



DEVELOPMENT PERMIT NO. DP001277

HOSPITAL COMMONS INC
Owner(s) of Land (Permittee)

1588 BOUNDARY CRESCENT
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

LOT 1, SECTION 1, DISTRICT LOT 97G, NEWCASTLE RESERVE, NANAIMO DISTRICT, PLAN 27521
PID No. 000-413-119

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

The "City of Nanaimo Bylaw 2011 No. 4500" is varied as follows:

1. *Section 17.2.1 General Regulations* – to reduce a portion of the minimum required landscape buffer width from 1.8m to 0.0m along the flanking side yard (west) lot line as shown on Schedule D.

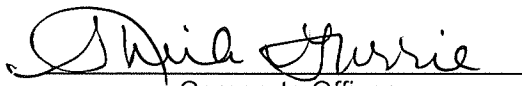
The City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

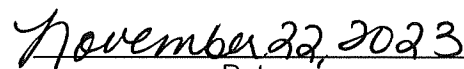
1. *Section 6.1(i)(a) Required Number of Loading Spaces* – to reduce the minimum required number of loading spaces from 2 to 1 for the proposed development.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site and Parking Plans, prepared by O.C.A. Architecture Inc., dated 2023-OCT-12 and 2023-OCT-06, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by O.C.A. Architecture Inc., dated 2023-OCT-06, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Victoria Drakeford Landscape Architect, dated 2023-OCT-06, as shown on Schedule D.
4. Registration of a Section 219 covenant and easement prior to Building Permit issuance to secure 28 off-site parking spaces at 1515 Dufferin Crescent in accordance with Section 2.1 of the "Off-Street Parking Regulations Bylaw 2018 No. 7266".
5. Voluntary Road Dedication and registration of Statutory Right-of-Way (SRW) prior to Building Permit issuance as follows to be registered prior to Building Permit issuance:
 - a) 3.75m of dedication will be required along the frontage of Boundary Crescent;
 - b) 2.5m of dedication will be required along the frontage of Dufferin Crescent, combined with an additional SRW of approximately 1.7m to allow for some cross-sectional elements of the road to be constructed within the SRW area; and
 - c) Corner rounding of 6.0m radius is required at the intersection of the road frontages.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE
6TH DAY OF NOVEMBER, 2023.

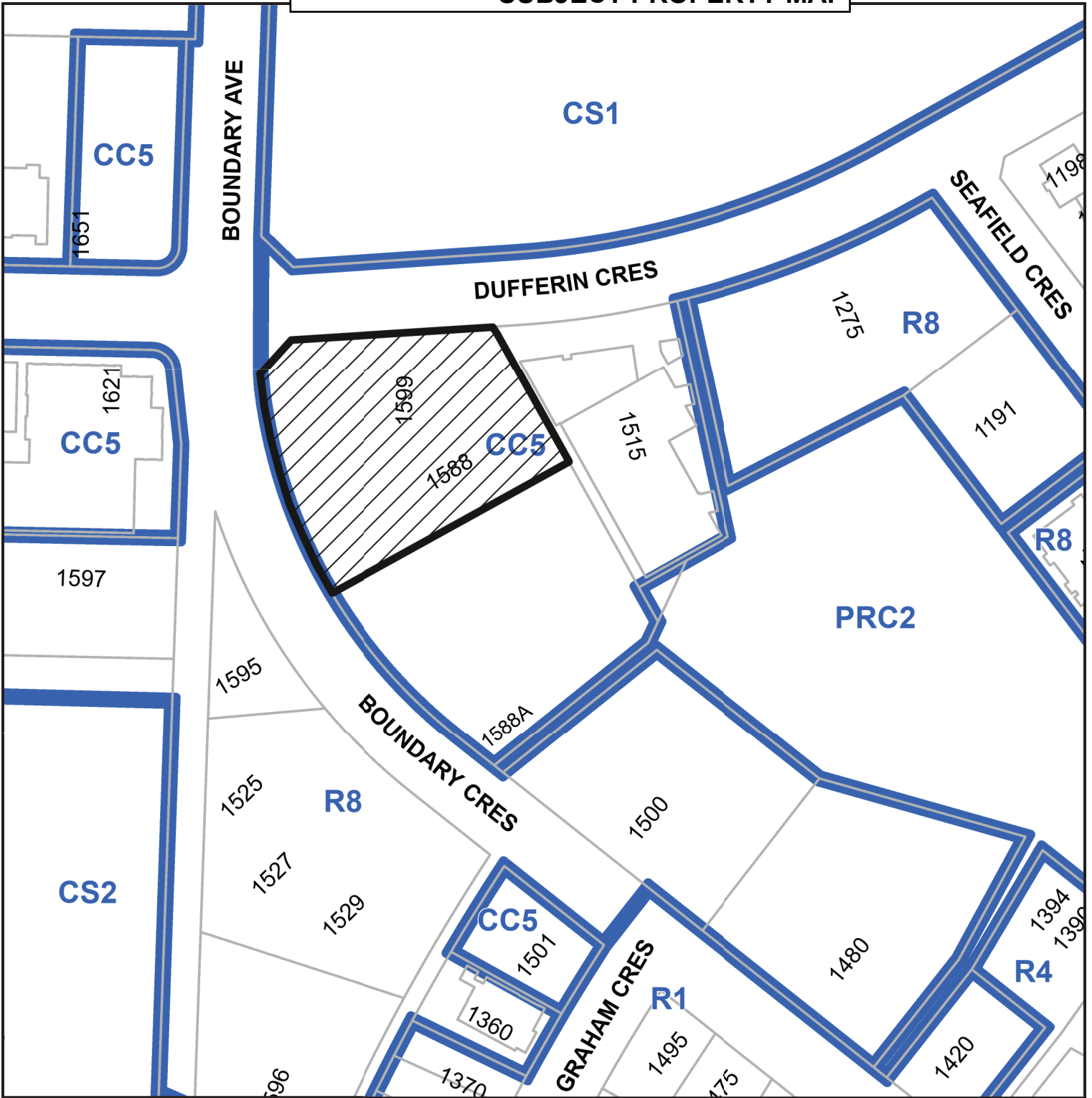

Corporate Officer



Date

KM/lm

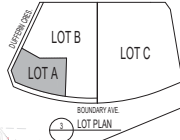
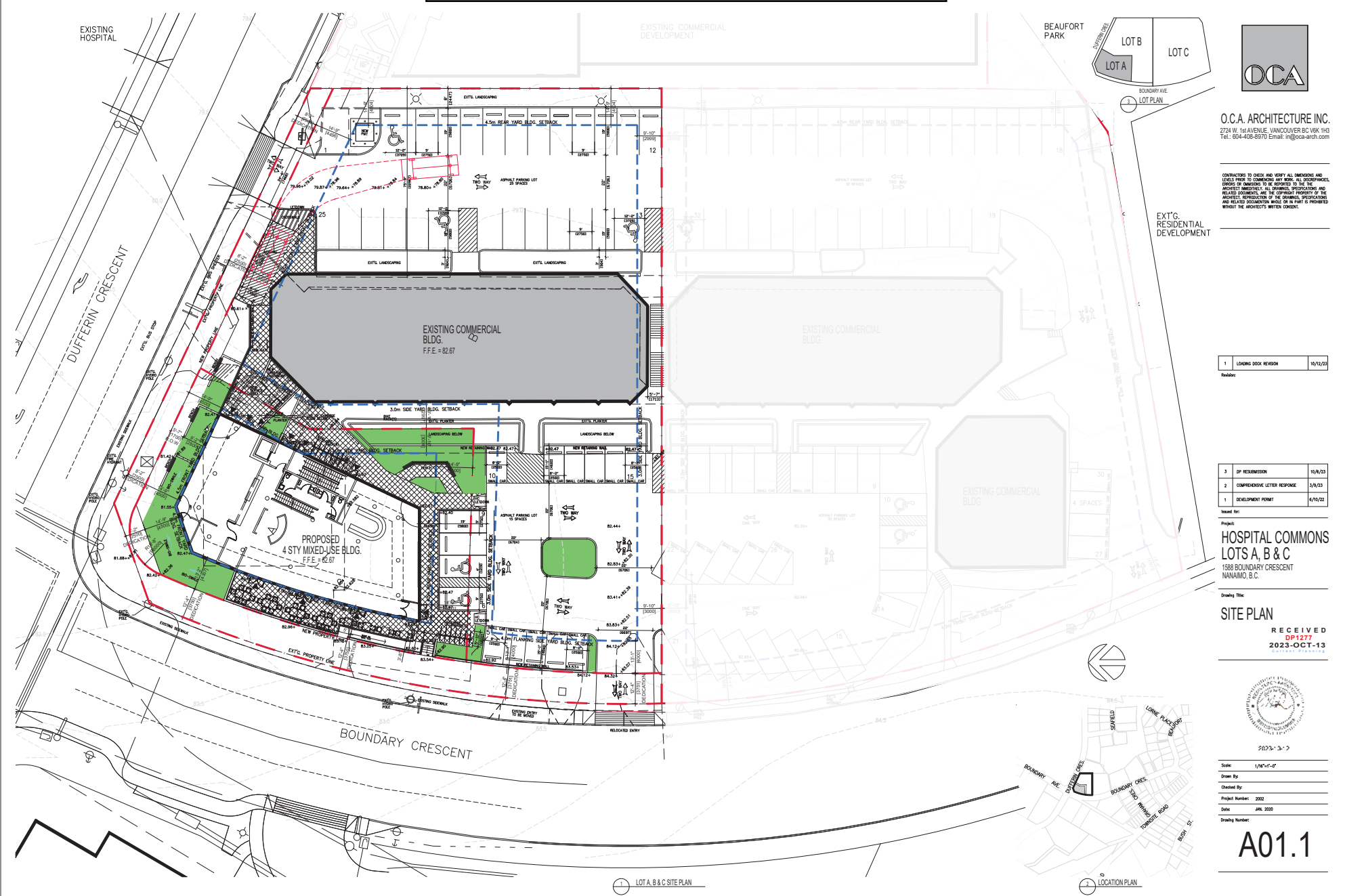
Prospero attachment: DP001277

SUBJECT PROPERTY MAP



 1588 Boundary Cres.

Development Permit No. DP001277 Schedule B
 1588 Boundary Crescent
SITE AND PARKING PLANS



O.C.A. ARCHITECTURE INC.
 2724 W. 1st AVENUE, VANCOUVER BC V6K 1H3
 Tel: 604-408-8970 Email: tm@oca-arch.com

CONTRACTORS TO CHECK AND VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. ALL DISCREPANCIES, ERRORS OR OMISSIONS TO BE REPORTED TO THE DESIGN ARCHITECT IMMEDIATELY. ALL DRAWING SPECIFICATIONS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE ARCHITECT. REPRODUCTION OF THE DRAWING, SPECIFICATIONS AND RELATED DOCUMENTS WHOLE OR IN PART IS PROHIBITED WITHOUT THE ARCHITECT'S WRITTEN CONSENT.

EXT'G. RESIDENTIAL DEVELOPMENT

1	LOADING DOCK REVISION	10/12/23
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3	DP RESUBMISSION	10/16/23
2	COMPREHENSIVE LETTER RESPONSE	5/17/23
1	DEVELOPMENT PERMIT	4/15/22

Project:
HOSPITAL COMMONS
 LOTS A, B & C
 1588 BOUNDARY CRESCENT
 NANAIMO, B.C.

Drawing Title:
SITE PLAN
 RECEIVED
 DP1277
 2023-OCT-13

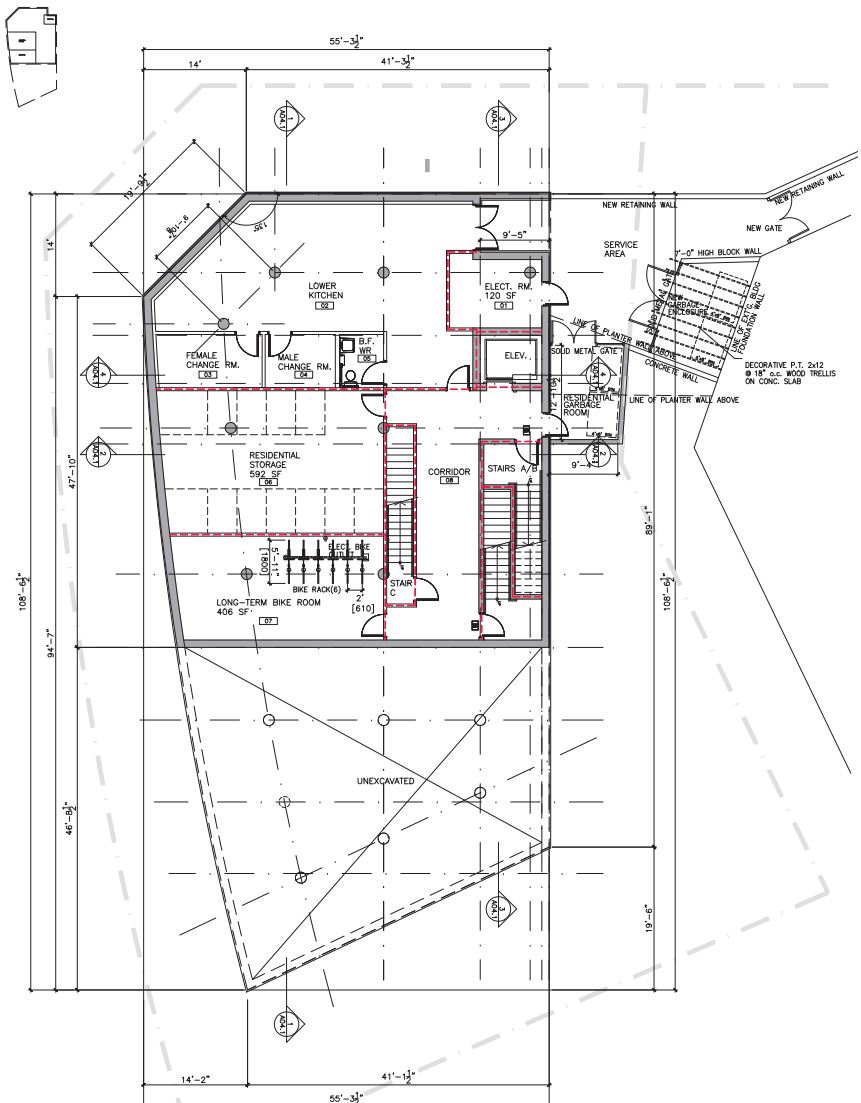


Scale: 1/8"=1'-0"
 Drawn By: _____
 Checked By: _____
 Project Number: 2002
 Date: JAN. 2020
 Drawing Number:

A01.1

1 LOT A, B & C SITE PLAN

2 LOCATION PLAN



BASEMENT FLOOR PLAN

WALL LEGEND:

	POURED IN PLACE CONCRETE
	G.W.B. PARTITIONS
	0 HR FIRE SEPARATION
	1 HR FIRE SEPARATION

NOTE:
1. SEE WALL CONSTRUCTION SCHEDULE ON DWG. 105-1 FOR MATERIALS
2. ALL PARTIAL TO THE SLAB IN CONFORMANCE WITH ALL MECHANICAL, ELECTRICAL, STRUCTURAL, & LANDSCAPE DETAILS



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1	ADD COMMENTS	10/4/22
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2	DP RESUBMISSION	10/16/23
1	DEVELOPMENT POINT	6/15/22

Project:
**HOSPITAL COMMONS
LOT A**
1588 BOUNDARY CRESCENT
NANAIMO, B.C.

Drawing Title:
**BASEMENT +
GRD. FLOOR PLAN**



21073-111-014
Scale: 1/8"=1'-0"
Drawn By: _____
Checked By: _____
Project Number: 2009
Date: JAN. 2020
Drawing Number: _____



A02.1

Development Permit No. DP001277 Schedule C
 1588 Boundary Crescent
BUILDING ELEVATIONS AND DETAILS



WEST ELEVATION - VIEW FROM BOUNDARY CRES.

- EXTERIOR MATERIAL FINISHES:
1. PRE-FIN. METAL FLASHING
 2. HARDIE FASCIA
 3. HARDIE PANEL
 4. VINYL WINDOWS
 5. WOOD LOOK METAL SIDING
 6. GLASS & ALUM. RAININGS
 7. ALUM. STOREFRONT GLAZING
 8. MASONRY-LIKE PANEL
 9. METAL TO MATCH ALUM. GLAZING
 10. INSULATED METAL DOORS
 11. CEMENT FACED INSULATION
 12. CONCRETE RETAINING WALL
 13. ROOF TOP HVAC SCREEN
- COLOURS:
- CHARCOAL
 - NIGHT GREY
 - WHITE GREY/WHITE
 - WHITE
 - CEDAR
 - WHITE
 - CLEAR ANODIZED
 - CHARCOAL
 - CHARCOAL
 - CONCRETE
 - CONCRETE
 - WHITE



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1	ADP COMMENTS	10/4/22
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NORTH ELEVATION - VIEW FROM DUFFERIN CRES.

2	DP REVISION	10/4/23
1	DEVELOPMENT POINT	6/15/22

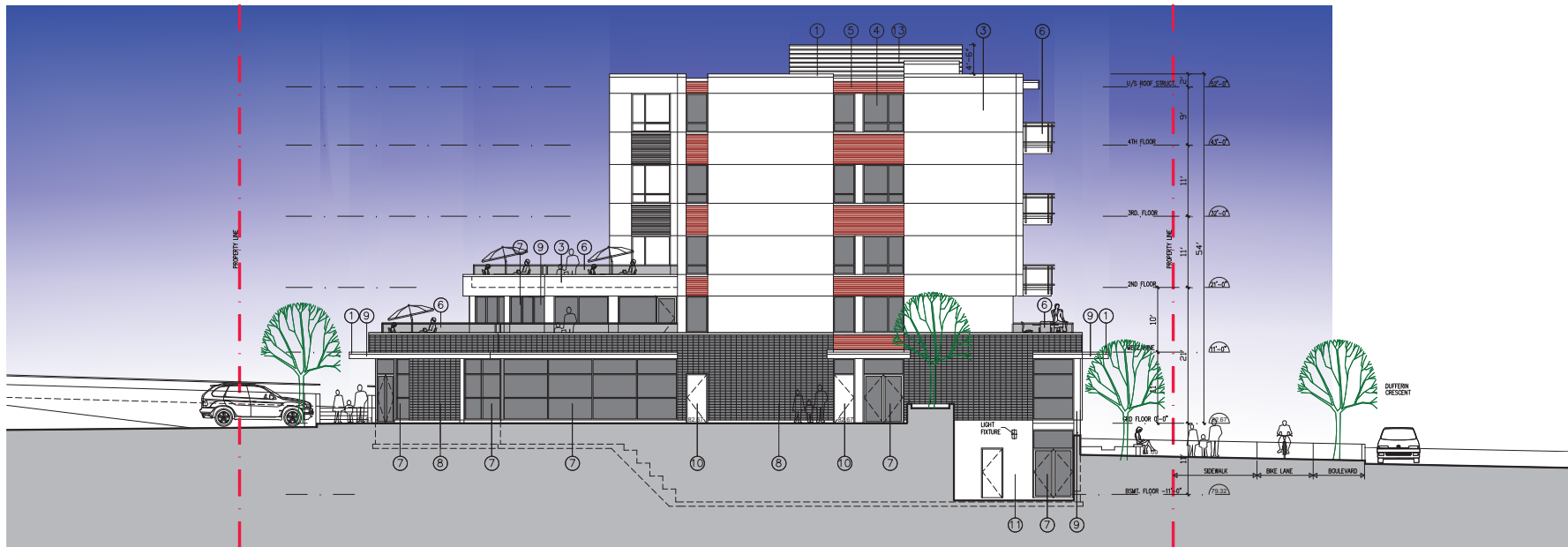
Project:
HOSPITAL COMMONS
LOT A
 1588 BOUNDARY CRESCENT
 NANAIMO, B.C.

Drawing Title:
ELEVATIONS
 RECEIVED
 DP1277
 2023-OCT-06

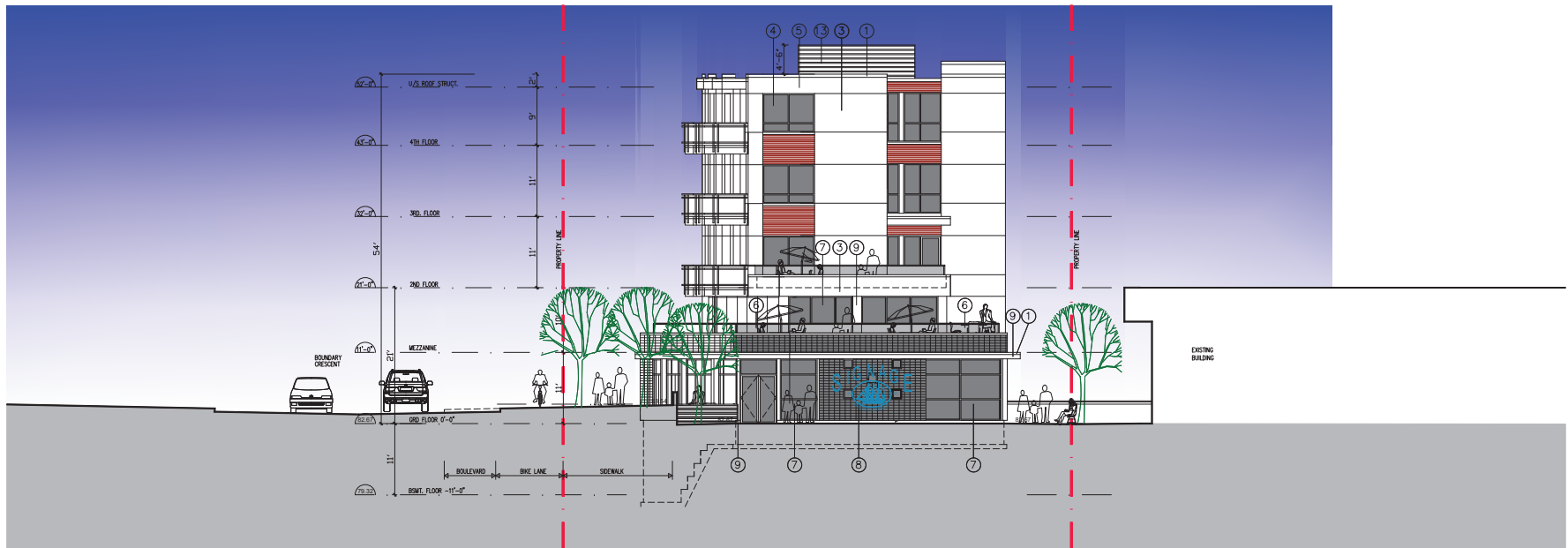


21273-114-114
 Scale: 1/8"=1'-0"
 Drawn By:
 Checked By:
 Project Number: 2022
 Date: JAN. 2020
 Drawing Number:

A03.1



3 EAST ELEVATION - INTERIOR LOT VIEW



4 SOUTH ELEVATION - INTERIOR LOT VIEW



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1	ADP COMMENTS	10/11/23
Revised:		

2	DP PERMITS	10/11/23
1	DEVELOPMENT PERMIT	6/10/22

Project:
HOSPITAL COMMONS
LOT A
 1388 BOUNDARY CRESCENT
 NANAIMO, B.C.

Drawing Title:
ELEVATIONS
 RECEIVED
 DP1277
 2023-OCT-06



21073-114-114
 Scale: 1/8"=1'-0"
 Drawn By:
 Checked By:
 Project Number: 2002
 Date: JAN. 2010
 Drawing Number:

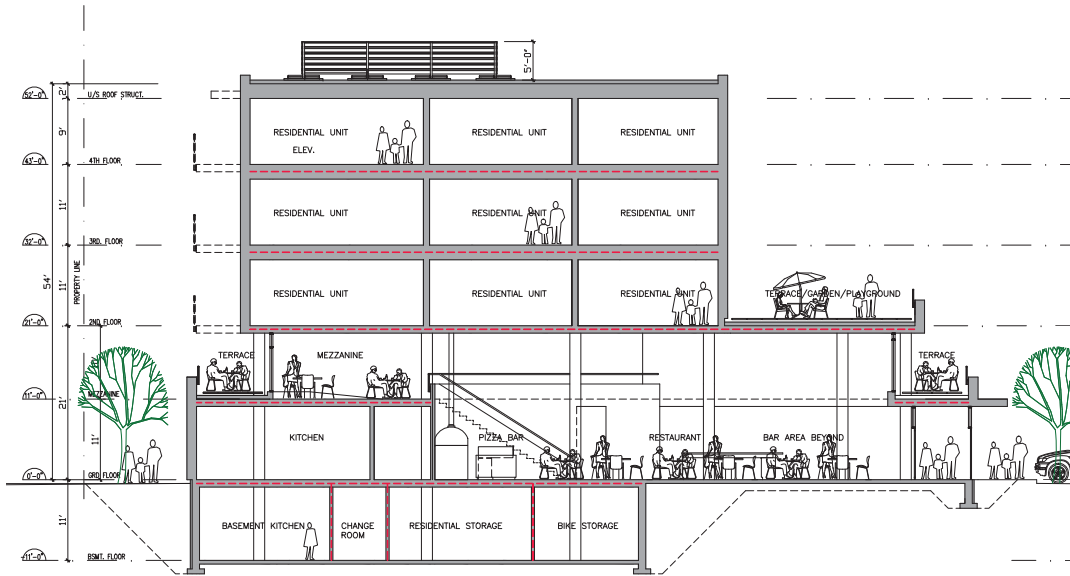
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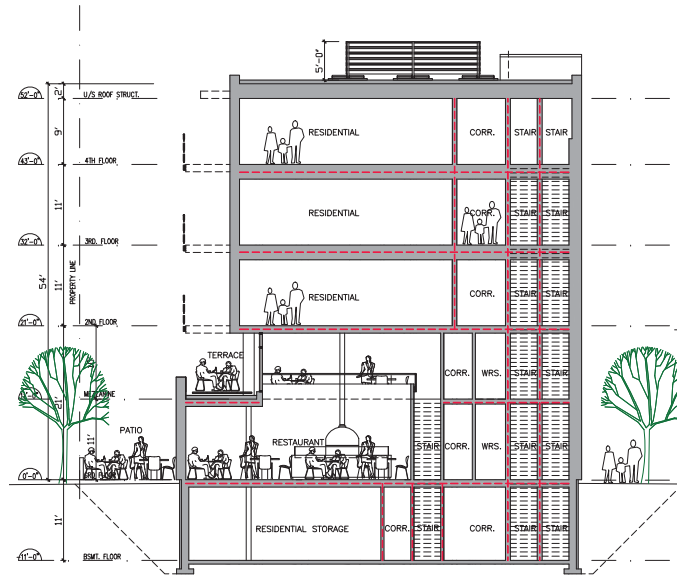
O.C.A. ARCHITECTURE INC.
 2724 W. 1st AVENUE, VANCOUVER BC V6K 1H3
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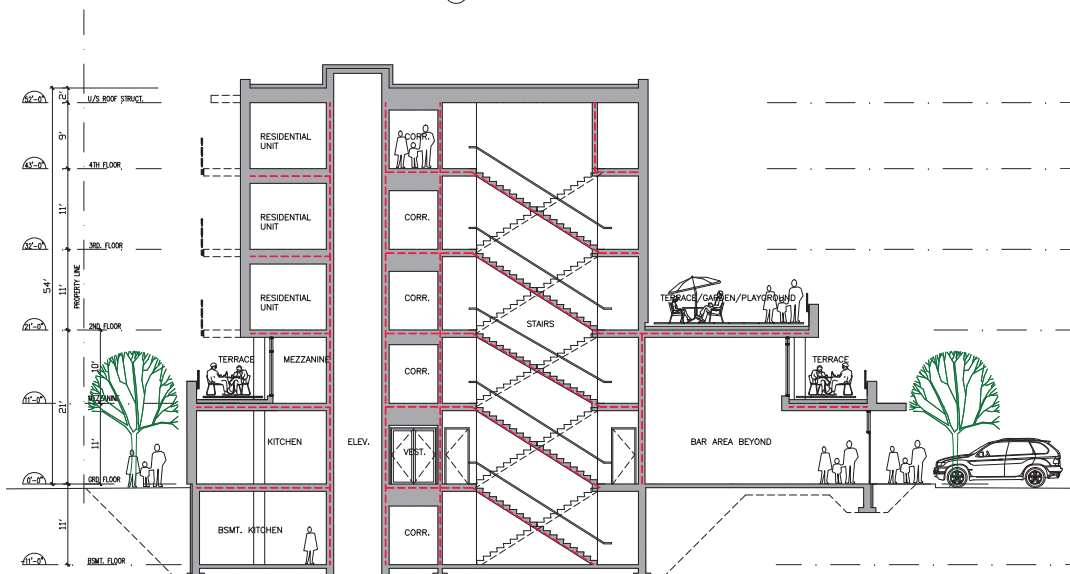
1	ADD COMMENTS	10/4/23
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1 BUILDING SECTION



2 BUILDING SECTION



3 BUILDING SECTION



4 MATERIAL & COLOUR BOARD

2	DP REVISION	10/4/23
1	DEVELOPMENT PERMIT	8/10/23

Project:
HOSPITAL COMMONS
LOT A
 1588 BOUNDARY CRESCENT
 NANAIMO, B.C.

Drawing Title:
BUILDING SECTIONS & MATERIALS

RECEIVED
 DP# 2772
 2023-OCT-06

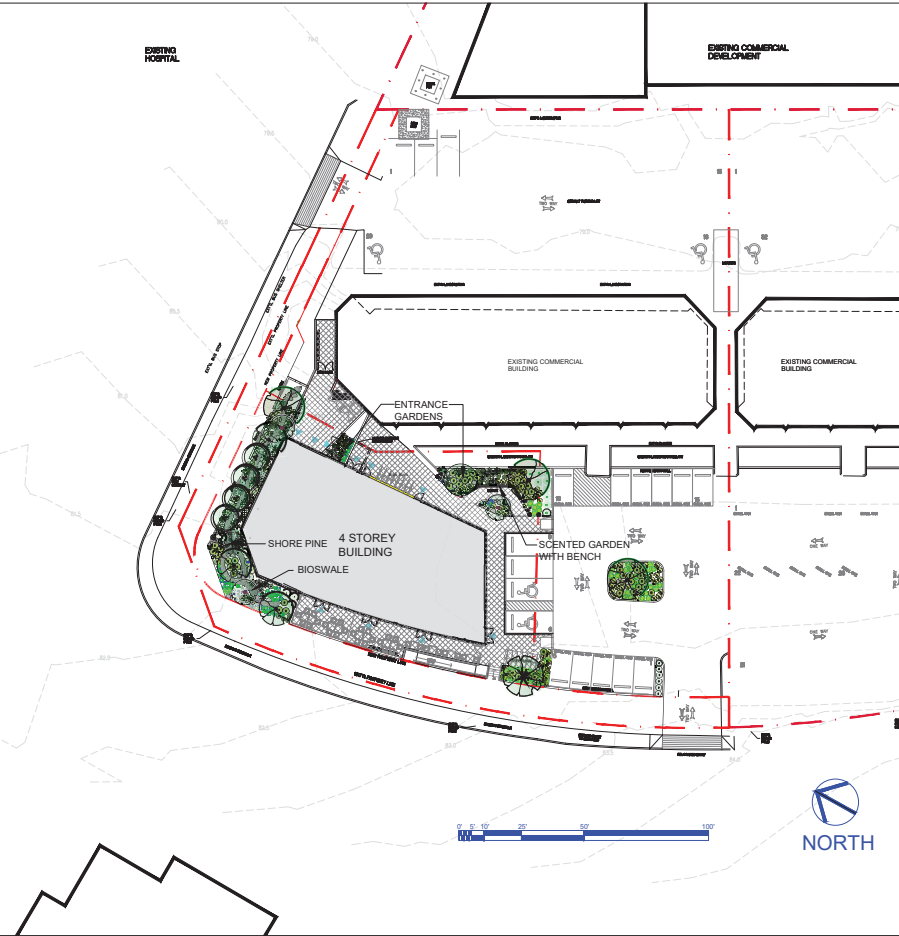


Scale: 1/8"=1'-0"
 Drawn By:
 Checked By:
 Project Number: 2022
 Date: JUN. 2020
 Drawing Number:

A04.1

HOSPITAL COMMONS LOT A - - - - - LANDSCAPE CONCEPT - - - - - 1588 BOUNDARY CRESCENT

DESIGN ELEMENTS



LANDSCAPE PLAN

For Planting Plan see L0.2

N.T.S.

- Bioswale Gardens:**
- Bioswale stormwater function
 - Dry stream bed/large rock features reflect regional character of Mt Benson
 - Layered/seasonal plantings for aesthetics and biodiversity
 - Plants selected according to aspect/microclimates
 - Shade plants on north side
 - Sun loving plants on the west side

- Entrance gardens:**
- A scented garden with seating
 - Canopy shade trees
 - Flowers and colours for each season

DESIGN DETAILS

DETAIL #1 - BIKE RACKS TO BE WISHBONE SBRP-7, OR EQUIVALENT



DETAIL #2 - BENCH TO BE WISHBONE BACKLESS WALL TOP, OR EQUIVALENT



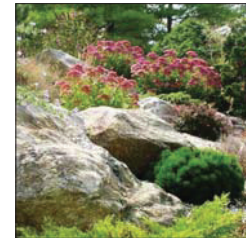
Shore Pine



Bioswale



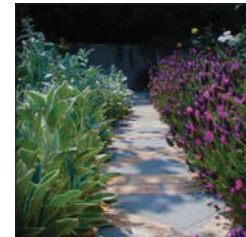
Shade plants for north facing gardens



Sun loving plants for south facing gardens



Clerodendrum



Scented plants

NOTES:
 ALL GRADES APPROXIMATE;
 TO BE CO-ORDINATED WITH
 CIVIL.

NOT FOR CONSTRUCTION

REVISIONS:

- Issued for DP Review - 2022Apr01
- Issued for DP - 2022Apr04
- Re-issued for DP - 2022Jun10
- CoN Comprehensive Letter - 2023Mar06
- CoN Comprehensive Letter - 2023Mar27
- Re-issued for DP - 2023Oct06



PROJECT:

HOSPITAL COMMONS LOT A

SITE LEGAL DESCRIPTION:
 1588 Boundary Crescent,
 Nanaimo, BC
 Lot 2, Section 1, District Lot 976,
 Newcastle reserve, Nanaimo District,
 Plan 27521

SHEET TITLE:
CONCEPTUAL LANDSCAPE DESIGN ELEMENTS

SCALE: AS NOTED DATE: MAR. 30, 2022
 DRAWN: DR CHECKED: VJD
 PROJECT NUMBER: HC LOT A 2022
 DRAWING NUMBER:

L0.1/DP

MUN. DWG#:

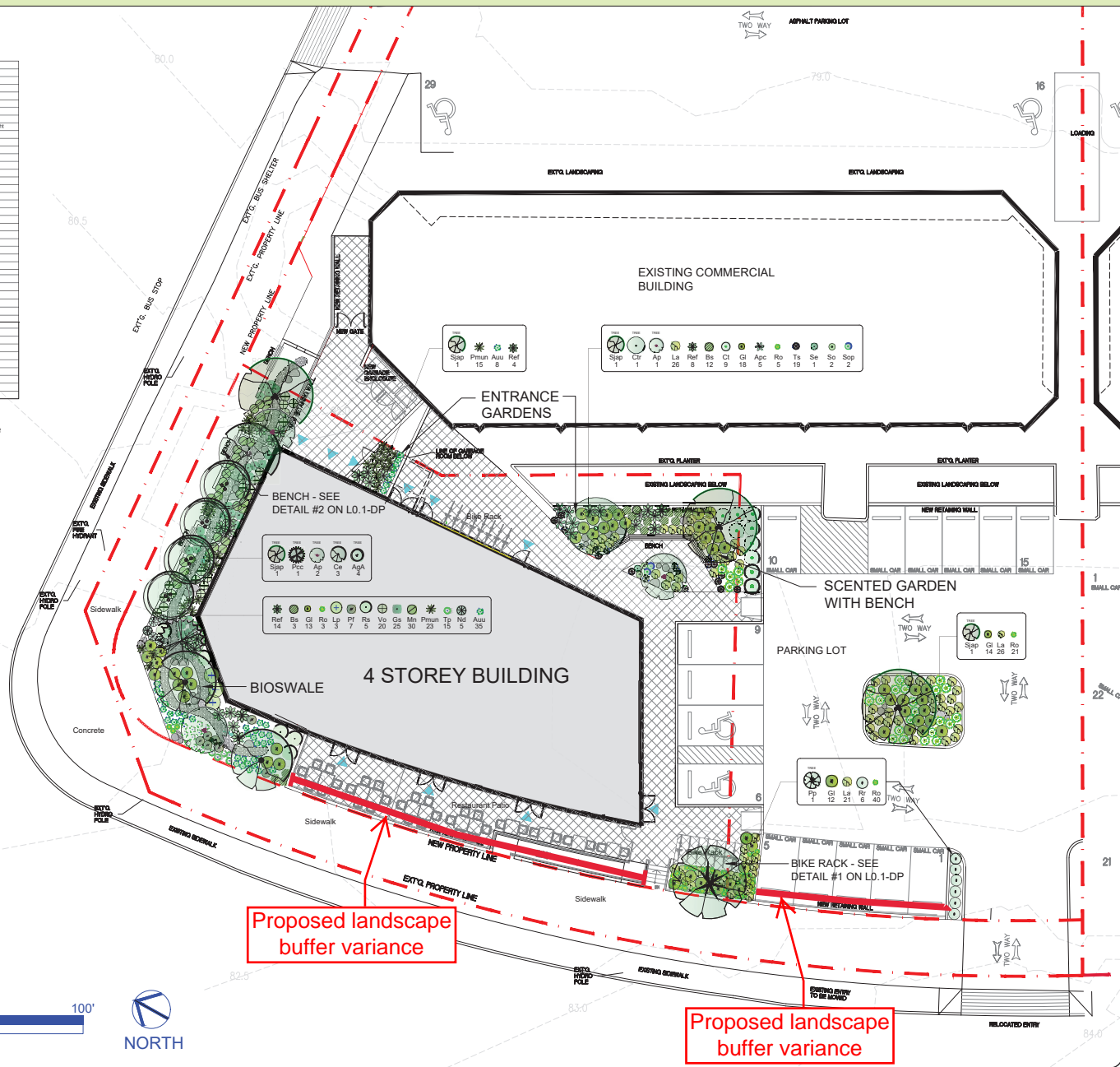


HOSPITAL COMMONS LOT A - - - - - LANDSCAPE CONCEPT - - - - - 1588 BOUNDARY CRESCENT

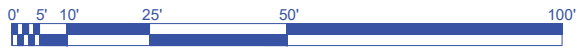
PLANT PALETTE

Key	Qty	Botanical Name	Common Name	Pot Size	Spacing
Deciduous Trees					
Ap	3	Acer palmatum	Japanese Maple	2.5m	medium
AgA	4	Amelanchier grandiflora Autumn Brilliance®	Sarcocherry	10 gal	
Cr	1	Cornus alternifolia	Flowering Dogwood	25 gal	
Ca	3	Cornus alba white wonder	Edible White Wonder Dogwood	6 cm cal	spacing 1.8m
Pp	1	Parrotia persica	Persian Ironwood	6 cm cal	spacing 1.8m branching fr.
Sp	3	Shyrax asperica	Snowball Tree	6 cm cal	
Coniferous Trees					
Poc	1	Pinus contorta contorta	Shore Pine	1.5m	
Deciduous Shrubs					
Pr	7	Potentilla fruticosa	Potentilla	#1	
Rr	6	Rosa rugosa	Shrub Rose	#1	
Hs	5	Hibes sanguineum	Red flowering Currant	#1	
Evergreen Shrubs					
ApC	5	Artemisia Foeniculis	Pineapple Sage	#1	
Bs	15	Buxus sempervirens	Boxwood (green variety)	#2	
Cl	19	Chrysothamnus	Mexican Orange Blossom	#1	
Lp	3	Lonicera caerulea	Blueberry Hydrangea	#1	
Raf	26	Rhododendron Elae Fry	Elae Fry Rhododendron	#2	3'x' flagrant whitepink
Vs	20	Vaccinium corymbosum	Evergreen Huckleberry	#1	
Evergreen Groundcovers					
Aur	43	Actinophylos ulex ulex	Kinnikinnick	10 cm	
Sk	25	Saxifraga oppositifolia	Saxif	#1	
Ma	30	Mahonia repens	Dwarf Oregon Grape	#1	
Pinu	38	Polystichum munitum	Sword Fern	#1	
Shrubs perennials groundcovers					
Gl	57	Galium aparine	Spotted plant	#1	
La	73	Lavandula angustifolia	Lavender	#1	
Nd	5	Nepeta sibirica	Catmint	#1	
Ro	69	Rosmarinus officinalis	Rosemary	#1	
Se	1	Salvia elegans	French Sage	#1	
So	2	Salvia officinalis	Common Sage	#1	
Sop	2	Salvia officinalis Purpurascens	Purple Leaved Sage	#1	
Th	15	Thymus pseudolanuginosus	Woolly Thyme	10 cm	
Tr	19	Thymus serpyllum Magic Carpet	Creeper Thyme	10 cm	

NOTE: The plants for this scheme will be chosen from the Plant Palette as appropriate. Not all plants will necessarily be used and others may be substituted depending on availability and suitability. The plant numbers are based on the conceptual plan and may change during the development of the Building Permit drawing.



LANDSCAPE PLAN
Scale: 3/32" = 1'-0"



NOTES:
ALL GRADES APPROXIMATE.
TO BE CO-ORDINATED WITH
CIVIL.

NOT FOR
CONSTRUCTION

REVISIONS:

- Issued for DP Review - 2022Apr01
- Issued for DP - 2022Apr04
- Re-issued for DP - 2022Jun10
- CoN Comprehensive Letter - 2023Mar06
- CoN Comprehensive Letter - 2023Mar27
- Re-issued for DP - 2023Oct06



PROJECT:
**HOSPITAL
COMMONS
LOT A**

SITE LEGAL DESCRIPTION:
1588 Boundary Crescent,
Nanaimo, BC
Lot 2, Section 1, District Lot 976,
Newcastle reserve, Nanaimo District,
Plan 27521

SHEET TITLE:
**CONCEPTUAL
LANDSCAPE
DESIGN SCHEME**

SCALE: AS NOTED DATE: MAR. 30, 2022
DRAWN: DR CHECKED: VJD

PROJECT NUMBER: HC LOT A 2022
DRAWING NUMBER:

L0.2/ DP
MUN. DWG#: