



**DEVELOPMENT PERMIT NO. DP001281**

**SUN PORCH HOMES LTD.**  
Name of Owner(s) of Land (Permittee)

**404 & 406 MILLSTONE AVENUE**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 15, SUBURBAN LOT 32, NANAIMO DISTRICT, PLAN 1505**  
**LOT 16 & 17, SUBURBAN LOT 32, NANAIMO DISTRICT, PLAN 1505**  
**PID Nos. 007-346-042 & 007-346-107**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map**  
**Schedule B Site and Parking Plans**  
**Schedule C Building Elevations and Details**  
**Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

### TERMS OF PERMIT

The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 6.10.7 Fence Height* – to increase the maximum permitted number of trellis structures (up to 2.4m in height) in a front yard setback from 1 to 2, as shown on Schedules C and D.
2. *Section 7.5.1 Siting of Buildings* – to reduce the minimum required front yard setback (abutting Millstone Avenue) from 6.0m to 5.6m on each lot, as shown on Schedule B.
3. *Section 7.5.1 Siting of Buildings* – to reduce the minimum required rear yard setback (abutting the lane) from 10.5m to 9.53m on each lot, as shown on Schedule B.
4. *Section 7.5.1 Siting of Buildings* – to reduce the minimum required side yard setbacks from 3.0m to 1.5m on each lot, as shown on Schedule B.

The City of Nanaimo “Off-Street Parking Regulations Bylaw 2018 No. 7266” is varied as follows:


1. *Section 4.2 Parking Stall Dimensions* – to reduce the minimum required distance between a parking space and an obstruction from 0.3m to 0.27m as shown on Schedule B.
2. *Section 4.3 Small Car Spaces* – to increase the maximum percentage of small car parking spaces from 40% to 80% for each Lots 1 & 3.
3. *Section 7.1 Multiple-Family Dwelling Parking Table* – to reduce the minimum required number of parking spaces from 6 spaces to 5 spaces for each Lots 1 & 3.

### PERMIT CONDITIONS

1. The subject property shall be developed generally in accordance with the Site and Parking Plan, prepared by Joyce Reid Troost Architecture, dated 2023-DEC-08, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Joyce Reid Troost Architecture, dated 2023-DEC-12, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by 4 Site Landscape Architecture and Site Planning, dated 2024-JAN-05, as shown on Schedule D.
4. Registration of a 3.35m wide Statutory Right-of-Way (SRW) to accommodate future widening of Millstone Avenue, prior to building permit issuance, as shown on Schedule B.

5. Registration of a 0.5m wide Statutory Right-of-Way (SRW) to accommodate future widening of the lane, prior to building permit issuance, as shown on Schedule B.
6. Registration of an easement over all lots which provides equitable access for all residents to the standard car parking spaces within Lot 2 prior to building occupancy.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE  
5TH DAY OF FEBRUARY , 2024.

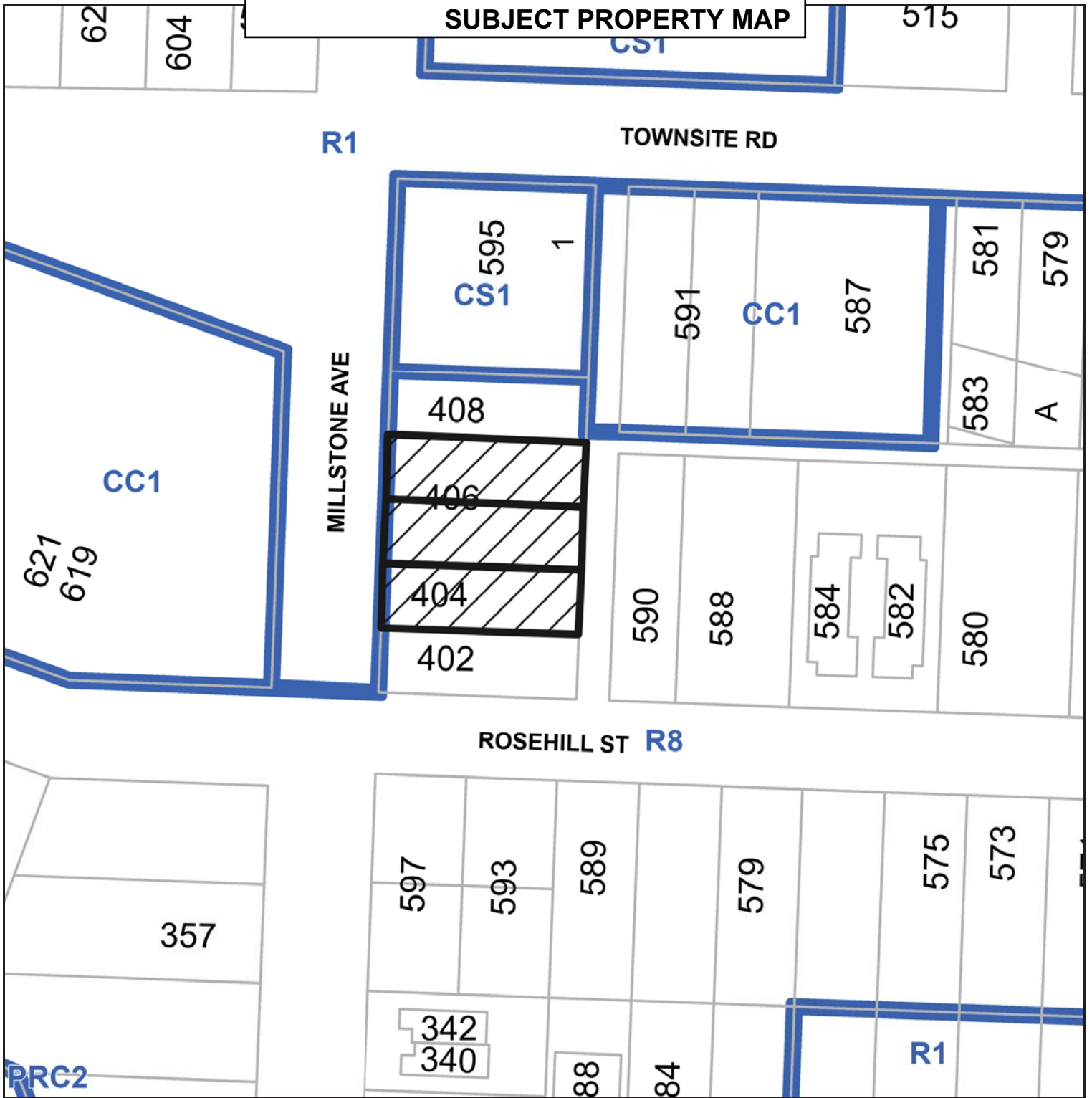
  
Corporate Officer  
Sheila Gurrie  
Corporate Officer  
City of Nanaimo

  
Date

KM/bb

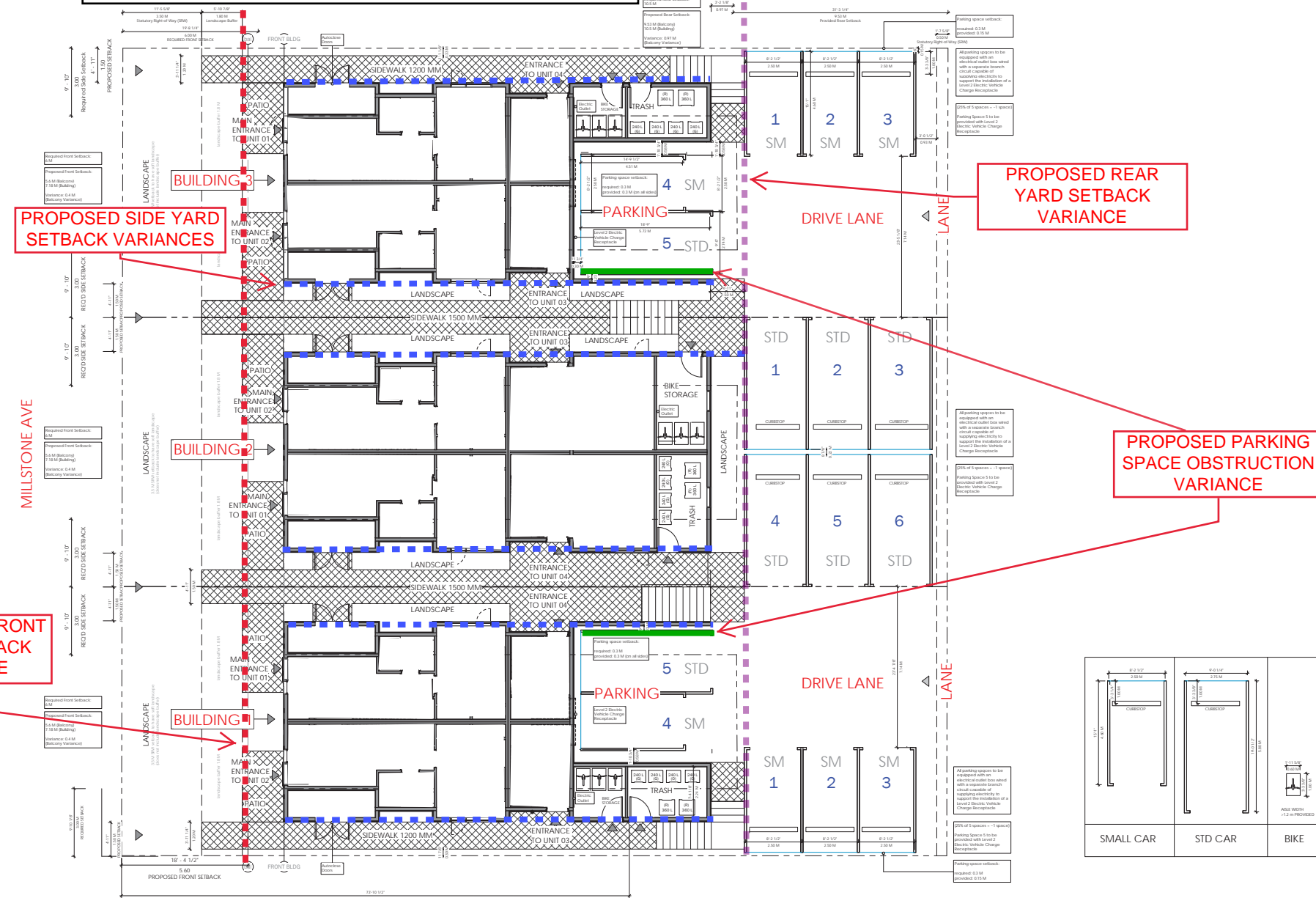
Prospero attachment: DP001281

**SUBJECT PROPERTY MAP**



404 AND 406 MILLSTONE AVENUE

Development Permit No. DP001281 Schedule B  
 404 & 406 Millstone Avenue  
**SITE AND PARKING PLANS**

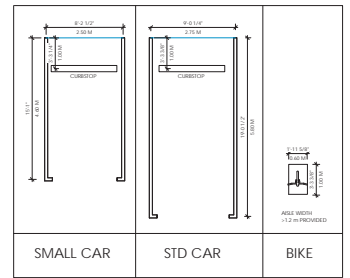


**PROPOSED SIDE YARD SETBACK VARIANCES**

**PROPOSED REAR YARD SETBACK VARIANCE**

**PROPOSED FRONT YARD SETBACK VARIANCE**

**PROPOSED PARKING SPACE OBSTRUCTION VARIANCE**



**JOYCE REID TROOST ARCHITECTURE**  
 2515 GLENAYR DRIVE  
 NANAIMO, BC V9S 3R9  
 joyce@rtarchitecture.com  
 250.714.8749  
 rtarchitecture.com

THE DRAWINGS, DESIGN, DESIGN AND  
 FEASIBILITY OF CONSTRUCTION, SPECIFIED  
 HEREON ARE THE SOLE PROPERTY OF  
 JOYCE REID TROOST ARCHITECTURE. ALL  
 COMMERCIAL COPY AND PROPERTY RIGHTS  
 ARE RESERVED. REPRODUCTION, EITHER  
 WHOLE OR IN PART, WITHOUT THE WRITTEN  
 CONSENT OF JOYCE REID TROOST ARCHITECTURE  
 IS PROHIBITED. THIS PLAN IS THE PROPERTY  
 OF JOYCE REID TROOST ARCHITECTURE.  
 JOYCE REID TROOST ARCHITECTURE IS NOT  
 RESPONSIBLE FOR ANY ERRORS OR OMISSIONS  
 IN THESE PLANS BY A THIRD PARTY, THE  
 THIRD PARTY SHALL BE SOLELY RESPONSIBLE.  
 REID TROOST ARCHITECTURE IS RESPONSIBLE.



**MILLSTONE**  
 404 (406) MILLSTONE AVE  
 NANAIMO, BC

CLIENT  
 Sun Porch Homes Ltd.

REV. DATE	NUMBER	DESCRIPTION
22-07-21	1	ISSUE FOR DP
27-09-22	2	Rev 01
29-04-23	3	CL Update
25-05-23	4	CL Response Update
08-12-23	5	CL Response Update 3

DATE: MAY 12, 2022  
 SCALE: 1:75  
**RECEIVED**  
 DP 1281  
 2023-DEC-15  
 Current Planning  
 DRAWN BY: JRT

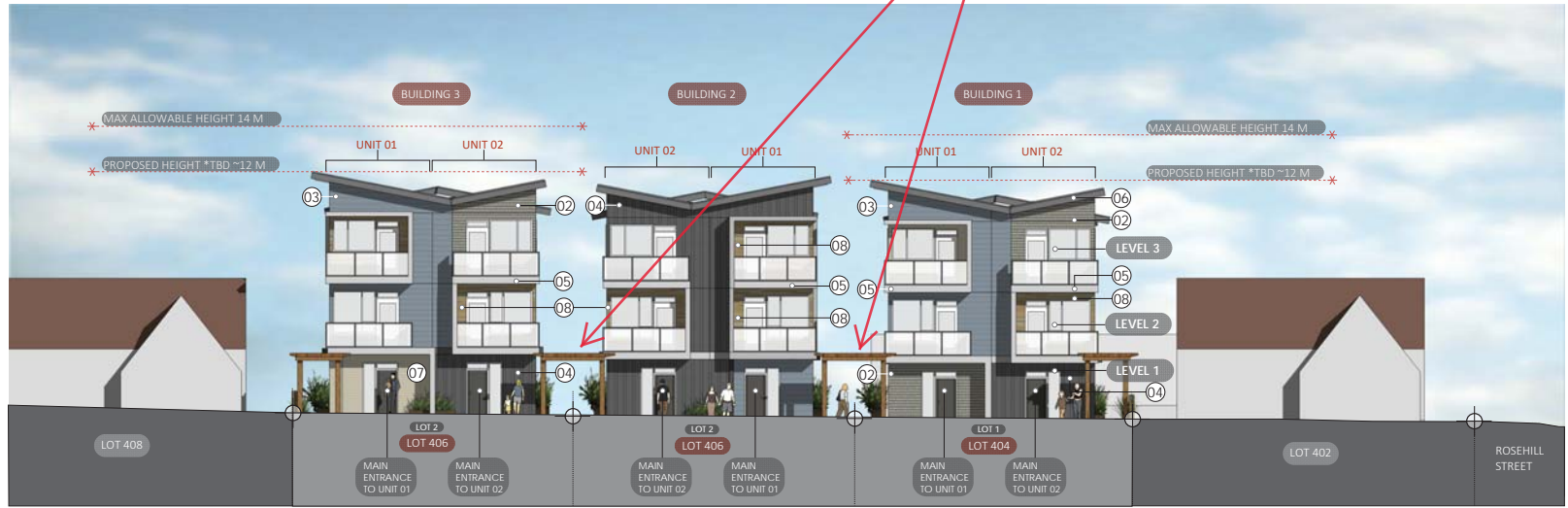
SITE PLAN - 3 SITES  
**A100**

Development Permit No. DP001281 Schedule C  
 404 & 406 Millstone Avenue  
**BUILDING ELEVATIONS AND DETAILS**

**PROPOSED TWO TRELLIS VARIANCE**

MATERIAL LEGEND

- 01 Windows White
- 02 GENTEK Shingle Harvest Shade
- 03 GENTEK Lap Siding Rockwell Blue
- 04 HARDIE Board & Batten Iron Grey
- 05 HARDIE Panel Grey Slate
- 06 HARDIE Panel Iron Grey
- 07 GENTEK Lap Siding Almond
- 08 ChamClad Panel Sunbleached Oak 6020-S



FRONT ELEVATION | WEST ELEVATION | FOURPLEX | FROM MILLSTONE AVE | Scale 1/8" = 1' |



REAR ELEVATION | EAST ELEVATION | FOURPLEX | FROM LANE | Scale 1/8" = 1' |

**JOYCE REID TROOST ARCHITECTURE**  
 2515 GLENAYR DRIVE  
 NANAIMO, BC V9S 3R9  
 joyce@jrtarchitecture.com  
 250.714.8749  
 jrtarchitecture.com

THE DRAWINGS, DESIGN IDEAS AND FEATURES OF CONSTRUCTION EXPRESSED HEREIN ARE THE EXCLUSIVE PROPERTY OF JOYCE REID TROOST ARCHITECTURE. ALL COMMERCIAL COPY AND PROPERTY RIGHTS ARE EXPRESSLY RESERVED. THEY ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR USED FOR ANY PURPOSES WITHOUT THEIR WRITTEN CONSENT. IN THE EVENT OF ANY UNAUTHORIZED USE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL NOT HOLD JOYCE REID TROOST ARCHITECTURE RESPONSIBLE.



**MILLSTONE**  
 (BUILDING 1, 2 & 3)  
 404, 406 MILLSTONE AVE, NANAIMO, BC

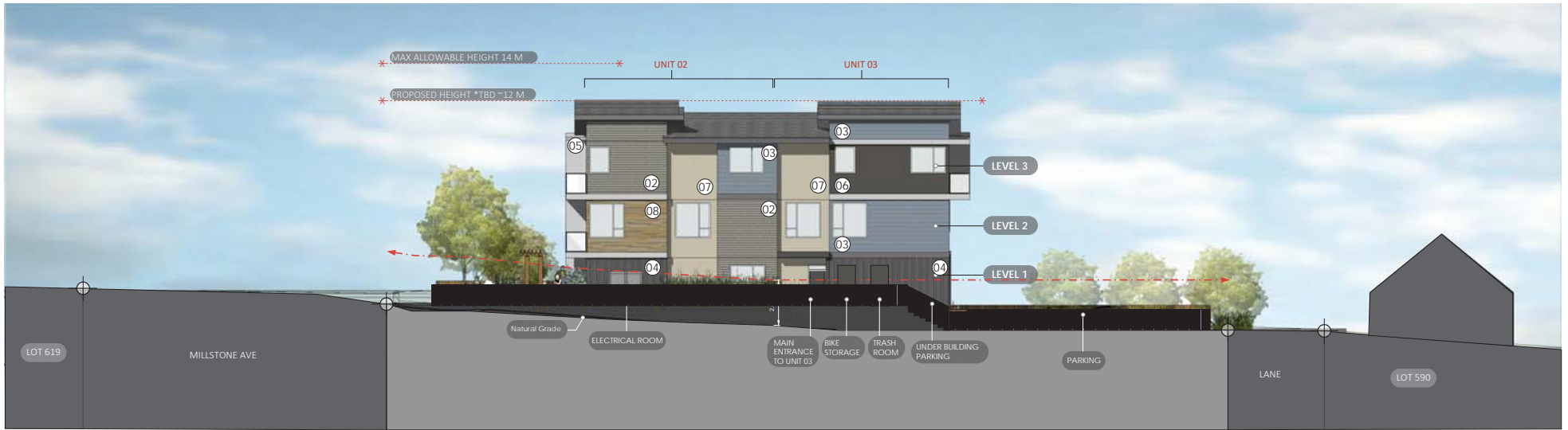
CLIENT  
 Sun Porch Homes Ltd.

REV DATE	NUMBER	DESCRIPTION
SEP 26 2022	01	REV 01
APR 26 2023	02	CL UPDATE
JUL 13 2023	03	CL UPDATE 2
DEC 13 2023	04	CL UPDATE 3

DATE: JULY 22, 2022  
 SCALE: SEE DRAWING  
**RECEIVED**  
 DP1281  
 2023-DEC-15  
 RECEIVED PRINTING  
 DRAWN BY: JRT DRAWN BY: JRT

ELEVATIONS  
**A200**







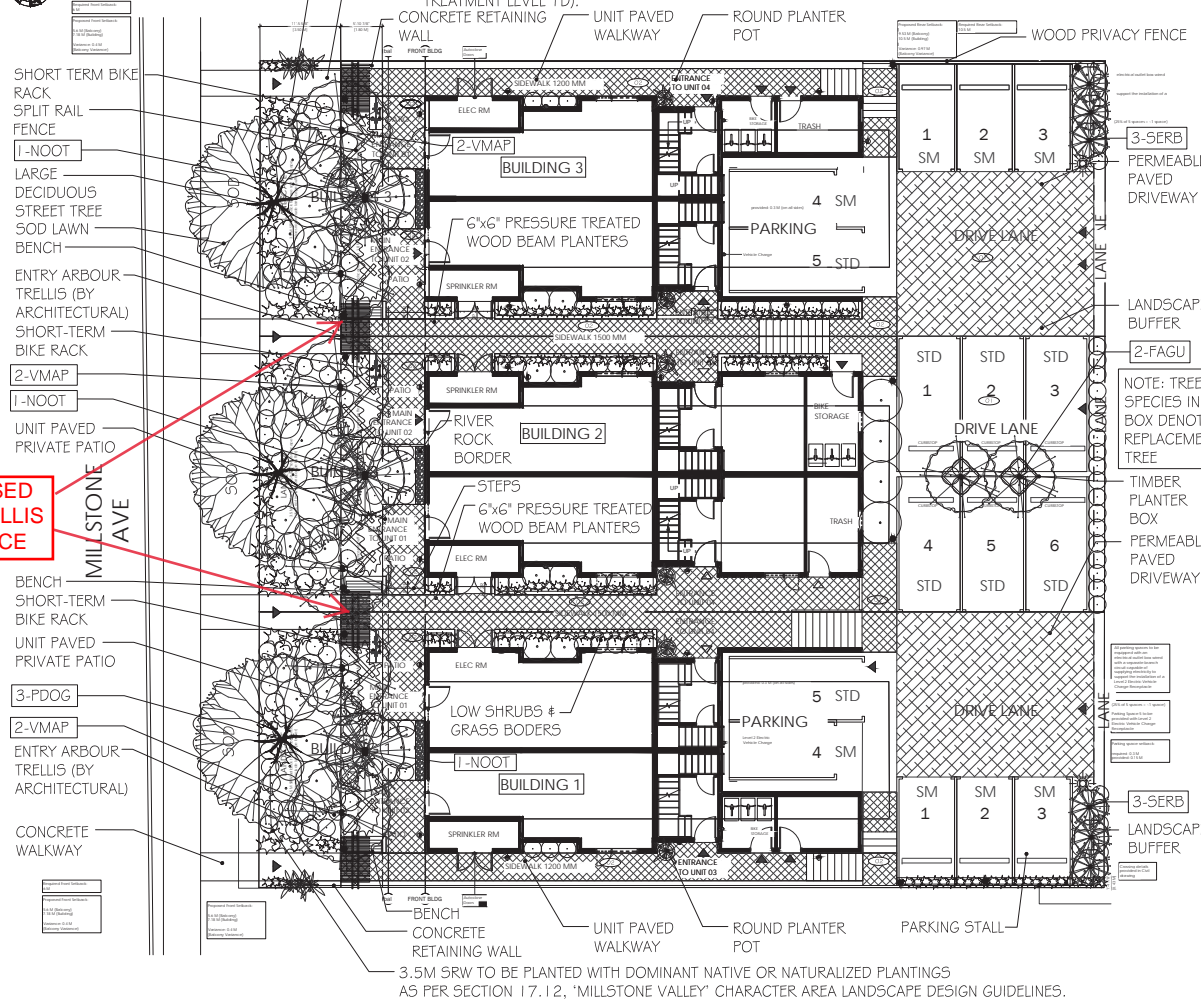
SOUTH ELEVATION (Buildings 1 & 3) / NORTH ELEVATION (Building 2) | FOURPLEX | SIDE ELEVATION | Scale 1/8" = 1' |



NORTH ELEVATION (Buildings 1 & 3) / SOUTH ELEVATION (Building 2) | FOURPLEX | SIDE ELEVATION | Scale 1/8" = 1' |

 <p>JOYCE REID TROOST ARCHITECTURE 2515 GLENAYR DRIVE NANAIMO, BC V9S 3R9 joyce@jrtarchitecture.com 250.714.8749 jrtarchitecture.com</p>	<p>THE DRAWINGS, DESIGN IDEAS AND FEATURES OF CONSTRUCTION SPECIFIED HEREIN ARE THE EXCLUSIVE PROPERTY OF JOYCE REID TROOST ARCHITECTURE. ALL COMMON COPY AND PROPERTY RIGHTS ARE EXPRESSLY RESERVED. THEY ARE NOT TO BE REPRODUCED, COPIED, REPRODUCED, OR USED FOR ANY PURPOSES WITHOUT THE WRITTEN CONSENT OF JOYCE REID TROOST ARCHITECTURE. IN THE EVENT OF ANY UNAUTHORIZED USE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL NOT HOLD JOYCE REID TROOST ARCHITECTURE RESPONSIBLE.</p>	<p>ARCH. STAMP</p> 	<p>MILLSTONE (BUILDING 1, 2 &amp; 3) 404, 406 MILLSTONE AVE, NANAIMO, BC</p>	<p>CLIENT Sun Porch Homes Ltd.</p>	<table border="1"> <thead> <tr> <th>REV. DATE</th> <th>NUMBER</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>SEPT-26-2022</td> <td>01</td> <td>REV 01</td> </tr> <tr> <td>APR-26-2023</td> <td>02</td> <td>CL UPDATE</td> </tr> <tr> <td>AUG-13-2023</td> <td>03</td> <td>CL UPDATE 2</td> </tr> <tr> <td>DEC-13-2023</td> <td>04</td> <td>CL UPDATE 3</td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	REV. DATE	NUMBER	DESCRIPTION	SEPT-26-2022	01	REV 01	APR-26-2023	02	CL UPDATE	AUG-13-2023	03	CL UPDATE 2	DEC-13-2023	04	CL UPDATE 3																<p>DATE: JULY 22, 2022 SCALE: SEE DRAWING</p>	<p>ELEVATIONS <b>A201</b></p>
					REV. DATE	NUMBER	DESCRIPTION																														
SEPT-26-2022	01	REV 01																																			
APR-26-2023	02	CL UPDATE																																			
AUG-13-2023	03	CL UPDATE 2																																			
DEC-13-2023	04	CL UPDATE 3																																			
<p>RECEIVED DP 1281 2023-DEC-15 SUN PORCH PLANNING</p>					<p>DRAWN BY: JRT    DRAWN BY: JRT</p>																																

**Development Permit No. DP001281 Schedule D**  
**404 & 406 Millstone Avenue**  
**LANDSCAPE PLAN AND DETAILS**



**PROPOSED TWO TRELLIS VARIANCE**

**LIGHTING LEGEND & SCHEDULE**

- BOLLARD LIGHTS (x13)  
 MODEL: LEDPATH003D  
 DESC.: BOLLARD W/ X-SHAPED LUMINAIRE  
 FINISH: BLACK  
 CONTACT: DAL'S PHONE: 877-430-1818
- WALL LIGHT (x25)  
 TBD BY ARCHITECTURAL
- POLE LIGHT (x2)  
 TBD BY ELECTRICAL

**PAVER TYPES**

- 01 TYPE: AQUAPAVE PERMEABLE PAVER  
 COLOUR: SHADOW  
 PATTERN: 45° STRETCHER BOND  
 SIZE: 4' x 8'
- 02 TYPE: RIVER ROCK GRANA  
 COLOUR: VICTORIAN  
 PATTERN: STACK BOND (45° TO BUILDING FACE)  
 SIZE: 12"x12"

**TREE MANAGEMENT PLAN**

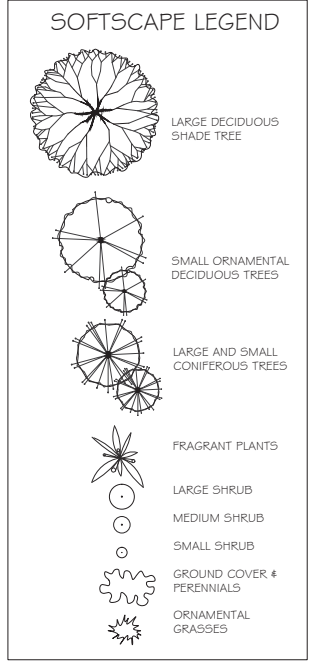
REPLACEMENT TREES REQUIRED = 13  
 REPLACEMENT TREES PROVIDED = 12

CASH IN LIEU WILL BE PROVIDED FOR 1 TREE

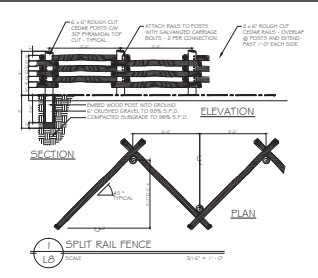
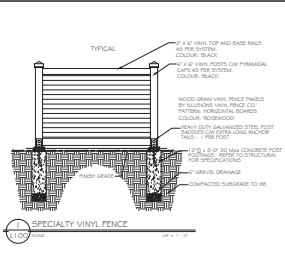
**TREE COUNT**

LARGE DECIDUOUS:	3
MEDIUM FLOWERING:	6
SMALL FLOWERING:	4
MEDIUM CONIFERS:	3
SMALL CONIFERS:	6

% CONIFER TREE COVERAGE = 41%



BENCH (x2)  
 DESCRIPTION: 5' LENGTH CUSTOM BUILT BENCH  
 SHORT TERM BIKE RACK (x3)  
 MODEL: 500 BIKE RACK MOUNTED TO CONCRETE PAD  
 SUPPLIER: MAGLIN SITE FURNITURE



NOTE: REFER TO SHEET L200 FOR FULL PLANTING PLAN

	THE DRAWING, DESIGN IDEAS AND DETAILS OF CONSTRUCTION DETAILED HEREIN ARE THE EXCLUSIVE PROPERTY OF 4★SITE LANDSCAPE ARCHITECTURE AND SITE PLANNING. ANY REUSE OR REPRODUCTION OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF 4★SITE LANDSCAPE ARCHITECTURE AND SITE PLANNING IS STRICTLY PROHIBITED.	ARCH. STAMP	MILLSTONE (BUILDINGS 1, 2, & 3) 404 MILLSTONE AVE, NANAIMO, BC	CLIENT	Sun Parch Homes Ltd.	REV. DATE    NUMBER    DESCRIPTION 22-07-20    1    ISSUED FOR DP 22-09-29    2    ISSUED FOR DP - RESUBMISSION 23-03-26    3    ISSUED FOR DP - RESUBMISSION 23-04-20    4    ISSUED FOR DP - RESUBMISSION 23-06-14    5    ISSUED FOR DP - RESUBMISSION 23-07-11    6    ISSUED FOR DP - RESUBMISSION 23-09-20    7    ISSUED FOR DP - RESUBMISSION 23-12-13    8    ISSUED FOR DP - RESUBMISSION 24-01-05    9    ISSUED FOR DP - RESUBMISSION	DATE    JANUARY 5, 2023 SCALE    1:100	LANDSCAPE CONCEPT PLAN
		RECEIVED DP 1281 2023-JAN-05 CHRYSLER FINANCIAL		DRAWN BY    BF/RF		L100		



