



DEVELOPMENT PERMIT NO. DP001279

2197452 ALBERTA LTD.
Owner(s) of Land (Permittee)

2595 BOWEN ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

LOT A, SECTION 5, WELLINGTON DISTRICT, PLAN 47874
PID No. 012-898-121

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plan
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

The “City of Nanaimo Bylaw 2011 No. 4500” is varied as follows:

1. *Section 9.5.3 Siting of a Principal Building Abutting a Major Road* – to reduce the minimum required front yard setback abutting a major road (Bowen Road) from 5.5m to 3.09m as shown on Schedule B.
2. *Section 9.7.1 Size of Buildings* – to increase the maximum permitted height of a principal building from 14.0m to 15.3m as shown on Schedule C.
3. *Section 17.2.1 General Regulations*– to reduce the minimum landscape buffer width from 1.8m to 1.57m along the rear yard (west) lot line and from 1.8m to 0.12m along the side yard (north) lot line as shown on Schedule D.
4. *Section 17.11 Minimum Landscape Treatment Levels* – to vary minimum landscape treatment level 1(d) along the front yard (east) lot line and vary minimum landscape treatment level 2(c) along the side yard (north) lot line as shown on Schedule D.

The City of Nanaimo “Off-Street Parking Regulations Bylaw 2018 No. 7266” is varied as follows:

1. Section 6.1(i)(a) Required Number of Loading Spaces – to reduce the minimum required number of loading spaces from 2 to 1.
2. Section 7.2 All Other Uses Parking Table – to reduce the minimum required number of parking spaces from 81 spaces to 19 spaces.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site and Parking Plan, prepared by dHK Architects, dated 2023-MAY-31, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by dHK Architects, dated 2023-AUG-18, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by MacDonald Gray Consultants, dated 2023-SEP-06, as shown on Schedule D.
4. Registration of a Statutory Right-of-Way (SRW) to accommodate future widening of Bowen Road prior to building permit issuance, with an approximate width as shown in the Site and Parking Plan, prepared by dHK Architects, dated 2023-MAY-31, as shown on Schedule B.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE
25TH DAY OF **SEPTEMBER, 2023.**



Corporate Officer
Sheila Gurne

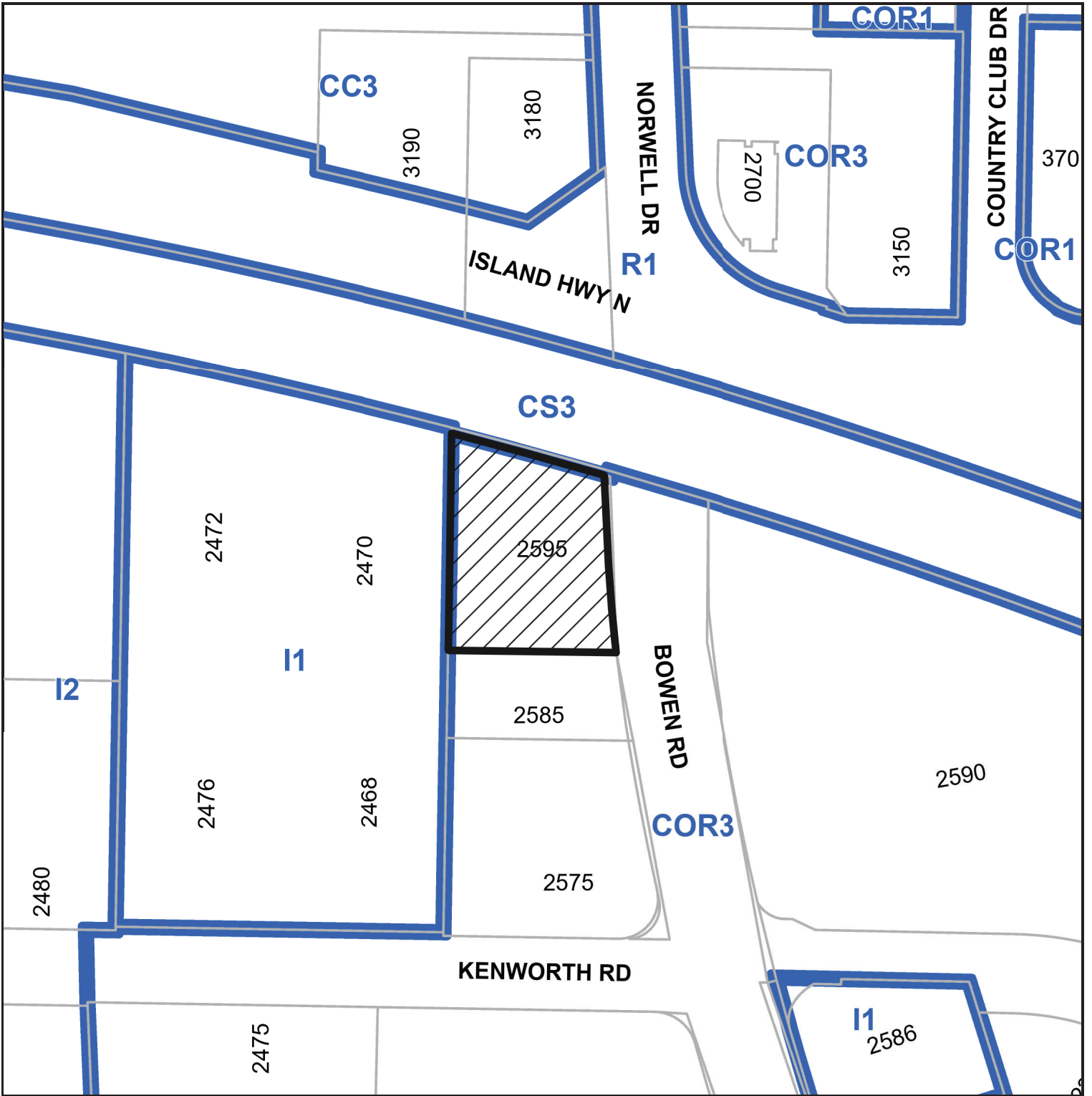
October 10, 2023
Date

KM/cr

Corporate Officer
City of Nanaimo

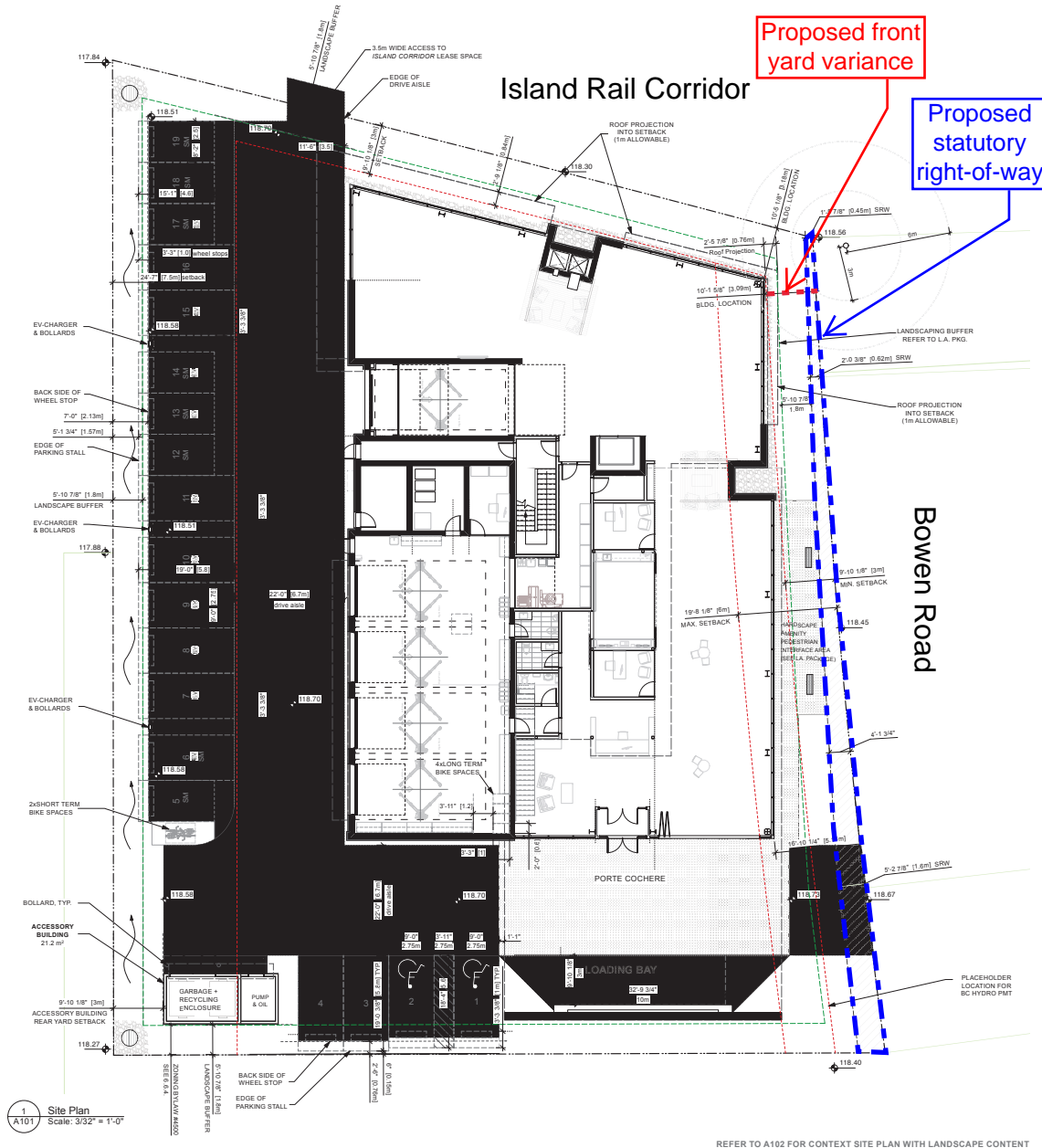
Prospero attachment: DP001279

**SCHEDULE A
SUBJECT PROPERTY MAP**



 2595 Bowen Road

SCHEDULE B SITE AND PARKING PLAN

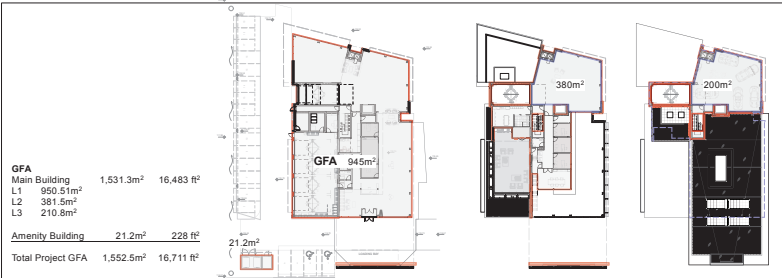


Proposed front yard variance

Proposed statutory right-of-way



REVISIONS	DATE	DESCRIPTION
1	9-Nov-22	DAP RESPONSE IS AS FOLLOWS: - GROUP TREES ALONG BOWEN RD & OUTSIDE WALL OF PORTE COCHERE TO CREATE MASSES - 3.5m ACCESS TO ISLAND CORRIDOR LEASE SPACE - UPDATE ARCHITECTURAL SITE PLAN TO MATCH
2	6-Mar-23	LANDSCAPE SITE PLAN COMPREHENSIVE LETTER RESPONSE IS AS FOLLOWS: - ITEM A.II: ANNOTATE BOLLARD AT REFUSE ENCLOSURE - ITEM A.IV: DIMENSION PARKING STALLS AT EV CHARGERS - ITEMS B.1, B.7 & D.I: UPDATED SRW & LA BUFFER - ITEM B.5.II: UPDATE FURNITURE TO REFLECT # OF USERS - ITEM B.9: 1 LOADING STALL ADDED TO SITE PLAN
3	4-May-23	WHEEL STOPS AS PER PARKING BY-LAW & T.O.
4	19-May-23	ALLOCATION OF DISPLAY PARKING IN PIC - LOCATE 4 LONG TERM BIKE SPACES WITHIN BUILDING - PROVIDE 1 ADDITIONAL PARKING STALL ALONG WEST PL.



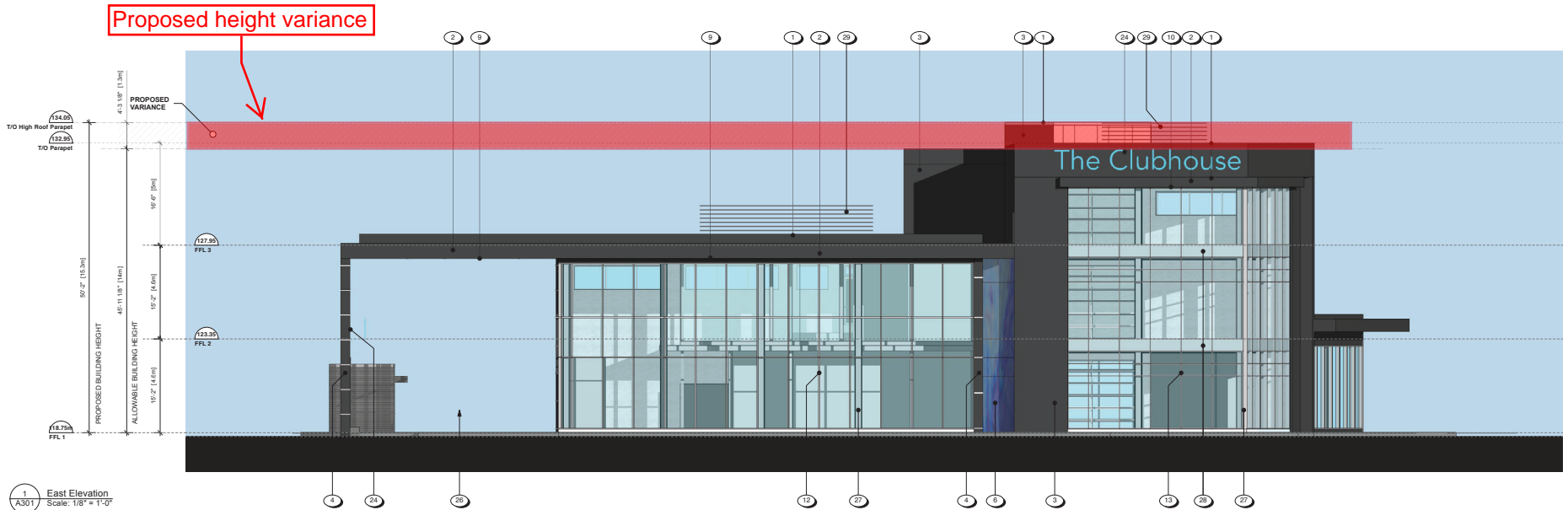
2595 Bowen Road
Nanaimo, BC
31.MAY.2023

The Clubhouse

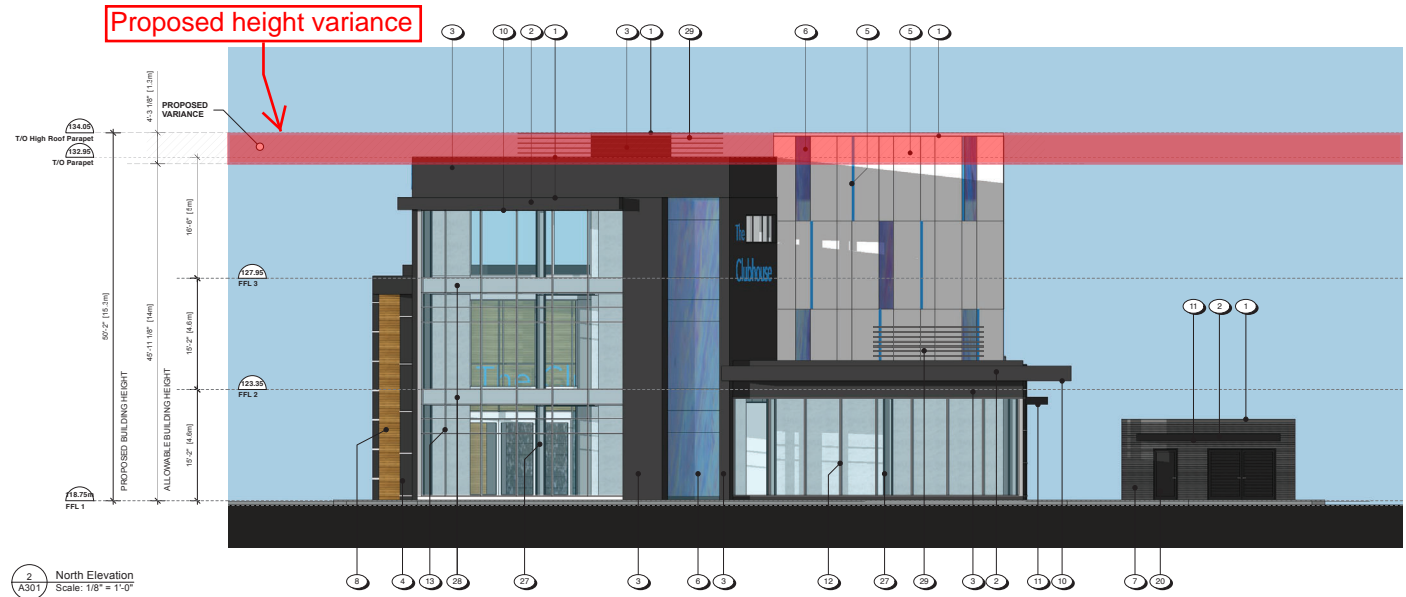
Site Plan & Project Data

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DP1278
2023-MAY-31
dHKarchitects dHka

SCHEDULE C BUILDING ELEVATIONS AND DETAILS



1 East Elevation
A301 Scale: 1/8" = 1'-0"

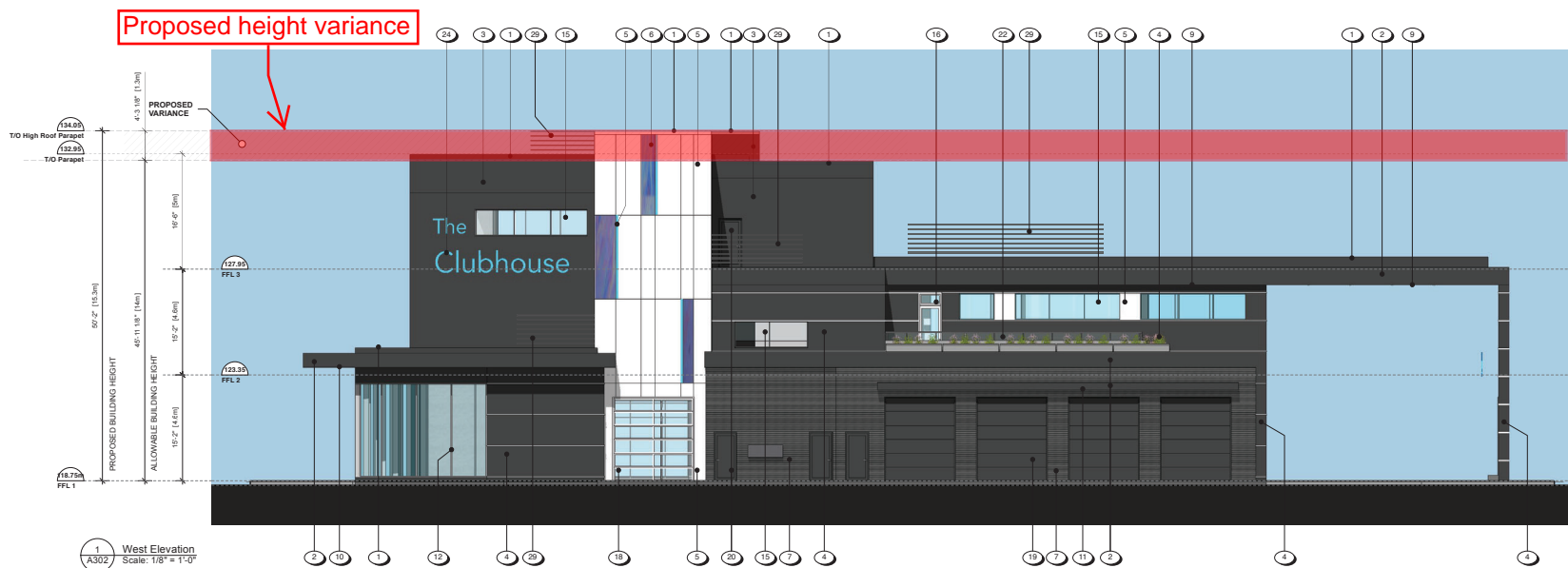


2 North Elevation
A301 Scale: 1/8" = 1'-0"

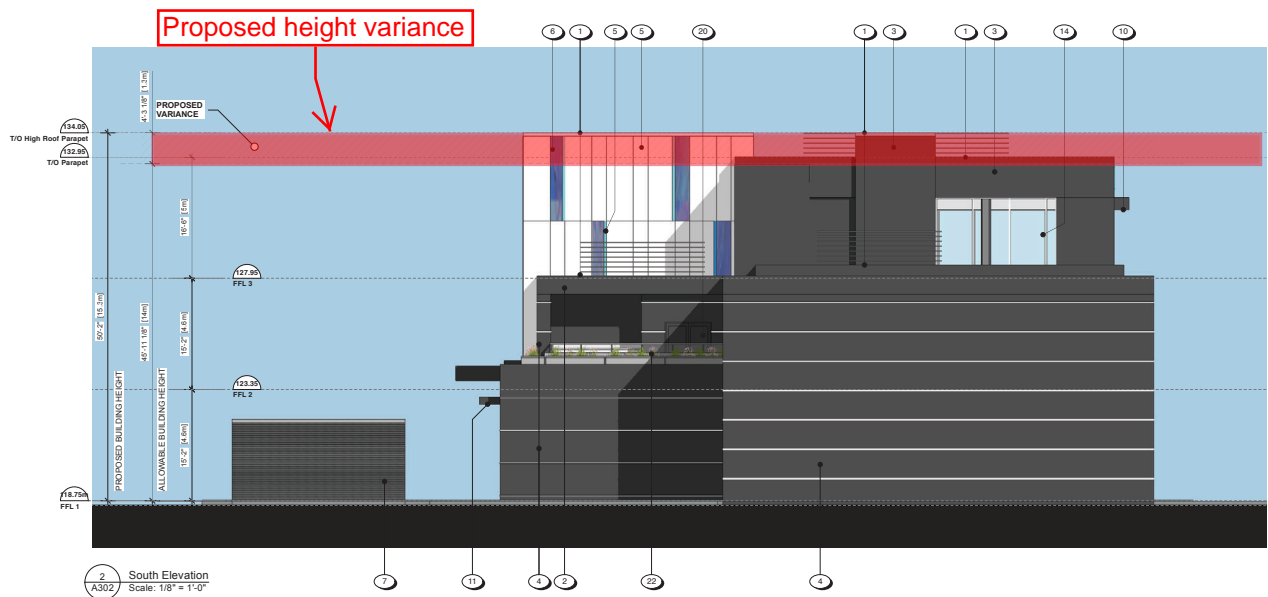
MATERIAL PALETTE

- 1 LOW SLOPE MEMBRANE ROOF, IN DARK GREY TONES, WITH PARAPET AND CAP FLASHING
- 2 METAL PANEL FASCIA SIDING, IN ACORN GREY, WITH COLOUR MATCHED FLAT CAP FLASHING
- 3 METAL PANEL SIDING, IN ACORN GREY, WITH COLOUR MATCHED FLAT CAP FLASHING
- 4 METAL PANEL SIDING, IN ACORN GREY, WITH REVEAL CAP FLASHING IN WHITE
- 5 METAL PANEL SIDING, IN WHITE, WITH WHITE & ULTRA MARINE REVEAL CAP FLASHING
- 6 METAL PANEL SIDING, IN OIL SLICK, WITH COLOUR MATCHED FLAT CAP FLASHING
- 7 CORRUGATED METAL SIDING, WITH WID RIB PROFILE IN SLATE GREY
- 8 WOOD LOOK METAL PLANK CLADDING, IN DOUGLAS FIR
- 9 WOOD LOOK METAL PLANK SOFFIT, IN DOUGLAS FIR, VENTED
- 10 METAL PANEL SOFFIT, IN OIL SLICK, VENTED
- 11 ALUMINIUM VENTED SOFFIT, IN IRON GREY (GARAGE & GARBAGE ENCLOSURE OVERHANG)
- 12 CURTAINWALL SYSTEM WITH VERTICAL LINING (PRESSURE PLATES), IN ANODIZED ALUMINIUM & STRUCTURAL GLASS
- 13 CURTAINWALL SYSTEM WITH STRUCTURAL GLASS; SPANDREL PANELS AT FLOORS (SEE 28)
- 14 STOREFRONT GLAZING, IN ANODIZED ALUMINIUM
- 15 WINDOW, IN ANODIZED ALUMINIUM
- 16 STOREFRONT DOORS, IN ANODIZED ALUMINIUM
- 17 FOLDING DOOR SYSTEM, IN ANODIZED ALUMINIUM
- 18 OVERHEAD DOOR WITH GLAZED PANELS, IN ANODIZED ALUMINIUM
- 19 OVERHEAD DOOR WITH SOLID PANELS, IN IRON GREY
- 20 SOLID DOOR, IN IRON GREY
- 21 WINDOW, IN ANODIZED ALUMINIUM
- 22 PARAPET WALL IN SLATE GRAY WITH GLASS PANEL GUARDRAIL
- 23 PLANTERS
- 24 SIGNAGE (PLACEHOLDER)
- 25 WATER FEATURE WITH OCEAN PEARL ASHLAR
- 26 PORTE COCHERE
- 27 STRUCTURE (INTERNAL)
- 28 SPANDREL PANEL
- 29 MECHANICAL SCREEN

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2023-AUG-18

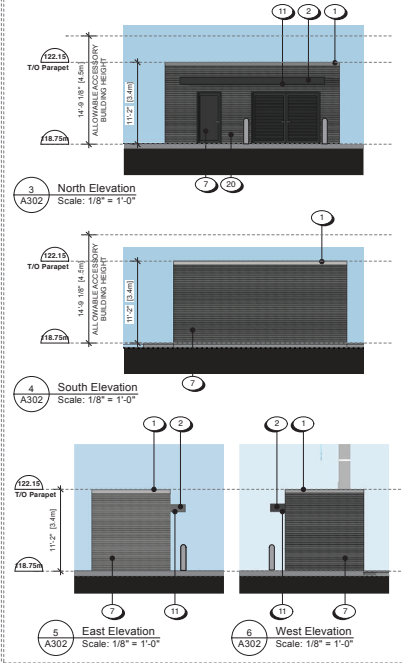


1 West Elevation
A302 Scale: 1/8" = 1'-0"



2 South Elevation
A302 Scale: 1/8" = 1'-0"

ACCESSORY BUILDING ELEVATIONS



MATERIAL PALETTE

- 1 LOW SLOPE MEMBRANE ROOF, IN DARK GREY TONES, WITH PARAPET AND CAP FLASHING
- 2 METAL PANEL FASCIA SIDING, IN ACORN GREY, WITH COLOUR MATCHED FLAT CAP FLASHING
- 3 METAL PANEL SIDING, IN ACORN GREY, WITH COLOUR MATCHED FLAT CAP FLASHING
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SP1279
2023-AUG-18
LUMBERVILLE

2595 Bowen Road
Nanaimo, BC
18 AUG 2023

The Clubhouse

RE-ISSUED FOR DEVELOPMENT PERMIT

A302
Elevations

dHKarchitects dHka

SCHEDULE D LANDSCAPE PLAN AND DETAILS

Proposed landscape buffer variance

Proposed landscape buffer variance

Proposed minimum landscape treatment level variance

GENERAL NOTES

1. THE LANDSCAPING CHARACTER AREA FOR THE SITE IS: NORTH NANAIMO.
2. REFER TO SITE PLAN PREPARED BY JMK ARCHITECTS FOR SITE PLAN LAYOUT, PROPOSED FINISHED FLOOR ELEVATIONS AND OTHER ARCHITECTURAL INFORMATION.
3. REFER TO CIVIL PLANS AND REPORT PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ALL SITE SERVING, GRADING, SITE DRAINAGE AND STORMWATER MANAGEMENT INFORMATION.

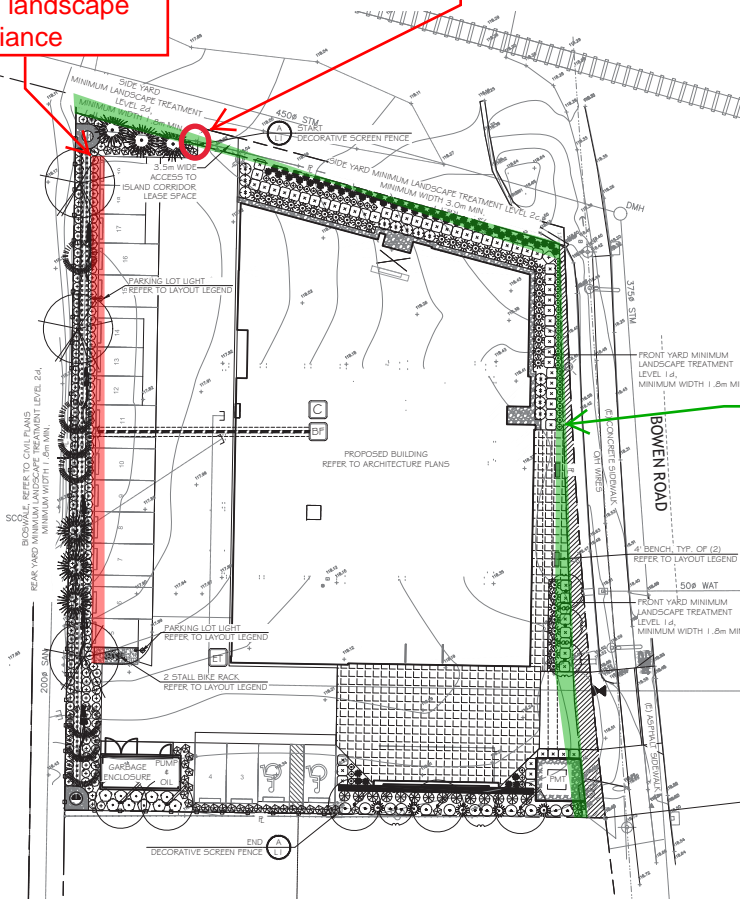
LAYOUT LEGEND

ABBREVIATIONS	DESCRIPTION
(E)	EXISTING
(P)	PROPERTY LINE
TYP.	TYPICAL
SYMBOL	DESCRIPTION
---	PROPERTY LINE
○	DECORATIVE SCREEN FENCE, REFER TO DETAIL A
○	Ø 45mm LEAVE STRIP; 38mm (1.5") MINUS ROUND WASHED DRAIN ROCK OVER LANDSCAPE FABRIC
—	BENCH MANUFACTURER: WISHBONE SITE FURNISHINGS (PH: 666-626-0476) STYLE: PARKER 4' BACKLESS BENCH MODEL: PKB-4 FRAME COLOUR: VICTOR RIDGE II SLAT COLOUR: GREY QTY: 2
—	BIKE RACK MANUFACTURER: WISHBONE SITE FURNISHINGS (PH: 666-626-0476) STYLE: TENAL 2 SPACE BIKE RACK MODEL: TBR-24 COLOUR: VICTOR RIDGE II QTY: 1
—	PRECAST CONCRETE UNIT PAVING MANUFACTURER: BASALITE (OR EQUAL) STYLE: CITYSCAPE SERIES - WINDSOR PATTERN: DOUBLE BASKET WEAVE COLOUR: CHARCOAL
—	DARK SKY COMPLIANT LED PARKING LOT LIGHT (FULL CUT-OFF, FLAT LENS) DISTRIBUTOR: SIGNIFY (PH: 800-553-0050) MAKE: GARDCO STYLE: GULLWING LED WITH INTERNAL SHIELD MODEL: GL13 SMALL NATURAL ALUMINUM
—	FINAL PARKING LOT LIGHT LOCATIONS, QUANTITIES AND PHOTOMETRIC ANALYSIS SHALL BE BY PROJECT ELECTRICAL ENGINEER.

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY.	NOTES
☼	CHAMAECYPARIS NOOKTENSIS FENDULA WEEPING NOOKTA CYPRESS	2.5m	3m O.C.	6	INDIGENOUS CULTIVAR
☼	CORNUS KOUSA SATOMI RED FLOWERING KOUSA DOGWOOD	6cm CAL	4.5m O.C.	5	DROUGHT TOLERANT
☼	LIQUIDAMBAR STYRACAPLIA SLENDER SILHOUETTE SLENDER SILHOUETTE SWEETGUM	6cm CAL	SEE PLAN	5	DROUGHT TOLERANT
☼	PICEA PUNGENS HOOPSII HOOPSII COLORADO SPRUCE	2.5m	2m O.C.	7	DROUGHT TOLERANT
☼	NYSSA SYLVATICA TUPELO TOWER TUPELO TOWER BLACK GUM	6cm CAL	6m O.C.	3	DROUGHT TOLERANT
SHRUBS					
☼	BERBERIS THUNBERGII 'RUBY CAROUSEL' RUBY CAROUSEL BARBERRY	#2 POT	1m O.C.	12	DROUGHT TOLERANT
☼	BUXUS GREEN VELVET GREEN VELVET BOXWOOD	#2 POT	0.9m O.C.	66	DROUGHT TOLERANT
☼	CORNUS SERICICA 'KEISEY' DWARF RED OSIER DOGWOOD	#2 POT	0.75m O.C.	177	INDIGENOUS CULTIVAR
☼	HYDRANGEA PANGULATA FEE WEE FEE WEE DWARF HYDRANGEA	#2 POT	1m O.C.	12	
☼	MAHONIA AQUILIFOLIUM OREGON GRAPE	#2 POT	1m O.C.	14	INDIGENOUS SPECIES
☼	PINUS THUNBERGII 'YATSUBUSA' DWARF JAPANESE BLACK PINE	#7 POT	SEE PLAN	5	DROUGHT TOLERANT
☼	POLYSTICHUM SETIFERUM SOFT SHIELD FERN	#1 POT	1.0m O.C.	37	INDIGENOUS SPECIES
GROUNDCOVER, VINES & PERENNIALS					
☼	CALAMAGROSTIS ACUTIFLORA KARL FOCKSTER FEATHER REED GRASS	#2 POT	1.2m O.C.	14	DROUGHT TOLERANT
☼	CAREX OBNUPHA STIRATA SLOUSHY SAWBREAK SEDGE	#1 POT	0.6m O.C.	105	INDIGENOUS SPECIES
☼	ERICA X DIARYLGENS EVA GOLD EVA GOLD HEATH	#1 POT	0.75m O.C.	44	DROUGHT TOLERANT
☼	HAKONECHLOA MACRA AUREOLA GOLDEN JAPANESE FOREST GRASS	#1 POT	0.6m O.C.	60	
☼	HEUCHERELLA X SWEET TEA SWEET TEA HEUCHERELLA	#1 POT	0.6m O.C.	48	

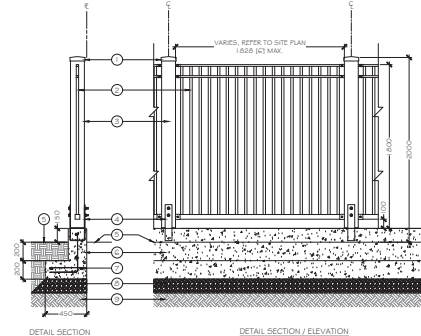
NOTE: DROUGHT TOLERANCE IS BASED ON SPECIES ONCE ESTABLISHED



MINIMUM LANDSCAPE TREATMENT LEVEL VARIANCE SUMMARY

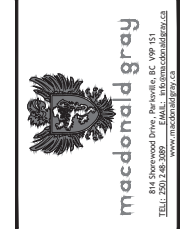
1. REQUIRED TREES

FRONT YARD:	0
SIDE YARD (NORTH):	6
SIDE YARD (SOUTH):	6
REAR YARD:	10
TOTAL:	30
2. TREES ALONG THE NORTH AND EAST SIDES OF CAR GALLERY ARE UNDESIRABLE IN FRONT OF VEHICLE DISPLAY WINDOWS AND ARCHITECTURE.
3. OVER THE WHOLE SITE 2G TREES ARE PROVIDED. 50% OF THE TREE SPECIES ARE EVERGREEN (CONIFEROUS) SPECIES.
4. SIDE YARD (NORTH): HEDGE SHRUB SCREEN OR DECORATIVE FENCE IS UNDESIRABLE IN FRONT OF VEHICLE DISPLAY WINDOWS AND ARCHITECTURE.
5. THE REQUIRED MINIMUM LANDSCAPE BUFFER WIDTH IS 1.8m. THE APPLICANT IS PROPOSING LOCALIZED VARIANCES OF THE MINIMUM LANDSCAPE BUFFER WIDTH AS FOLLOWS:
 1. FROM 1.8m TO 1.57m ALONG THE PARKING STALLS ADJACENT TO THE WEST PROPERTY LINE, A REQUESTED VARIANCE OF 0.23M.
 2. FROM 1.8m TO 0.12m AT THE CORNER OF THE DRIVE AISLE ADJACENT TO THE NORTH PROPERTY LINE, A REQUESTED VARIANCE OF 1.68m.



A Decorative Screen Fence - Side & Rear Yard
Section/Elevation 1:25 metric

1. USE 300mm x 300mm (Ø 81) CEDAR POSTS AND COLUMN BASES AT PEDESTRIAN AND DRIVEWAY GATE LOCATIONS.
2. ALL FASTENERS SHALL BE GALVANIZED.
3. APPLY EXTERIOR TRANSLUCENT CEDAR STAIN ON ALL TIMBER POLES TO ASSEMBLY.
4. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR METAL PICKET FENCE, DRIVEWAY AND PEDESTRIAN GATES, REFER TO SPECIFICATIONS.



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT HAS BEEN STAMPED AND SIGNED BY THE LANDSCAPE ARCHITECT. THE COPYRIGHT TO ALL DESIGN AND DRAWINGS ARE THE PROPERTY OF MACDONALD GRAY CONSULTANTS INC. NO PART OF THIS DRAWING OR ANY INFORMATION THEREON MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF MACDONALD GRAY CONSULTANTS INC.

Proposed minimum landscape treatment level variance

The Clubhouse
Lag Auto Group
2595 Bowen Road, Nanaimo, BC

LANDSCAPE ARCHITECTURE PLAN	
Date:	September 6, 2023
Drawn:	CW
Checked:	CW
Scale:	1:200 metric
Project Number:	21-0294
Drawing Number:	L1 of 2

REVISION SCHEDULE		
#	Date	NOTES
0	18MAY2023	DP Draft Coordination
1	23JUN2023	DP Draft Coordination
2	22SEP2023	DAP
3	01NOV2023	Reissued for DP
4	01MAR2024	Reissued for DP
5	06SEP2023	Reissued for DP

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2023-SEP-06

PLANTING NOTES

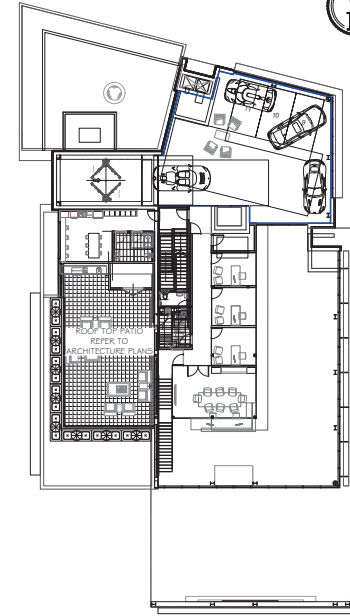
1. ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
2. GROWING MEDIUM SHALL MEET OR EXCEED THE PROPERTIES OUTLINED THE CANADIAN LANDSCAPE STANDARD PER SECTION 6 GROWING MEDIUM, TABLE 14.3.5.2. PROPERTIES FOR GROWING MEDIA:
LEVEL 2 "GROOMED" - 2P
GROWING MEDIUM DEPTHS: BIOMASSES - 450mm
SHRUBS - 450mm
TREES - 600mm BELOW AND AROUND ROOTBALL
3. MULCH SHALL BE COMPOST PER SECTION 10 MULCHING OF THE CANADIAN LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREE, SHRUBS AND GROUNDCOVER PLANTING AREAS.
4. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CNLA STANDARDS FOR NURSERY STOCK.
5. ALL TREE, SHRUB, GROUNDCOVER AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UTILIZING "SMART" (ET) WEATHER-BASED IRRIGATION CONTROL. IRRIGATION EMISSION DEVICES SHALL BE HIGH EFFICIENCY LOW VOLUME ROTARY NOZZLES OR DRIP IRRIGATION EQUIPMENT.
6. PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
7. ALL PLANT MATERIAL SHALL MATCH TYPE AND SPECIES AS INDICATED ON THE PLANTING LEGEND. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
8. CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE PITS. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
9. NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

IRRIGATION EQUIPMENT LEGEND

SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
	HUNTER	TBD	AUTOMATIC IRRIGATION CONTROLLER IN MECHANICAL ROOM
	HUNTER	W55-SEN	WIRELESS SOLAR-SYNC SENSOR ON SOUTH-FACING EAVE
	BY MECHANICAL	BY MECHANICAL	25mm (1") DOUBLE CHECK BACKFLOW PREVENTER IN MECHANICAL ROOM
		SCHEDULE 40	25mm (1") PVC MAINLINE
		SCHEDULE 40	PVC SLEEVES UNDER ALL PAVING AND THROUGH WALLS MIN. TYP. MAINLINE & LATERALS: 100mm (4") LATERALS ONLY: 75mm (3") CONTROL WIRE: 50mm (2") BURIAL DEPTH TO MATCH DEPTH OF CARRIED PIPE.

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM SHALL BE DESIGN-BUILD BY THE OWNER.
2. IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
3. ALL PROPOSED ON-SITE PLANTING AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM UTILIZING A "SMART" (ET) WEATHER-BASED IRRIGATION CONTROLLER.
4. IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO/ DRIP EQUIPMENT.
5. THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPRINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
6. ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE.
7. OPERATE IRRIGATION CONTROLLER WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.



Level 2 Plan

1:200 metric

Section/Elevation



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The Clubhouse
Lag Auto Group
2595 Bowen Road, Nanaimo, BC

LANDSCAPE ARCHITECTURE PLAN

Date: September 6, 2023
Drawn: CW
Checked: CW
Scale: 1:200 metric
Project Number: 21-0294
DRAWING NUMBER: L2 of 2

#	Date	NOTES
0	18MAY2022	DP Draft/Coordination
1	23JUN2022	DP Draft/Coordination
2	22SEP2022	DAP
3	01NOV2022	Reissued for DP
4	01MAR2023	Reissued for DP
5	06SEP2023	Reissued for DP

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2023-SEP-06