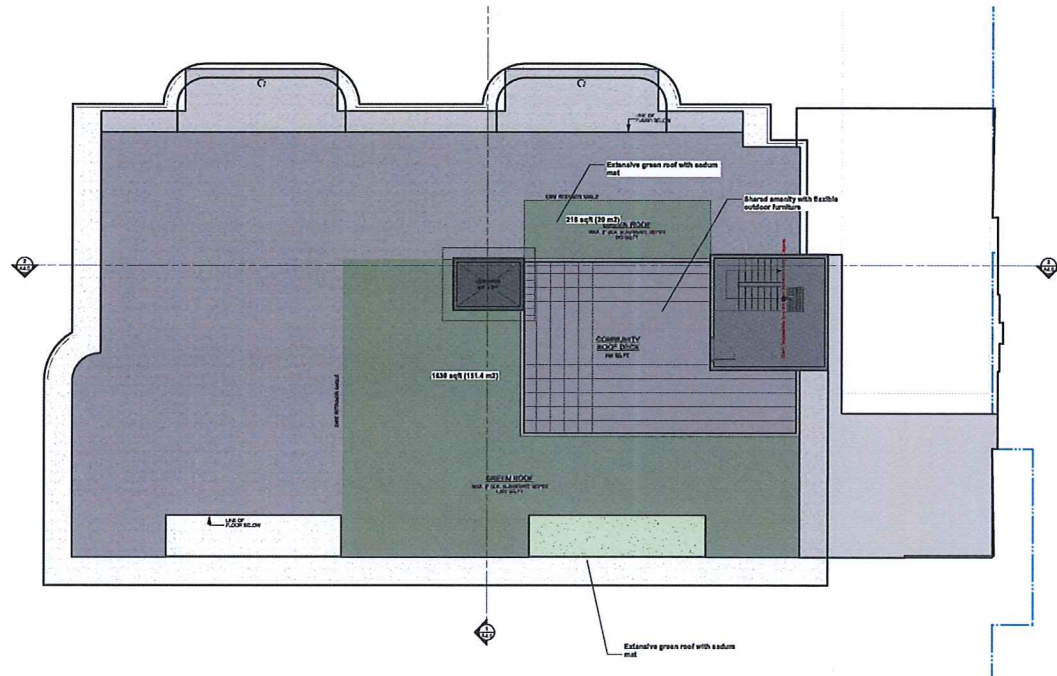
Date	Issue Notes
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Prospect & Refuge
LANDSCAPE ARCHITECTS
1100 West 10th Avenue, Suite 100
V6H 4A6
Vancouver, BC, Canada

Project Title and Address	
Mid Rise Multi-Family Residence 13-21 Halliburton St. Nanaimo	
Sheet Title	
Landscape Materials and Layout Plan Level 5	
Project No.	2022-08
Project Manager	EN
Reviewed By	AS
Scale	1/8" = 1'-0"
Sheet No.	L1b

RECEIVED
DP 1251
2023-AUG-04
CARTER PLANNING



LEGEND-UPPER LEVELS

HARDSCAPE MATERIALS:



DETAIL



DESIGN RATIONALE

The Paramount landscape is designed to create a welcoming streetscape with a high level of detailing and quality materials.

The landscape supports the architecture with details like the curved benches, the herringbone paving and the flexible seating along the building.

Large private patios are created for ground level residents, with direct connections to the outdoors. All residents have access to a south facing amenity space adjacent to a summer personal garden, as well as a western amenity area adjacent to the interior amenity.

The plant material is selected to be adaptive to the aspects of the site, as well as providing for seasonal change and year round interest.

GENERAL NOTES:

1. All Landscape material and execution shall conform to the Canadian Landscape Standard, and all applicable and noted codes, bylaws and specifications.
2. Do not construct from these drawings unless marked "Issued For Construction".
3. The Contractor shall submit in writing to the Landscape Consultant, all questions, reports, inquiries and requests pertaining to these drawings or their execution.
4. Existing condition plans were prepared by others and actual conditions may vary from those shown. The Contractor shall conduct a site visit to review existing conditions and report all discrepancies between the plans and actual site to the Landscape Consultant prior to construction. The Contractor shall assume responsibility for actual site conditions (including surface flow).
5. The Contractor shall conduct a site visit and review to determine the extent of work required (including but not limited to demolition, preparation and removal). Contractor shall report any discrepancies between the proposed and actual work to the Landscape Consultant prior to construction. The contractor shall assume responsibility for the actual extent of work required to complete the proposed improvements.
6. Before submitting a bid proposal, the Contractor is to carefully examine the site of the proposed work. The submission of a bid will be considered proof that the bidder has examined the site and understands the conditions to be encountered in performing the work.
7. The Contractor shall verify all scaled and written dimensions in the contract drawings and on site prior to construction. Any discrepancies or incompatibilities shall be reported to the Landscape Consultant.
8. Provide positive grades away from buildings and toward lawn areas and street basins. Slope away from building at a minimum of 2%.
9. All landscaping shall have a high efficiency irrigation system to SAG standards. Unless otherwise specified, the irrigation system shall be designed by the Irrigation Contractor. The Irrigation Contractor shall provide shop drawings for Landscape Consultant approval.
10. All substitutions shall be approved by the Landscape Consultant. The Contractor shall report any damage resulting from work on site. The Landscape Consultant shall provide 1 year of maintenance (including watering) after the date of substantial completion.

2023-08-03	Re-issue for DP
2023-07-19	To Architect for Coordination
2023-06-30	Issue with Municipal Prior to Comments
2023-04-20	Issue with additional roof levels
2023-02-08	Issue with Municipal comments addressed
2022-12-05	Issue for DP
Date	Issue Notes

Prospect & Refuge

LANDSCAPE ARCHITECTS

1100 W. 4th Ave. Suite 1000 - Vancouver, BC V6C 1A9

Phone: 604.681.1000 Fax: 604.681.1001 Email: info@prospectandrefuge.com

Project Title and Address Mid Rise Multi-Family Residence 13-21 Hurlburton St. Nanaimo	
Project Title Landscape Materials and Layout Plan Level 6	
Project No.	Date
2022-08	18" x 1'-0"
Project Number	Sheet No.
EN	L1c
Reviewed By	AS

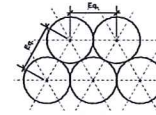
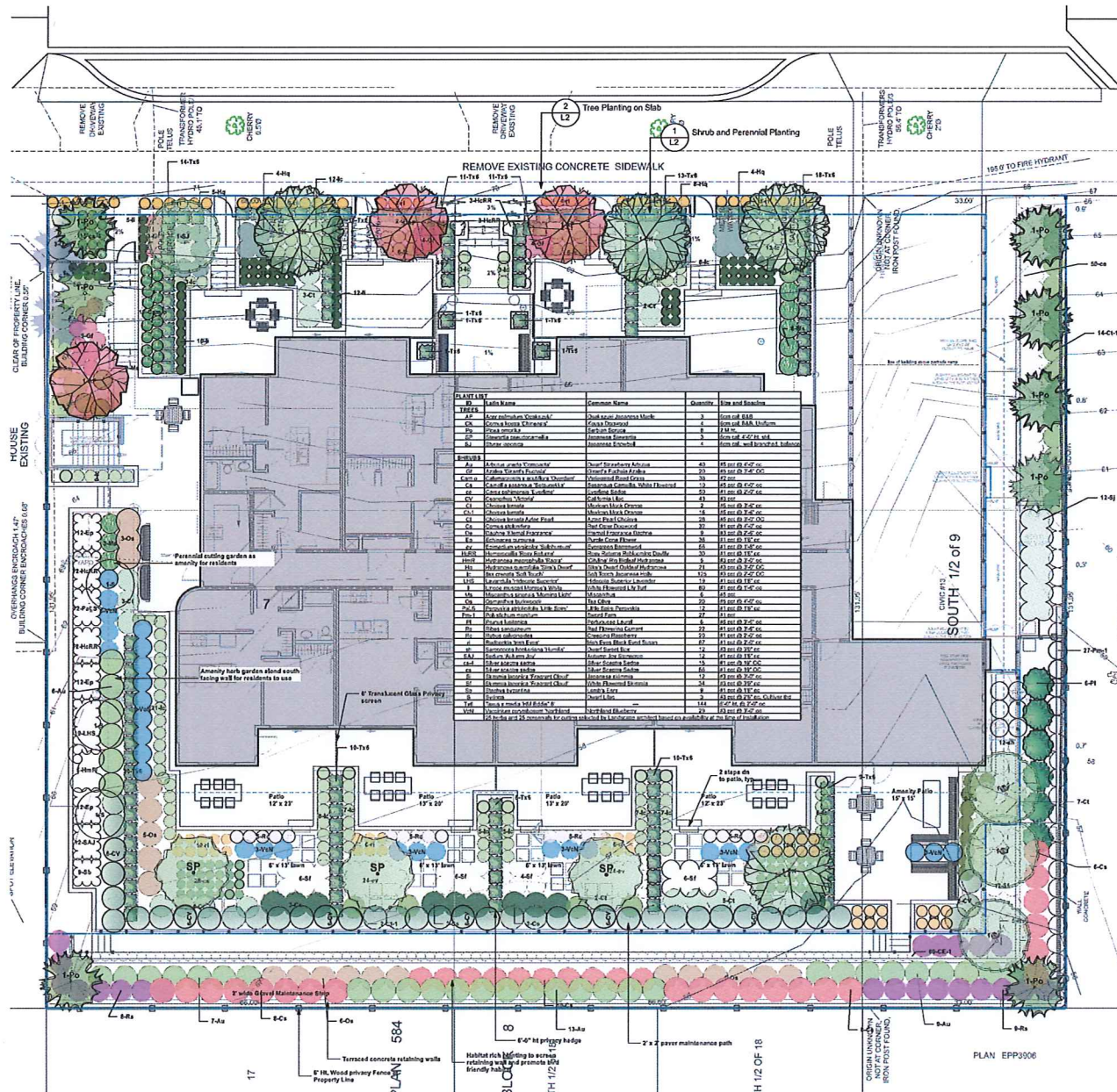


Contemporary Outdoor Patio Furniture

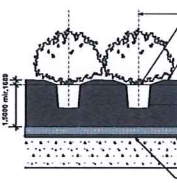


Extensive green roof

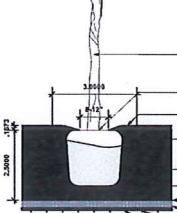
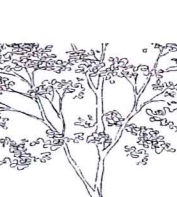
RECEIVED
DP1291
2023-AUG-04
Nanaimo Planning



Plan view of typical planting layout. Under all other notes, plants are to be spaced equally, in irregular layout pattern, to specified quantity and distance. Refer to planting plan and schedule.



1 Shrub and Perennial Planting
Scale: 1/2" = 1'-0"



2 Tree Planting on Slab
Scale: 1/2" = 1'-0"

NOTES:
1. Min. container size and root spread to comply with I.C. Landscape Standard for Nursery Stock - current edition.
2. Prune all damaged, diseased, and dead limbs.
3. Keep roots moist during installation - water container until well prior to planting and following planting.
4. Soil for all on slab applications to be a lightweight, free draining planting blend to meet Canadian Landscape Standard soil type 1c. Fines within soil should be less than 10%, as defined in a soil analysis provided to the landscape architect for review and comment prior to delivery on site. Soil report shall be no older than one month.

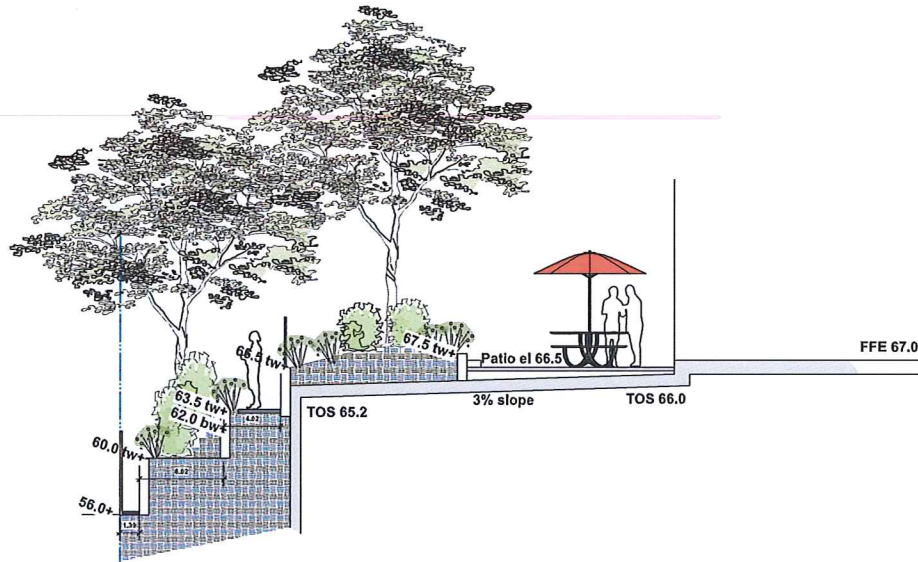
Ensure plants stand plumb
Top of rootballs to be level with top of soil
Well composted bark mulch placed between plants. Do not bury rootballs with mulch.
Secure type of rootballs are 4000MM VIB 8000VE
Securely rootballs gently by hand prior to planting
Min. 3" deep 3/4" clear round drain rock over drainage mat
Mixes WDS 18 Drain Mat
Waterproof membrane and capsheet / root barrier over architectural slab

NOTES:
1. Do not bury tree leader. Any corrective pruning shall be reviewed with landscape architect.
2. Container trees shall be approved by Landscape Architect at the nursery or via photographs with scale reference. Trees rejected on site will be replaced at the contractor's expense.
3. Keep rootballs well watered on site, before and after planting. Ensure a watering plan is in place to sustain new tree plantings for a minimum of 18 days.
4. Soil for all on slab applications to be a lightweight, free draining planting blend to meet Canadian Landscape Standard soil type 1c. Fines within soil should be less than 10%, as defined in a soil analysis provided to the landscape architect for review and comment prior to delivery on site. Soil report shall be no older than one month.

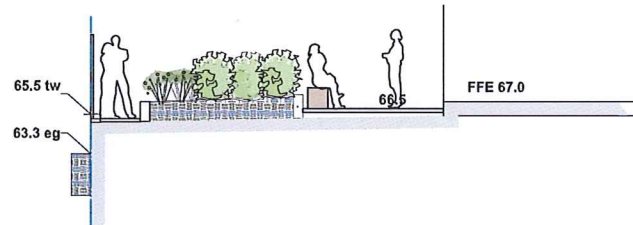
Ensure tree is plumb. Visually inspect from all sides during planting
Do not bury root flare. Ensure top of root flare is flush with surrounding grades.
Provide mulched tree well of min. 3'-0" Ø
Remove any string or ties from rootball and base of tree. Cut back top 10% of leader from rootball. If wire basket remains, cut back wire basket.
Free draining, lightweight growing medium
Compacted soil beneath rootball
Mixes 4548 Fiber fabric
Min. 3" deep 3/4" clear round drain rock over drainage mat
Mixes WDS 18 Drain Mat
Waterproof membrane and capsheet / root barrier over architectural slab

Date	Issue	Notes
2023-08-03	Re-issue for DP	
2023-07-19	To Architect for Coordination	
2023-06-30	Issue with Municipal Prior to Comments	
2023-04-20	Issue with additional root balls	
2023-02-08	Issue with Municipal comments addressed	
2022-12-05	Issue for DP	

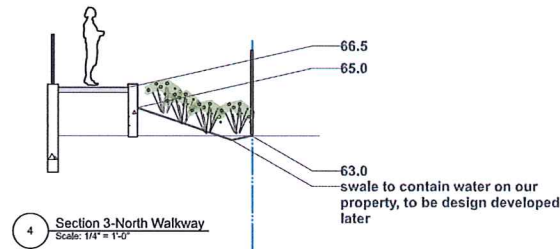
Prospect & Refuge LANDSCAPE ARCHITECTS 1010 West 10th Avenue, Suite 100 Vancouver, BC V6H 1A5 Tel: 604-681-1000 Email: info@prospectandrefuge.ca	
Project Title and Address	Mid Rise Multi-Family Residence 13-21 Mulbarton St. Vancouver
Project Number	AS
Project Date	2022-08
Project Scale	1/2" = 1'-0"
Project Status	L2



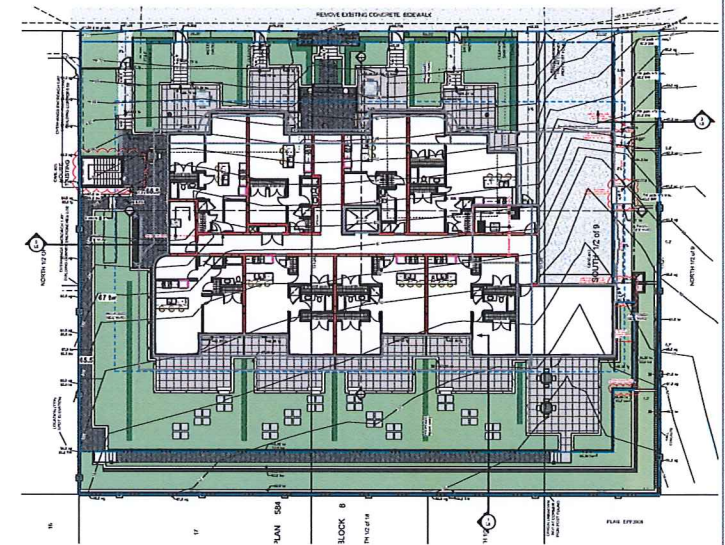
1 Section 1
Scale: 1/4" = 1'-0"



3 Section 2
Scale: 1/4" = 1'-0"



4 Section 3-North Walkway
Scale: 1/4" = 1'-0"



2 Reference Plan
Scale: 1/16" = 1'-0"

Date	Issue Notes
2023-08-03	Re-Issue for DP
2023-07-19	To Architect for Coordination
2023-06-20	Issue with municipal Prior to Comments
2023-04-20	Issue with additional roof levels
2023-02-09	Issue with Municipal comments addressed
2022-12-05	Issue for DP

Date	Issue Notes

Prospect & Refuge

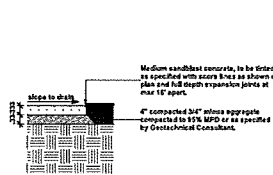
LANDSCAPE ARCHITECTS

1000 West 4th Ave. Suite 200
604-694-1000 info@prospectandrefuge.ca

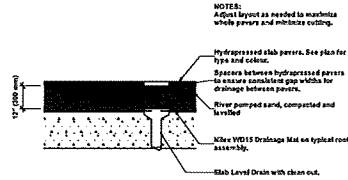
(Building for over 25 years in history in the heart of downtown Vancouver)

Project Title and Address	
Mid Rise Multi-Family Residence 13-21 Pabbington St. Vancouver	
Section Plan	
Project No.	2022-08
Scale	1/4" = 1'-0"
Project Manager	EN
Reviewer	AS
L4	

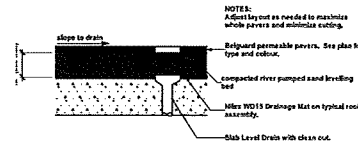
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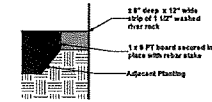
1 Poured in Place Concrete-Pedestrian
Scale: 1/2" = 1'-0"



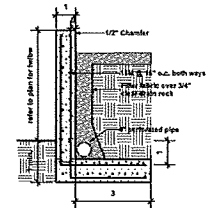
2 Hydrapressed Concrete Slabs-Over Parkade Slab
Scale: 1/2" = 1'-0"



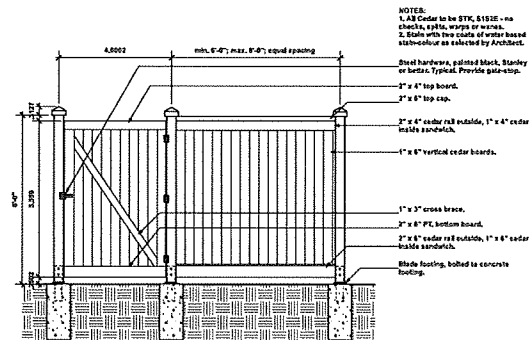
3 Pavers over Parkade Slab
Scale: 1/2" = 1'-0"



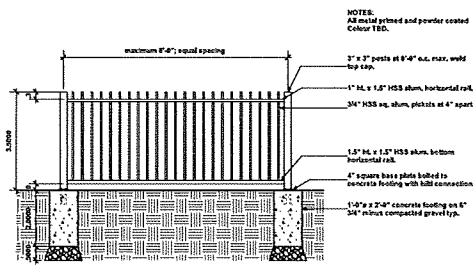
4 Gravel Drip Strip at Building Edge
Scale: 1/2" = 1'-0"



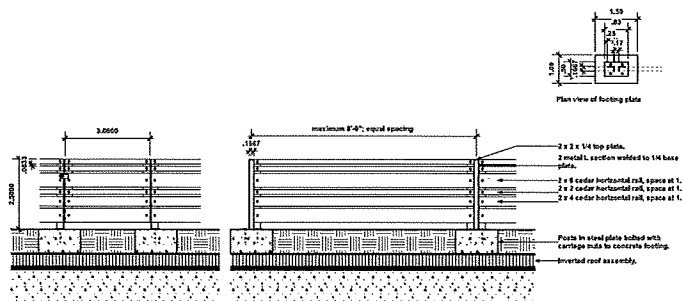
5 Concrete Retaining Wall
Scale: 1/2" = 1'-0"



6 6'-0" Wood Privacy Fence
Scale: 1/2" = 1'-0"



7 Metal Picket Guard Rail
Scale: 1/2" = 1'-0"



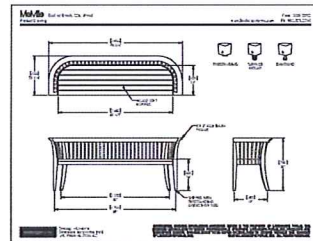
8 4'-0" Front Yard Fence
Scale: 1/2" = 1'-0"

2023-08-03	Re-issue for DP
2023-07-19	To Architect for Coordination
2023-06-20	Issue with Municipal Prior to Comments
2023-04-20	Issue with additional roof levels
2023-03-08	Issue with Municipal comments addressed
2022-12-05	Issue for DP
Date	Issue Notes
<p>Prospect & Refuge LANDSCAPE ARCHITECTS 1111 West 10th Avenue, Suite 100 Vancouver, BC V6H 1T6 604-681-1000 prospectandrefuge.ca</p> <p>Project 118 and 119 Mid Rise Multi-Family Residence 13-21 Holliston St. Nanaimo</p> <p>Sheet 118 Landscape Details</p>	
Project No.	2022-08
Project Name	EN
Project No.	AS
Issue No.	83 noted
Project No.	L5a

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1 Landscape Forms Melville Bench
Scale: NTS



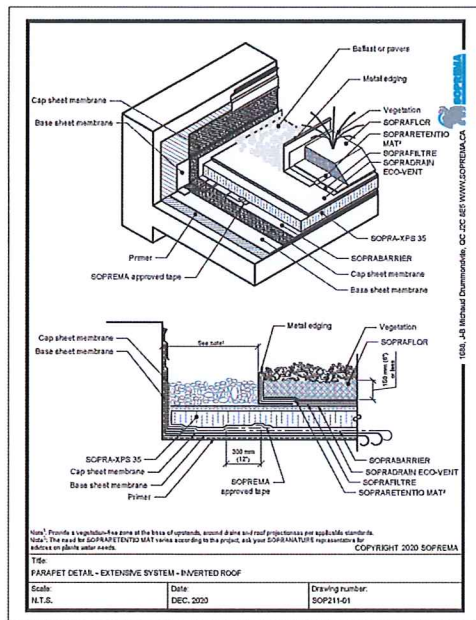
2 Pot Inc. 34" sq. Planter.
Scale: NTS



3 Landscape Forms 72" Palisade Bench
Scale: NTS



4 **Bike Rack**
Scale: NTS



6 Green Roof
Scale: NTS

2023-08-03	Re-Issue for DP
2023-07-19	To Architect for Coordination
2023-06-30	Issue with municipal Prior to Comments
2023-04-20	Issue with additional roof levels
2023-02-08	Issue with Municipal comments addressed
2022-12-05	Issue for DP
Date	Issue Notes
End	
<h2 style="text-align: center;">Prospect & Refuge</h2> <p style="text-align: center;">LANDSCAPE ARCHITECTS</p> <p style="text-align: center;">#101-941-8114 or #604-263-1111 604-686-1055 info@prospectandrefuge.ca</p> <p style="text-align: center;"><i>(Building on plan 25) project history at prospectandrefuge.ca</i></p>	
<p>Project Title and Address</p> <p>Mid Rise Multi-Family Residence 13-21 Hazelburton St, Nanaimo</p>	
Sheet Size	
Landscape Cut Sheets	
Project No.	Issue
2022-08	r/a
Project Name	Sheet No.
EN	L5b
Previous To	
AS	

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SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY

Schedule D – Tier 1 P A R A M O U N T 13-17-21 Haliburton Street

Amenity Requirements for additional Density

The purpose of this report is to illustrate how the proposed development will reach the category of Tier 1 density bonusing. The categories identified to achieve the minimum point requirement are Categories 3, 4 & 6.

Category Three: Parking and Sustainable Transportation (10 Point required)

B: At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op.

Score: 1 point

Proof: One parking stall in the underground parkade has been designated for the exclusive use of a vehicle belonging to a car share or car co-op.

D: A minimum of 50% of the parking provided for the proposed development includes access to an electric vehicle charging station.

Score: 2 points

Proof: 50% (22 stalls) identified on the Parking plan to have access to a charging station.

E: A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.

Score: 4 points

F: The proposed development includes covered and designated parking spaces for a motorized or electric scooter, or a designated motorcycle space to accommodate the following number of spaces:

- a) Multiple family residential developments; 1 motorized or electric scooter or motorcycle space per 15 dwelling units.

Score: 2 points

Proof: Total number of dwelling units 44. Stalls provided underground: 3

I: The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area:

Score: 1 point

Proof: Located in the Underground Parkade signage should include (but not limited to) location of EV charging Stations, scooter stalls, long term bike storage facilities, information associated with the designated car-share stall and location of nearest bus stop on Haliburton Street.

Total points achieved for Category Three: 10 points

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PARAMOUNT 13-17-21 Haliburton Street

Category Four: Building Materials (8 Points required)

A: Wood is the primary building material

Score: 1 point

B: n/a

C: At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC)

Score: 3 points

D: n/a

E: The project developer has submitted a construction waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled

Score: 2 points

Proof: Multiple trash bins will be leased for construction waste disposal and waste will be sorted and disposed to each bin that is dedicated to certain types of waste.

F: At least 75% of the materials used in construction are renewable resources.

Score: 2 points

Proof: Renewable material in construction consist of timber, concrete, rubber, plastic, glass etc. The proposed development will be built with wood frame – a renewable resource.

G: n/a

H: n/a

Total points achieved for Category Four: 8 points

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PARAMOUNT 13-17-21 Haliburton Street

Category Six: Water Management (8 Points required)

A: At least 50% of the property is covered with a permeable surface area which may include a green roof.

Score: 2 point

Proof: To be achieved with a combination of green roof and robust landscape plan.

B: The proposed building on the property includes plumbing features which will use 35% less water than the BC Building Code standard.

Score: 2 points

Proof: The development will utilize the plumbing fixtures such as controlled-flow faucets, shower heads and dual flush toilets that use 35% less water than traditional fixtures.

C: A green roof is installed to a minimum 30% of the roof area.

Score: 3 points

D: n/a

E: n/a

F: A water efficient irrigation system (such as drip) is installed.

Score: 1 points

Proof: The proposed development will implement a drip irrigation system.

G: n/a

H: n/a

Total points achieved for Category Six: 8 points

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