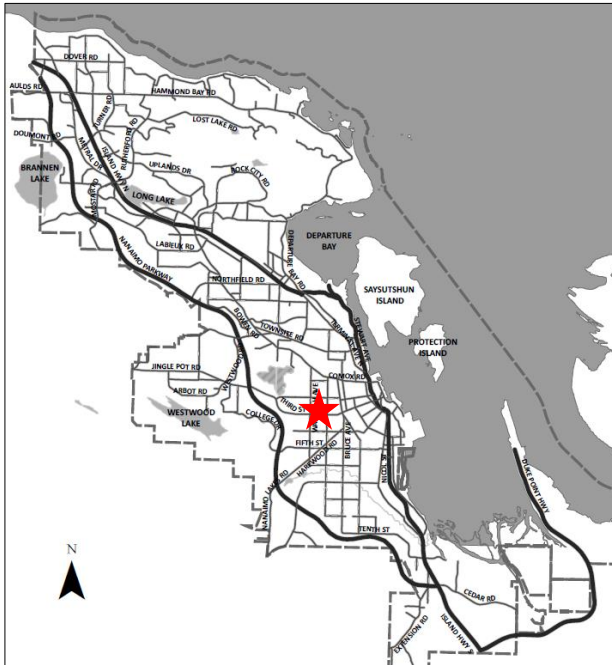


DATE OF MEETING | December 18, 2023

AUTHORED BY | CALEB HORN, PLANNER, CURRENT PLANNING

SUBJECT | **DEVELOPMENT PERMIT APPLICATION NO. DP1275 – 325 WATFIELD AVENUE**



Proposal:

A 171-unit multi-family residential development

Zoning:

COR2 – Mixed Use Corridor

City Plan Land Use Designation:

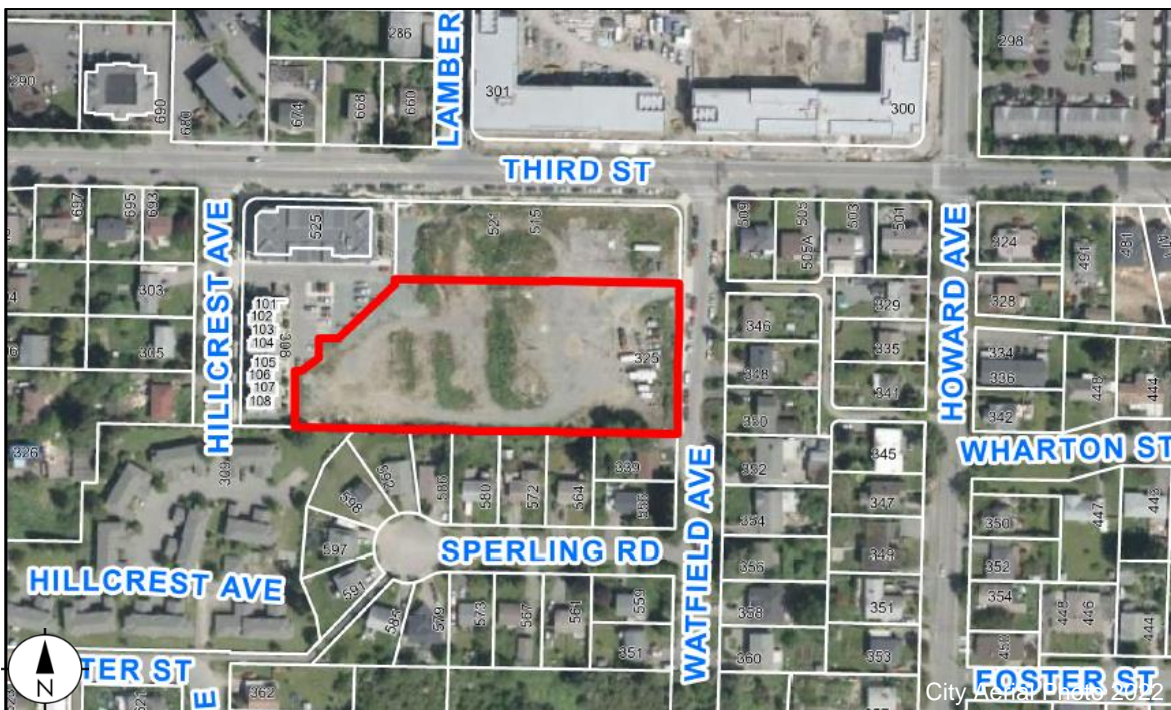
Mixed-Use Corridor

Development Permit Areas:

DPA8 – Form and Character

Lot Area:

9,241m²



OVERVIEW

Purpose of Report

To present for Council's consideration a development permit application for a multi-family residential development at 325 Watfield Avenue.

Recommendation

That Council issue Development Permit No. DP1275 for a multi-family residential development at 325 Watfield Avenue.

BACKGROUND

A development permit application, DP1275, was received from Ironclad Developments Inc. to permit a multi-family residential development with two buildings and a combined total of 171 dwelling units at 325 Watfield Avenue. The site was previously associated with the mixed-use development at 525 Third Street where the first two phases were completed in 2019 and 2020 (DP1049). The subject property was later subdivided from that project in 2022.

The development concept under DP1049 originally included a 218-bed student housing building and 10 residential townhouse units on the portion of the site now addressed as 325 Watfield Avenue, but the current owner is not pursuing this concept and is proposing to replace it through DP1275. Two remaining mixed-use phases of DP1049 are expected to be completed at 515 Third Street, to the north of the development parcel.

Subject Property and Site Context

The subject property is located in the Harewood Neighbourhood. The lot is on the west side of Watfield Avenue just south of Third Street, and is irregularly shaped with an approximate width of 60m and approximate depth of 150m. The site is presently vacant and slopes downhill by approximately 9m from east to west.

The surrounding neighbourhood consists of a mix of residential and commercial uses. Adjacent land uses include townhouses on Hillcrest Avenue to the west (DP1049 Phase 1), a 4-storey mixed-use building to the northwest (DP1049 Phase 2), a 4-storey mixed-use development across Third Street to the north with 181 dwelling units (DP1126), and single residential dwellings to the east along Watfield Avenue and to the south along Sperling Road.

Nearby amenities (and approximate distances from the site) include a recently dedicated and undeveloped park at 361 Howard Avenue (150m southeast), Nanaimo District Secondary School (200m west), the Nanaimo Aquatic Centre (300m west), Fairview Elementary School (400m north), the Nanaimo Ice Centre (450m west), and Vancouver Island University (500m southwest).

DISCUSSION

Proposed Development

The proposed development consists of two 6-storey multi-family rental residential buildings with a combined total of 171 dwelling units. The proposed unit composition is as follows:

Unit Type	Building 1	Building 2	Total	Approximate Sizes
Studio	5	16	21	35m ²
One-Bedroom	18	45	63	55m ² - 68m ²
Two-Bedroom	34	33	67	80m ² - 92m ²
Three-Bedroom	10	10	20	96m ² - 112m ²
Total	67	104	171	

The proposed gross floor area of Building 1 is 6,244m² and the proposed gross floor area of Building 2 is 8,808m², for a combined total of 15,052m². The total Floor Area Ratio (FAR) will be 1.63, which is below the maximum permitted FAR of 1.70 for this development. The base maximum FAR for the COR2 zone is 1.25 and the applicant is proposing to achieve an additional 0.25 FAR through the provision of amenities as outlined in ‘Schedule D – Amenity Requirements for Additional Density’ of the “City of Nanaimo Zoning Bylaw 2011 No. 4500” (the “Zoning Bylaw”) and an additional 0.20 FAR by providing 80% of the required parking underground.

The applicant is proposing to meet Tier 1 in ‘Schedule D’ by providing amenities including the following:

- electric vehicle (EV) charging stations for 50% of all parking stalls;
- a pedestrian trail across the site for public use;
- exceeding the BC Energy Step Code by one step; and
- educational signage regarding sustainable energy management practices.

Site Design

Building 1 will be sited in the west portion of the lot, parallel with the rear property line. Building 2 will be L-shaped and sited closer to Watfield Avenue. The primary vehicular access to the site will be from a private drive aisle (via reciprocal access agreement) across 525 and 515 Third Street which will connect to Hillcrest Avenue and Watfield Avenue. This access will lead to a small surface parking lot between the two buildings and ramps to two levels of underground parking connecting both buildings. An additional surface parking lot, adjacent to Building 2, will be accessed from Watfield Avenue. All required parking will be provided on-site including 44 surface parking stalls and 172 underground parking stalls. The proposed parking is largely underground and where it is at-grade it is broken into smaller areas next to and behind buildings, in accordance with the General Development Permit Area Design Guidelines (“General Design Guidelines”).

The principal entry for Building 2 will face Watfield Avenue, accessed by a staircase and ramp due to a grade change. A concrete pedestrian path along the north side of Building 2 will connect Watfield Avenue to the principal entry for Building 1 in the interior of the site. An additional future pedestrian connection will be secured from Third Street across 515 Third Street. A public pedestrian trail along the south property line with a minimum width of 2.0m will be secured by a Statutory Right-of-Way (SRW) for a future anticipated connection to Hillcrest Avenue. Private pedestrian connections between the SRW and both buildings are proposed.

Outdoor amenity areas include a patio and children's play area to the south of Building 1, and a rooftop amenity space on the fourth floor of Building 2. Dark-sky compliant bollard lighting is proposed throughout the site along walkways and around amenity spaces. A refuse room is proposed in Building 2 that will open towards the parking lot between both buildings. Short-term bicycle parking is proposed outside of the entries for both buildings, and long-term bicycle parking with a bike repair station is proposed in the lower underground parking level.

Building Design

The proposed buildings are contemporary in design with architectural elements expressing the residential use. Both buildings will feature a rhythm of massing created by framed blocks and recesses to break up the horizontal roofline. The proposed building heights are between 14.0m and 14.3m, below the maximum building height of 18.0m permitted in the COR2 zone for a development with underground parking.

Building 1 (the west building) is 6-storeys in height except for the southernmost portion where it is stepped down to 5-storeys. This building is sited at a 45 degree angle away from the south property line to maximize building separation from neighbouring single residential dwelling properties to the south and 3-storey townhouses to the west. Building 2 (the east building) is 5-storeys in height except on the west elevation, facing the internal parking area, where it presents a 6-storey elevation with the exposed upper parking level. The L-shaped building steps down to 4-storeys on its south wing to reduce overlook to neighbouring properties. The buildings are set back more than 6m from the south side lot line and have minimal openings or balconies facing lower density neighbours, as recommended by the Harewood Neighbourhood Plan Urban Design Framework and Guidelines (the "Harewood Urban Design Guidelines"). All units will include outdoor balconies or patios.

Exterior building materials will consist of different shades of smooth cementitious panel, wood-like lap siding, and manufactured stone cladding. The material palette will be accented by aluminum framed ground-level windows, aluminum railings, and white soffits. The principal entry lobbies of both buildings will be highlighted by two-storey-high windows. Indoor amenity spaces for residents are proposed in both buildings, in addition to the outdoor amenity areas.

Landscape Design

The proposed landscape design distributes planting throughout the site including at the Building 2 entry facing Watfield Avenue, along the public walkway, at the drive aisle entry to the central parking lot, and to the west of Building 1 alongside a stormwater detention area. Trees proposed on-site include a mix of evergreen and deciduous species, with some ornamental types. Along the south property line, a wood fence and low hedge interspersed with Beech trees will provide a screen for the public walkway. Climbing vines (Virginia creeper) are proposed along the south elevations of both buildings to soften views from adjacent rear yards.

The rooftop amenity space on Building 2 will include planter boxes along the southern edge to provide screening and mitigate overlook impacts on adjacent properties. Feature ornamental boulders are proposed to highlight the vehicle entry on Watfield Avenue. Retaining walls will be used to manage grade changes to the west of Building 1 and to the south of Building 2.

Design Advisory Panel

The Design Advisory Panel (DAP), at its meeting held on 2022-JUL-28, accepted DP1275 as presented and provided eight recommendations. The applicant subsequently responded to the DAP recommendations on 2023-JUL-26 as outlined below.

DAP Recommendation	Applicant Response
Consider adding canopies over the main entrances of both building.	The main entries for both buildings have been revised to include 1.2m overhangs.
Consider ways to cover all upper floor balconies.	The uppermost balconies have been revised to include 1.2m overhangs.
Consider ways to increase outdoor amenity space.	The outdoor amenity area between the buildings has been expanded by relocating the refuse enclosure to the upper parking level.
Consider stepping back the height of Building 1 on the southwest corner, in keeping with the neighbourhood plan.	Building 1 originally had a 6-storey massing for its entire length, and the building design has been revised to step down to 5-storeys closest to the south property line.
Consider increasing the density of trees to mitigate the hard surfaces, and add more trees along the pedestrian walkway.	The applicant and landscape architect reviewed options for the landscape buffer and determined that the shrub hedge with interspersed trees was best suited for the site.
Consider ways to reduce hard surfaces by adding more plant material.	More plant materials have been added to the interior of the site with the relocation of the refuse enclosure.
Consider an alternate material for the play area surface.	The applicant considered alternate options for the playground but ultimately decided that a rubberized surfacing was best suited for the site.
Consider moving garbage to the garage.	The refuse area has been relocated indoors.

Staff have accepted the applicant's response to the DAP recommendations, and are of the opinion that the proposed development is in substantial compliance with the applicable General Design Guidelines and the Harewood Urban Design Guidelines. No variances are requested. |

SUMMARY POINTS

- Development Permit Application No. DP1275 is for a multi-family residential development with two buildings and a combined total of 171 dwelling units at 325 Watfield Avenue.
- The proposed development is in substantial compliance with the applicable General Development Permit Area Design Guidelines and the Harewood Urban Design Guidelines.
- No variances are requested. |

ATTACHMENTS

ATTACHMENT A:	Permit Conditions
ATTACHMENT B:	Subject Property Map
ATTACHMENT C:	Site and Parking Plans
ATTACHMENT D:	Building Elevations and Details
ATTACHMENT E:	Building Renderings
ATTACHMENT F:	Site Sections
ATTACHMENT G:	Shadow Study
ATTACHMENT H:	Landscape Plan and Details
ATTACHMENT I:	Schedule D – Amenity Requirements for Additional Density

Submitted by:

Lainya Rowett
Manager, Current Planning

Concurrence by:

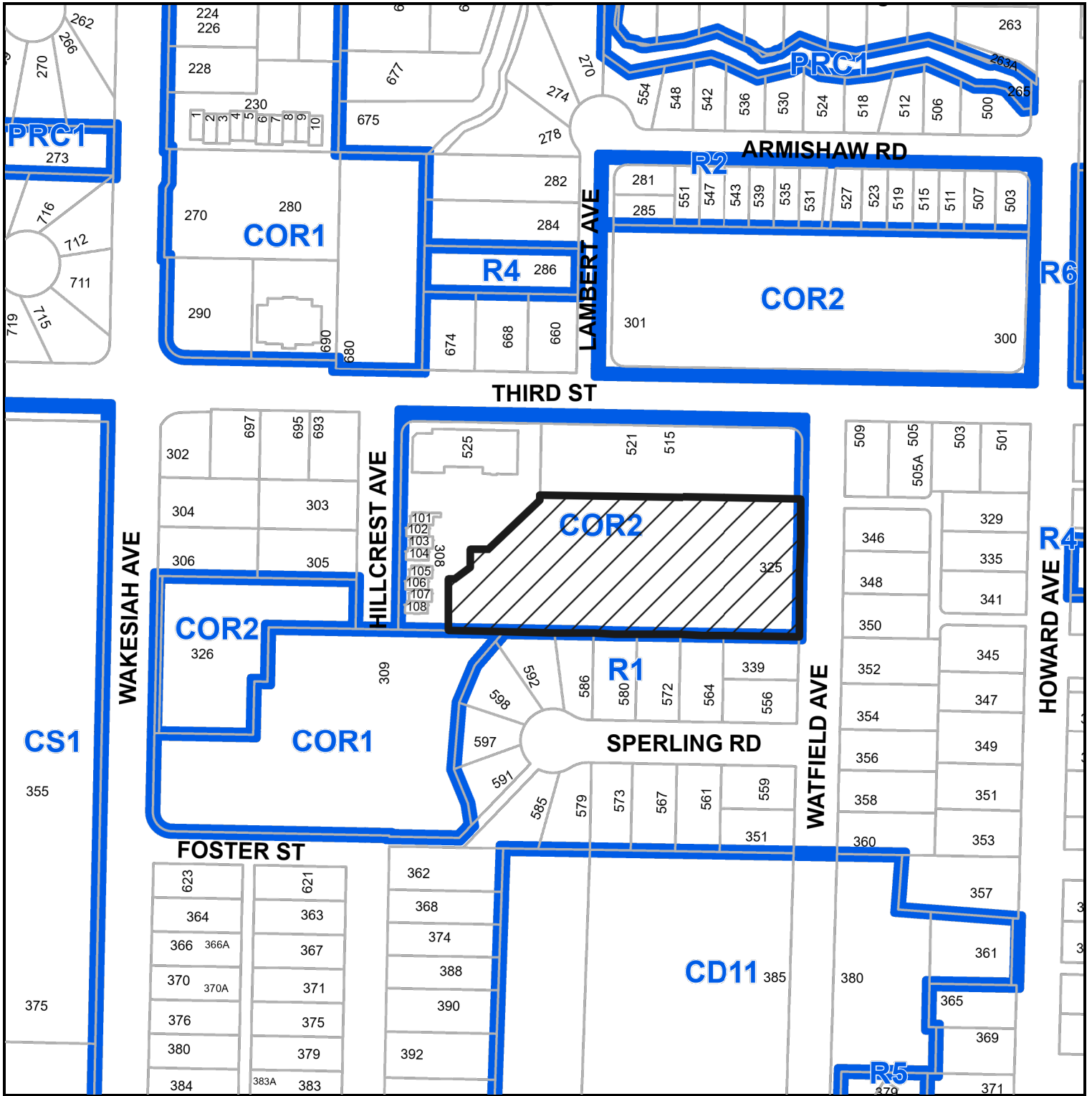
Jeremy Holm
Director, Planning & Development

ATTACHMENT A PERMIT CONDITIONS

CONDITIONS OF PERMIT

1. The subject property is developed in substantial accordance with the Site and Parking Plans prepared by RJSJG Architect, dated 2023-NOV-07 as shown on Attachment C.
2. The development is in substantial compliance with the Building Elevations and Details prepared by RJSJG Architect, dated 2023-NOV-07, as shown on Attachment D.
3. The development is in substantial compliance with the Site Sections prepared by RJSJG Architect, dated 2023-NOV-07, as shown on Attachment F.
4. The development is in substantial compliance with the Landscape Plan and Details prepared by Lazzarin Svisdahl Landscape Architects, dated 2023-JUL-07 and 2023-NOV-29, as shown on Attachment H.
5. The subject property is developed in accordance with the 'Schedule D – Amenity Requirements for Additional Density' prepared Ironclad Developments Inc., received 2022-JUN-02, as shown in Attachment I, and to include the following items:
 - A letter from the coordinating professional submitted prior to building permit issuance outlining how the required items for additional density will be achieved; and
 - A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.
6. Registration of a Statutory Right-of-Way with an approximate width of 3.0m, prior to building occupancy, for a 2.0m-wide public walkway along the south property line generally as shown on Attachment C.

ATTACHMENT B SUBJECT PROPERTY MAP



325 Watfield Ave.

ATTACHMENT C SITE AND PARKING PLANS

515 Third Street



SEAL:



No	Date	REVISION
6		
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2	07/11/2023	Re-Submission
1	30/06/2023	Submission

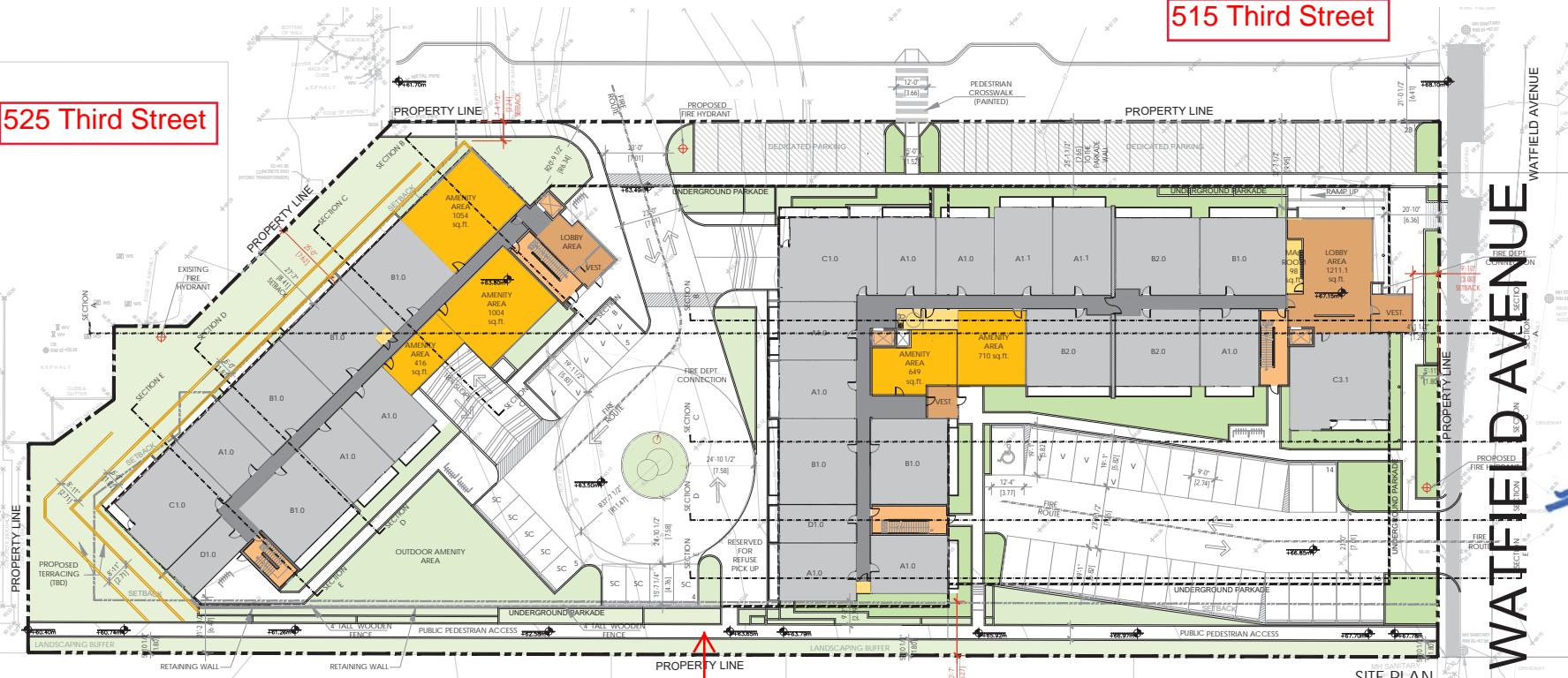
Project Number: 2104
Designed By: J.P.M.
Drawn By: D.D./A.M.
Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

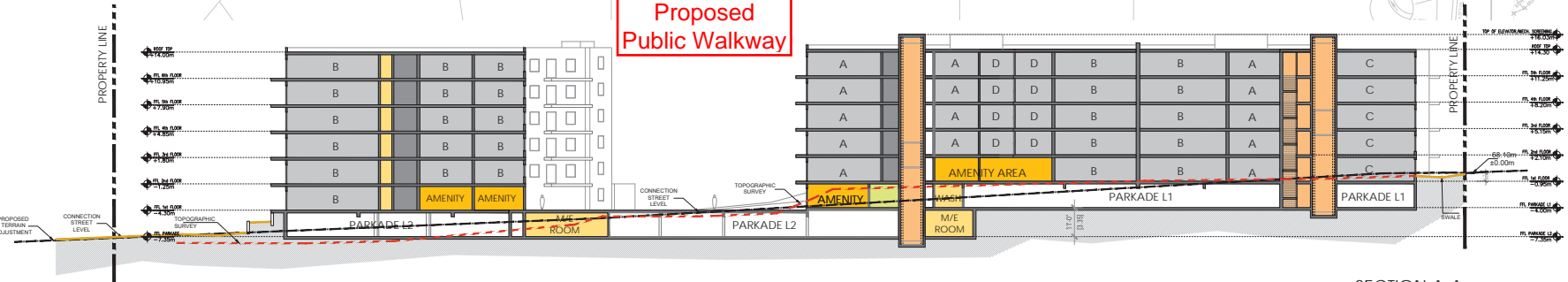
DEVELOPMENT PERMIT
APPLICATION SET

SITE PLAN
SCALE: 1:500
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DP1275
DP02 2023-NOV-14
Current Planning

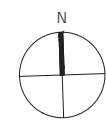
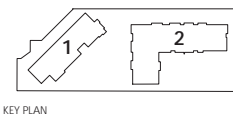
525 Third Street



Proposed
Public Walkway



NOTES:

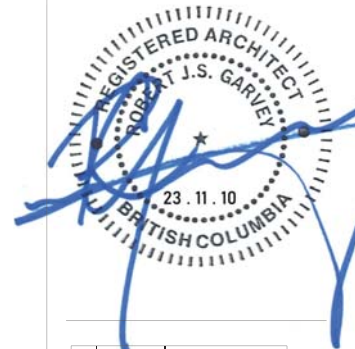


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SEAL:



No.	Date	REVISION
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2	07/11/2023	Re-Submission
1	30/06/2023	Submission

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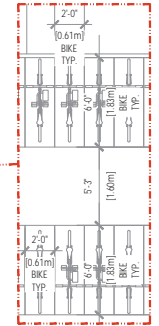
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PARKADE LEVEL 1

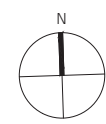
PARKADE LEVEL 2



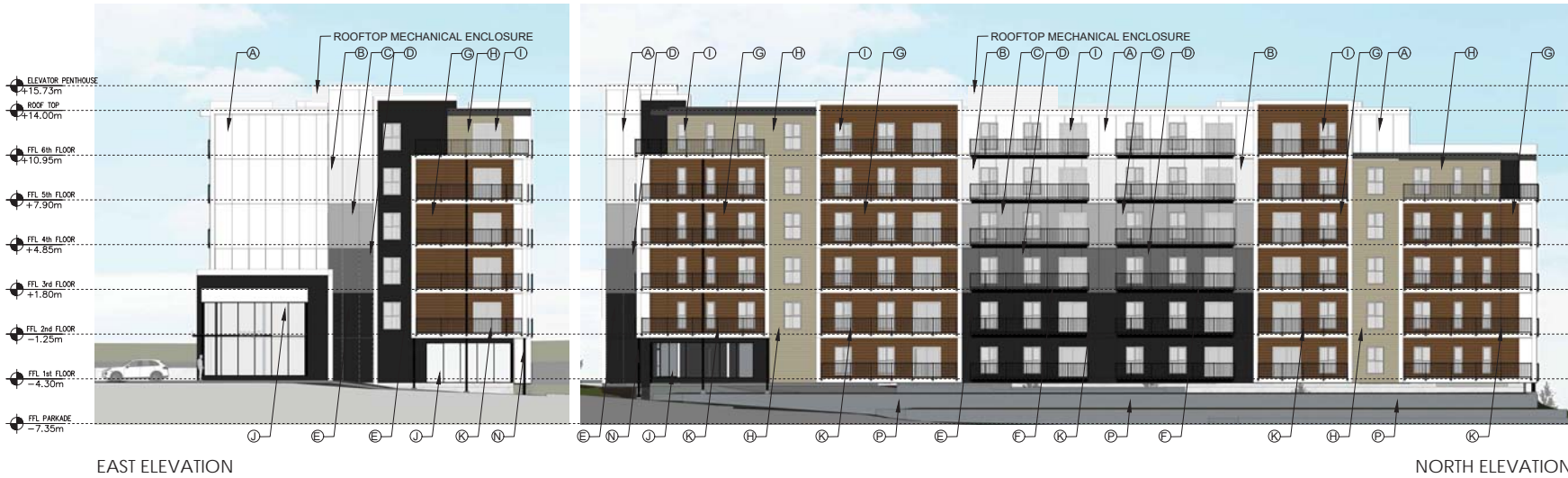
MINIMUM BIKE CLEARANCE, TYPICAL

NOTES:

- AMENITY AREA
- STORAGE
- VERTICAL CIRCULATION
- LOBBY/ENTRANCE AREA
- SUPPORTING SPACES
- CORRIDOR
- PEDESTRIAN WALKWAY
- V - VISITOR PARKING
- SC - SMALL CAR PARKING



ATTACHMENT D BUILDING ELEVATIONS AND DETAILS



EAST ELEVATION

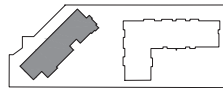
NORTH ELEVATION



SOUTH ELEVATION

WEST ELEVATION

NOTES:
STAIRWELL WINDOWS WILL HAVE AN INTERNAL GUARDRAIL AT 42" AFF



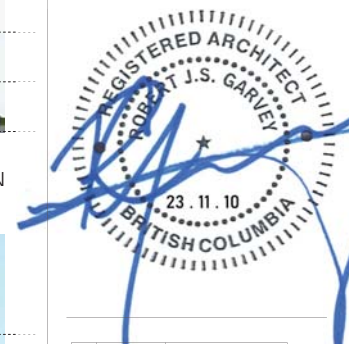
KEY PLAN

LEGEND

- Ⓐ JAMES HARDIE, PANEL, SMOOTH - ARCTIC WHITE
- Ⓑ JAMES HARDIE, PANEL, SMOOTH - LIGHT MIST
- Ⓒ JAMES HARDIE, PANEL, SMOOTH - GRAY SLATE
- Ⓓ JAMES HARDIE, PANEL, SMOOTH - NIGHT GRAY
- Ⓔ JAMES HARDIE, PANEL, SMOOTH - IRON GRAY
- Ⓕ JAMES HARDIE, PANEL, SMOOTH - MIDNIGHT BLACK
- Ⓖ HARDIE LAP SIDING- CEDARMILL-FISCHER 2.0 CHRIS CRAFT (CUSTOM PAINT)
- Ⓗ HARDIE LAP SIDING- MONTEREY TAUPE
- Ⓘ PVC FRAMED WINDOWS WITH CLEAR GLASS (COLOR TO MATCH ELEVATIONS)
- Ⓛ ALUMINUM STORE FRONT- BLACK FRAME WITH CLEAR GLASS (COLOR TO MATCH ELEVATIONS)
- Ⓜ ALUMINUM PICKET RAILING -BLACK
- Ⓝ EL DORADO STONE, MANUFACTURED STONE, NICKEL ZEN24 (PLEASE REFER TO IXL WEBSITE FOR DETAILS)
- Ⓟ SOFFITS, FACIA AND GUTTER- ARCTIC WHITE
- Ⓠ 6" ROUND STRUCTURAL COLUMN- COLOR, REFER TO ELEVATIONS
- Ⓡ CAST IN PLACE CONCRETE



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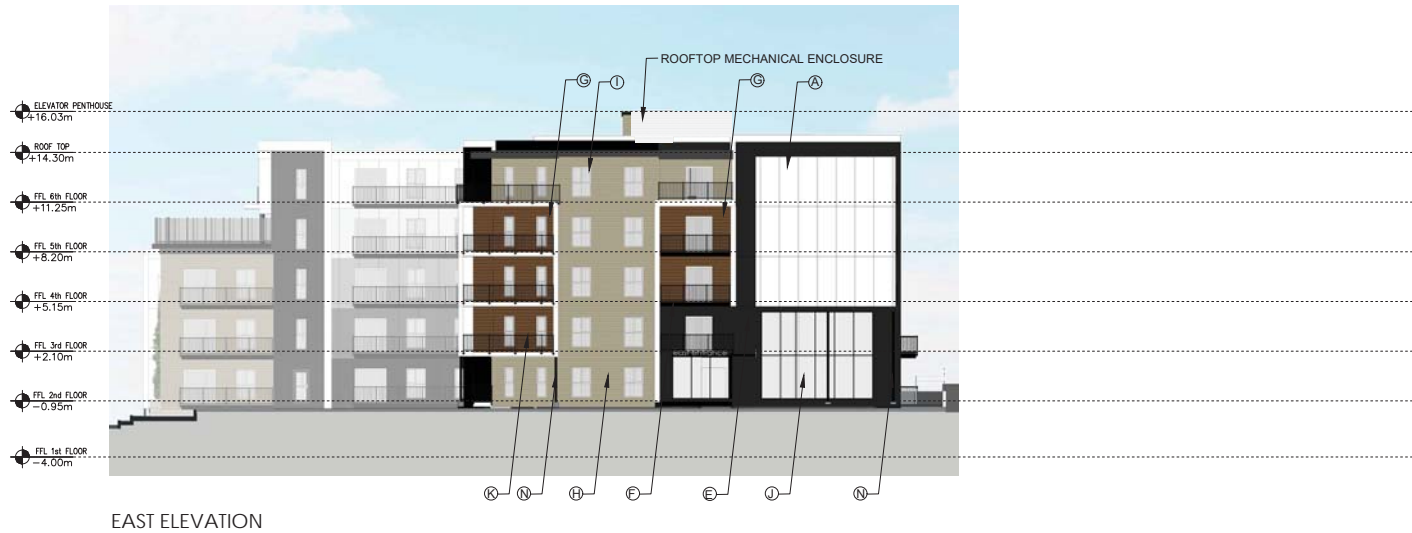
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Harbour Hills,
325 Watfield Avenue,
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DEVELOPMENT PERMIT
APPLICATION SET

BUILDING 1- ELEVATIONS
SCALE: 1:300

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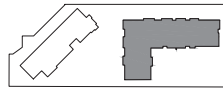


EAST ELEVATION



SOUTH ELEVATION

NOTES:
STAIRWELL WINDOWS WILL HAVE AN INTERNAL GUARDRAIL AT 42" AFF



KEY PLAN

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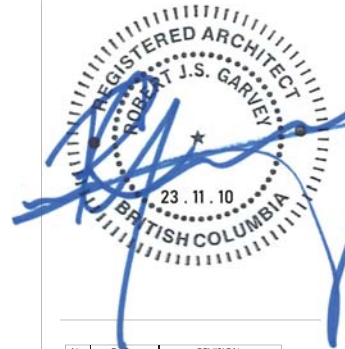
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SEAL:



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Harbour Hills,
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Nanaimo, BC;

DEVELOPMENT PERMIT
APPLICATION SET

BUILDING 2- ELEVATIONS
SCALE: 1:300

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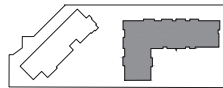


NORTH ELEVATION



WEST ELEVATION

NOTES:
STAIRWELL WINDOWS WILL HAVE AN INTERNAL GUARDRAIL AT 42" AFF



KEY PLAN

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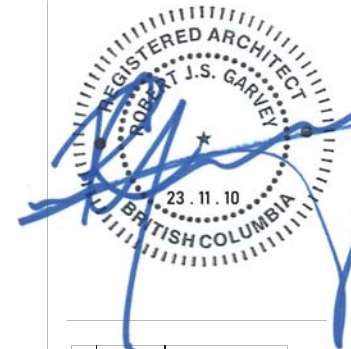
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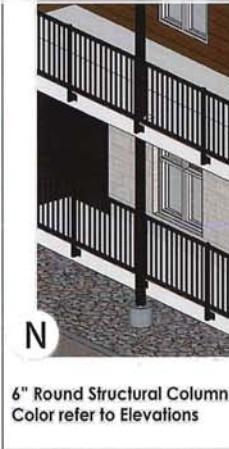
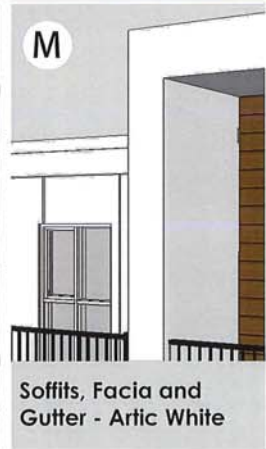
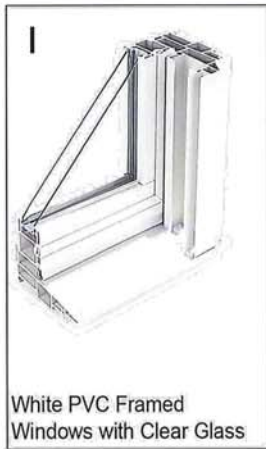
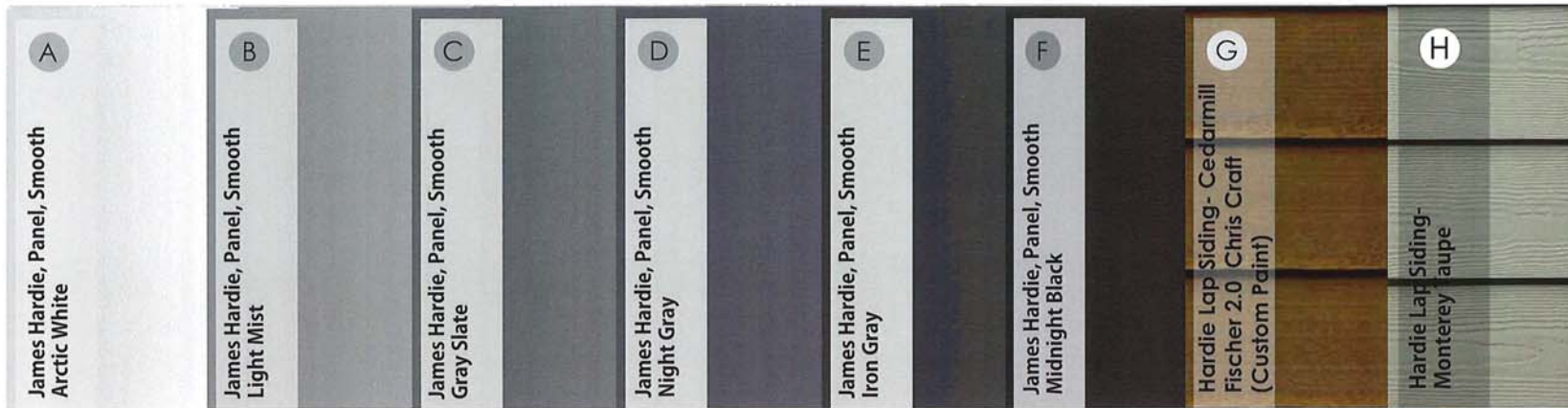
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Drawn By: D.D./A.M.
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Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

DEVELOPMENT PERMIT
APPLICATION SET

BUILDING 2- ELEVATIONS
SCALE: 1:300

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DP12 2023-NOV-14
Current Planning



NOTES:

LEGEND

- (A) JAMES HARDIE, PANEL, SMOOTH - ARCTIC WHITE
- (B) JAMES HARDIE, PANEL, SMOOTH - LIGHT MIST
- (C) JAMES HARDIE, PANEL, SMOOTH - GRAY SLATE
- (D) JAMES HARDIE, PANEL, SMOOTH - NIGHT GRAY
- (E) JAMES HARDIE, PANEL, SMOOTH - IRON GRAY
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- (H) HARDIE LAP SIDING- MONTEREY TAUPE
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- (L) ELDORADO STONE, MANUFACTURED STONE, NICKEL ZEN24 (PLEASE REFER TO IXL WEBSITE FOR DETAILS)
- (M) SOFFITS, FACIA AND GUTTER- ARCTIC WHITE
- (N) 6" ROUND STRUCTURAL COLUMN- COLOR, REFER TO ELEVATIONS

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M.A.A., M.B.C., LEED AP
201-57158 SYMINGTON RD 205
SPRINGFIELD, MB R2J 4L5
T: 204-777-1974
E: RGARVEY@RJSG.CA

SEAL:



No.	Date	REVISION
6		
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3		
2	21/07/2023	Re-Submission
1	30/06/2000	Submission

Project Number: 2104
Designed By: J.P.M.
Drawn By: D.D./A.J.M./G.P.
Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

DEVELOPMENT PERMIT
APPLICATION SET

MATERIALS
SCALE: N.T.S.

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DP1275
DP13 2023-JUL-26
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ATTACHMENT E BUILDING RENDERINGS



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2	07/11/2023	Re-Submission
1	30/06/2023	Submission

Project Number: 2104
Designed By: J.P.M.
Drawn By: D.D./A.M.
Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

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ARTISTIC RENDERING
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1	30/06/2023	Submission

Project Number: 2104
 Designed By: J.P.M.
 Drawn By: D.D./A.M.
 Checked By: R.G.

Harbour Hills,
 325 Watfield Avenue,
 Nanaimo, BC;

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IRONCLAD DEVELOPMENTS INC.
 101-57158 Symington Road
 Springfield, MB R2J 4L6
 Ph: 204-777-1972
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Consultant
RJSG ARCHITECT
 ROB J.S. GARVEY, ARCHITECT
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1	30/06/2023	Submission

Project Number: 2104
 Designed By: J.P.M.
 Drawn By: D.D./A.M.
 Checked By: R.G.

Harbour Hills,
 325 Watfield Avenue,
 Nanaimo, BC;

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ARTISTIC RENDERING
 SCALE: N.T.S.

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1	30/06/2023	Submission

Project Number: 2104
 Designed By: J.P.M.
 Drawn By: D.D./A.M.
 Checked By: R.G.

Harbour Hills,
 325 Watfield Avenue,
 Nanaimo, BC;

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ARTISTIC RENDERING
 SCALE: N.T.S.

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**IRONCLAD
DEVELOPMENTS INC.**

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Springfield, MB R2J 4L6
Ph: 204-777-1972
info@icdev.ca

Consultant



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MAN. REG. LICENSE # P
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3		
2	07/11/2023	Re-Submission
1	30/06/2023	Submission

Project Number: 2104
Designed By: J.P.M.
Drawn By: D.D./A.M.
Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

DEVELOPMENT PERMIT
APPLICATION SET

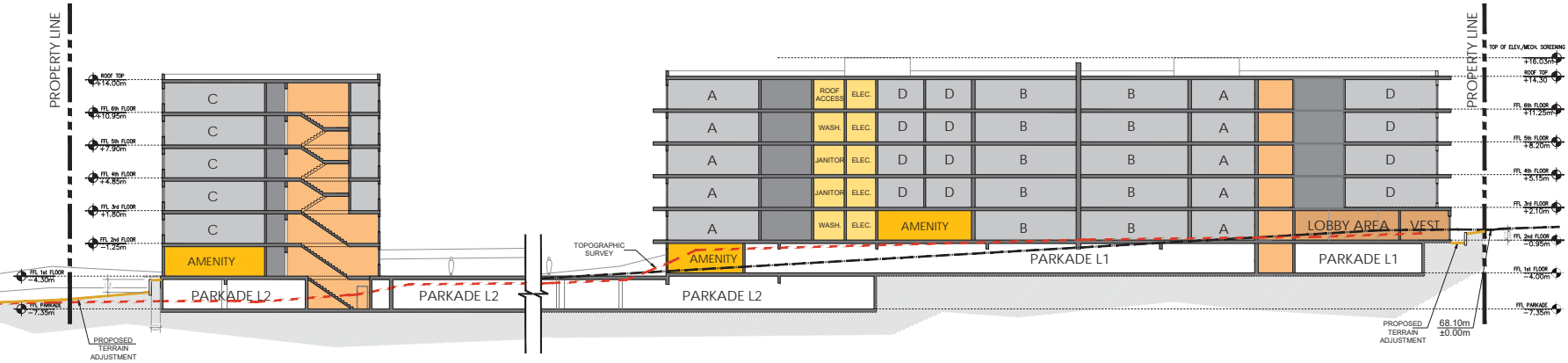
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SCALE: N.T.S.

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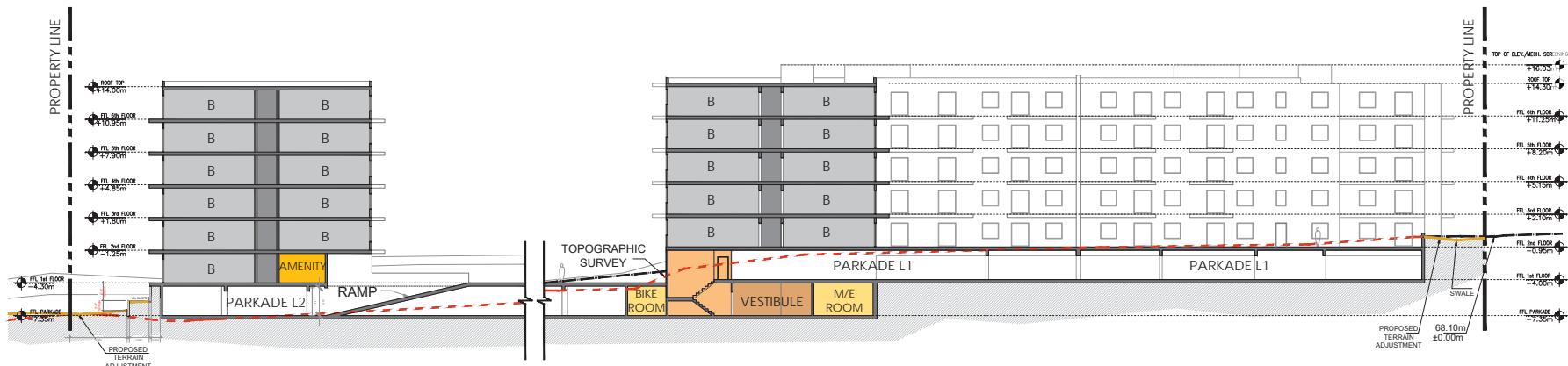
DP1275

DP20 2023-NOV-14
Current Planning

ATTACHMENT F SITE SECTIONS



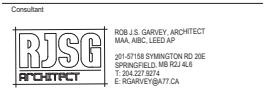
SECTION B-B



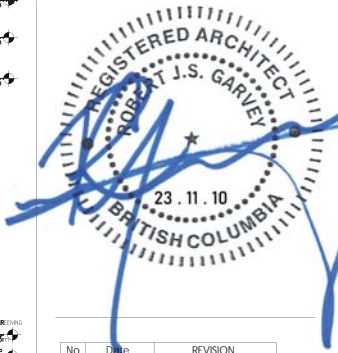
SECTION C-C

NOTES:

- CONNECTING STREET LEVEL
- TOPOGRAPHIC SURVEY
- PROPOSED TERRAIN ADJUSTMENT
- AMENITY AREA
- LOBBY/ENTRANCE AREA
- VERTICAL CIRCULATION
- STORAGE
- SUPPORTING SPACES
- CORRIDOR



SEAL:



No.	Date	REVISION
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2	07/11/2023	Re-Submission
1	30/06/2023	Submission

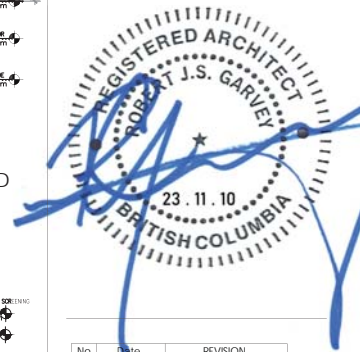
Project Number: 2104
 Designed By: J.P.M.
 Drawn By: D.D./A.M.
 Checked By: R.G.

Harbour Hills,
 325 Watfield Avenue,
 Nanaimo, BC;

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 APPLICATION SET

SECTION A&B
 SCALE: 1:400
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DP14 2023-NOV-14
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1	30/06/2023	Submission

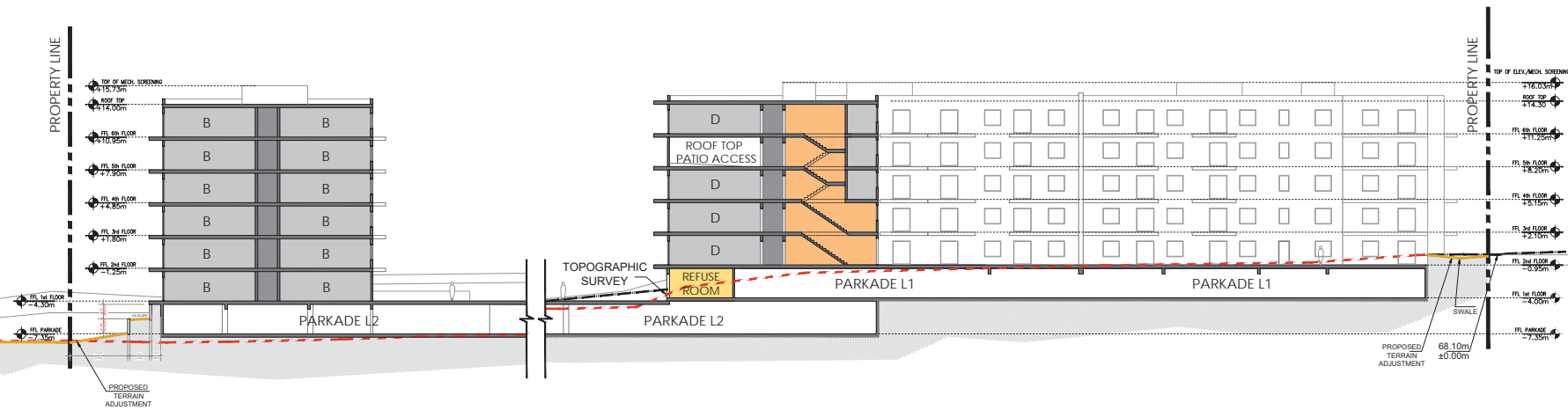
Project Number: 2104
 Designed By: J.P.M.
 Drawn By: D.D./A.M.
 Checked By: R.G.

Harbour Hills,
 325 Watfield Avenue,
 Nanaimo, BC;

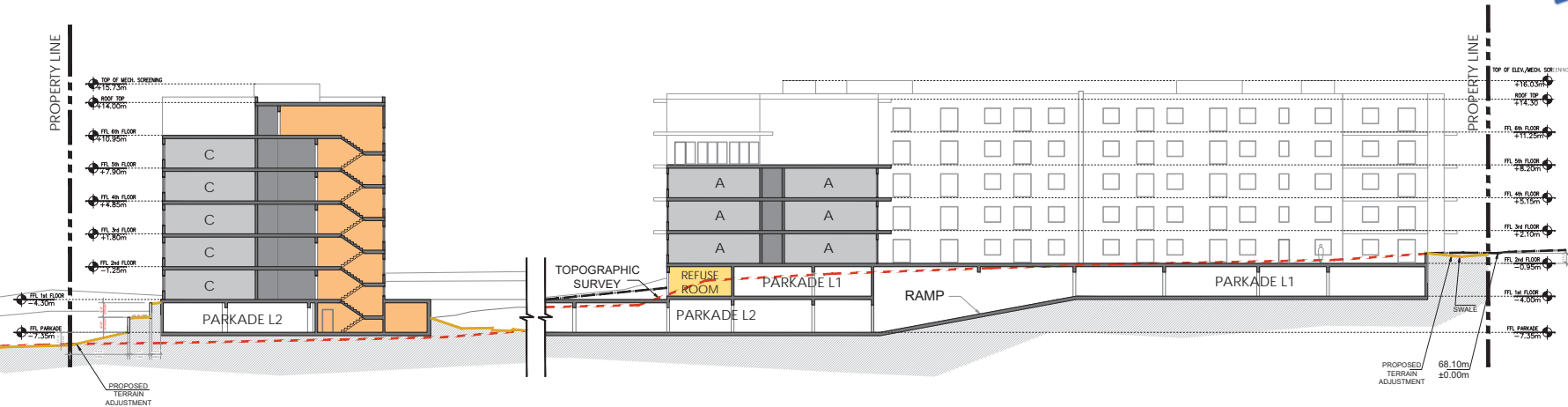
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SECTION C&D
 SCALE: 1:400

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DP152023-NOV-14
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SECTION D-D



SECTION E-E

NOTES:
 STAIRWELL WINDOWS WILL HAVE AN INTERNAL GUARDRAIL AT 42" AFF

- CONNECTING STREET LEVEL
- TOPOGRAPHIC SURVEY
- PROPOSED TERRAIN ADJUSTMENT
- AMENITY AREA
- LOBBY/ENTRANCE AREA
- VERTICAL CIRCULATION
- STORAGE
- SUPPORTING SPACES
- CORRIDOR

ATTACHMENT G SHADOW STUDY



UTC -08:00 Harbour Hills, Nanaimo, BC;
20th March 09AM



UTC -08:00 Harbour Hills, Nanaimo, BC;
20th March 12PM



UTC -08:00 Harbour Hills, Nanaimo, BC;
20th March 03PM



UTC -08:00 Harbour Hills, Nanaimo, BC;
21st June 09AM



UTC -08:00 Harbour Hills, Nanaimo, BC;
21st June 12PM

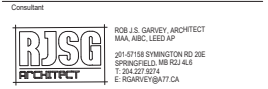


UTC -08:00 Harbour Hills, Nanaimo, BC;
21st June 03PM

NOTES:



101-57158 Symington Road
Springfield, MB R2J 4L6
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Designed By: J.P.M.
Drawn By: D.D./A.M.
Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

DEVELOPMENT PERMIT
APPLICATION SET

SHADOW STUDY
SCALE: N.T.S.

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DP23 2023-NOV-14
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UTC -08:00 Harbour Hills, Nanaimo, BC;
22nd September 09AM



UTC -08:00 Harbour Hills, Nanaimo, BC;
22nd September 12PM



UTC -08:00 Harbour Hills, Nanaimo, BC;
22nd September 03PM



UTC -08:00 Harbour Hills, Nanaimo, BC;
21st December 09AM



UTC -08:00 Harbour Hills, Nanaimo, BC;
21st December 12PM

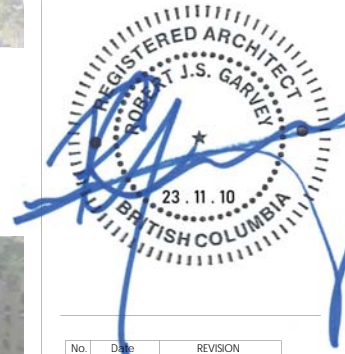


UTC -08:00 Harbour Hills, Nanaimo, BC;
21st December 03PM

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2	07/11/2023	Re-Submission
1	30/06/2023	Submission

Project Number: 2104
Designed By: J.P.M.
Drawn By: D.D./A.M.
Checked By: R.G.

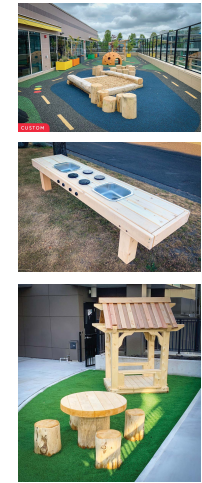
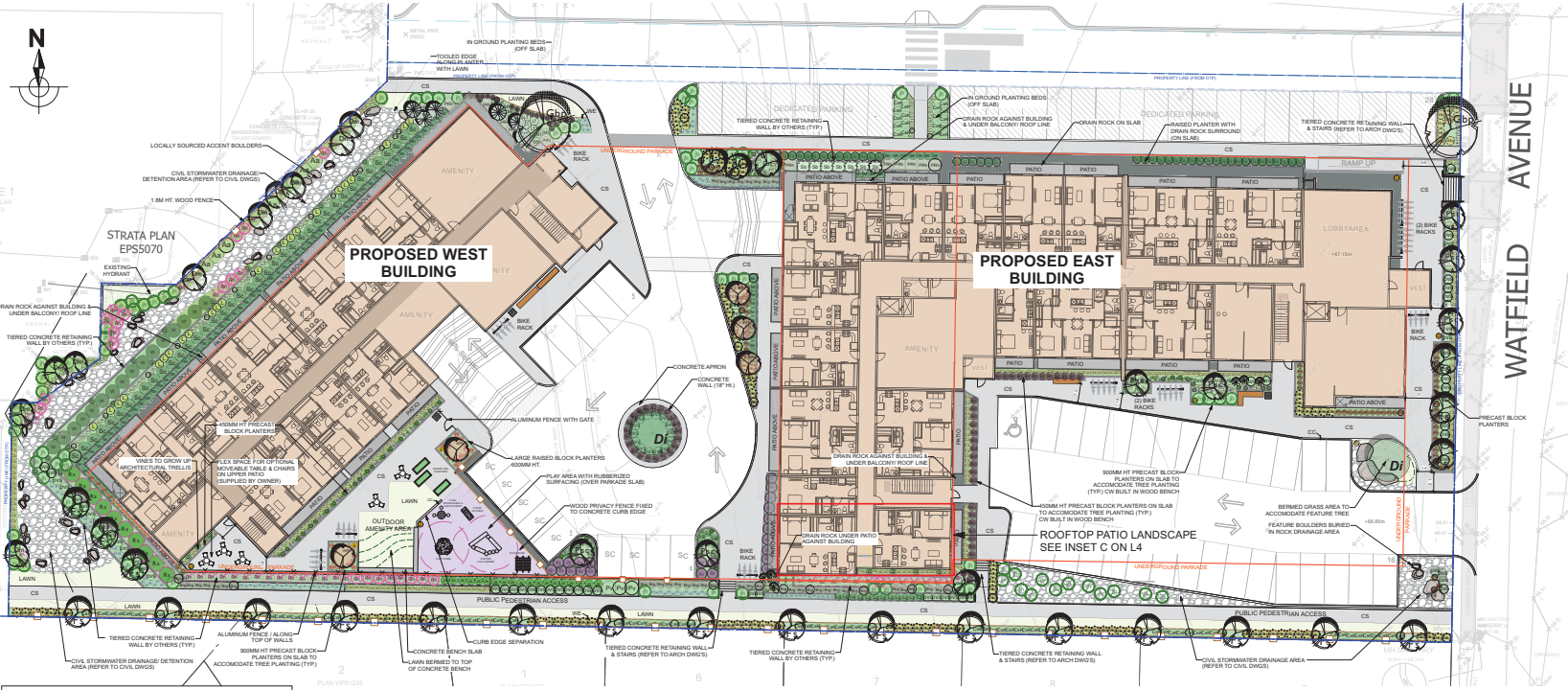
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APPLICATION SET

SHADOW STUDY
SCALE: N.T.S.

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ATTACHMENT H LANDSCAPE PLAN AND DETAILS



CHILDRENS PLAY EQUIPMENT
(OR APPROVED EQUIVALENT)
POSSIBLE SUPPLIER:
HABITAT SYSTEMS INC.
1 866 422 4828

Date	Revisions	By
April 12, 2022	Preliminary Draft For Review	LS/SD
July 7, 2023	Issue for DP	LS/SS

LAZZARIN SVISDAHL
LANDSCAPE ARCHITECTS
1395 5th Ave Prince George, BC V2L 3L6
250.561.0158 www.lsl-landscap.com

SELUX INULA BOLLARD
(OR APPROVED EQUIVALENT)
LED DARK SKY COMPLIANT BOLLARD
COLOUR: BLACK
HT: 3.5' (1 METER)

Project
Harbour Hills
525 Third Street
Nanaimo, BC

Sheet Title
Overall
Landscape Plan

Date April 12, 2022

Scale 1:250 METERS

Drawn By LS/SD

Project No.

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- LEGEND**
- PROPERTY LINES
 - LINE OF UNDERGROUND PARKADE
 - BRUSH FINISH CONCRETE WALKWAYS
 - DRAIN ROCK
 - LAWN
 - FORMAL PLANTING BED
 - GROUNDCOVER ON FILTER FABRIC
 - NATIVE PLANTING BED
 - COMPOST MULCH NO FILTER FABRIC
 - CIVIL STORMWATER DRAINAGE/ DETENTION AREA
 - AMENITY PLAYGROUND SPACE
 - PT WOOD PRIVACY FENCE
 - 1 200 MM HT METAL FENCE & GATE
 - BENDER BOARD COMPOSITE EDGER
 - CONCRETE CURB EDGING
 - CONCRETE PLANTER WALLS
 - STACKED TIMBER RAISED PLANTER
 - BENCH FIXED TO CONCRETE SURFACE
 - DERO ROLLING BIKE RACK
 - GARBAGE BIN

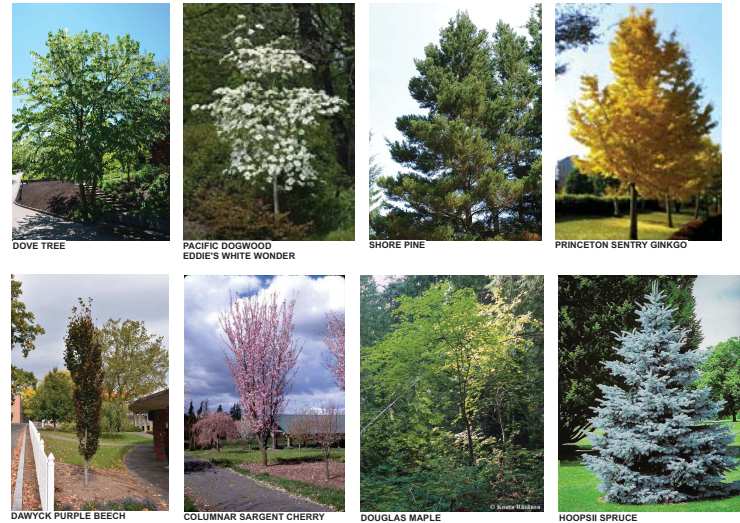


B SELUX INULA BOLLARD
(OR APPROVED EQUIVALENT)
LED DARK SKY COMPLIANT BOLLARD LIGHT
COLOUR: BLACK
HT: 3.5' (1 METER)

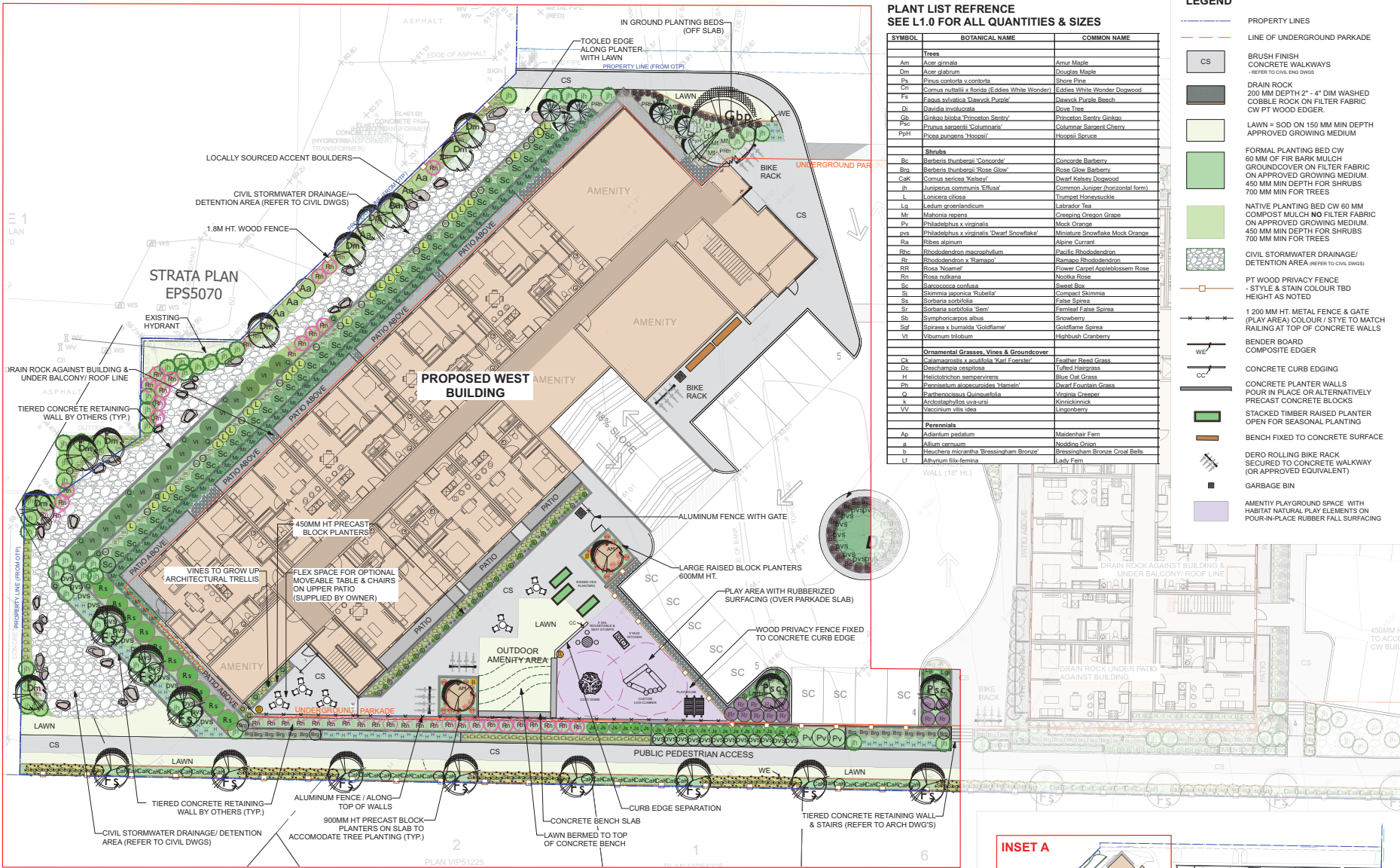
OVERALL PROJECT PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	COUNT	SIZE
Trees				
Am	Acer ginnata	Amur Maple	5	6cm Cal
Dm	Acer glabrum	Douglas Maple	10	#2pot
Ds	Pinus contorta s. contorta	Shore Pine	6	#2pot
Cn	Cornus nuttallii s. florida (Eddies White Wonder)	Eddies White Wonder Dogwood	4	6cm Cal
Fs	Fagus sylvatica 'Dawck Purple'	Dawck Purple Beech	22	6cm Cal
Di	Davidia involucreata	Dove Tree	2	6 cm Cal
Sb	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	2	6cm Cal
PCh	Prunus sibirica 'Volkmare'	Coloured Sargent Cherry	7	6cm Cal
PSP	Picea pungens 'Hoopsii'	Hoopsii Spruce	6	2m
Shrubs				
Bc	Berberis thunbergii 'Conspice'	Conspice Barbary	54	#2pot
Bg	Berberis thunbergii 'Rose Glow'	Rose Glow Barbary	44	#2pot
CaK	Cornus sericea 'Kelsey'	Dwarf Kelsey Dogwood	96	#2pot
Jh	Juncus communis 'Eiffel'	Common Juniper (horizontal form)	87	#2pot
L	Lonicera ciliosa	Trumpet Honeysuckle	24	#2pot
Lg	Ledum greenlandicum	Labrador Tea	26	#2pot
M	Mahonia repens	Creeeping Oregon Grape	87	#2pot
Ph	Philadelphus s. virginalis	Mock Orange	3	#2pot
sv	Philadelphus s. virginalis 'Dwarf Snowflake'	Miniature Snowflake Mock Orange	97	#2pot
Ra	Ribes alpinum	Alpine Currant	10	#2pot
Rhe	Rhododendron macrophyllum	Pacific Rhododendron	13	#2pot
Rr	Rhododendron x 'Damaris'	Damaris Rhododendron	23	#2pot
RRR	Rosa 'Noem'	Flower Carpet Applauseless Rose	10	#2pot
Rn	Rosa nutkana	Nootka Rose	84	#2pot
Sb	Saxifraga confinis	Swain Box	40	#2pot
Ss	Skimmia japonica 'Rubella'	Compact Skimmia	63	#2pot
Ss	Sorbaria sorbifolia	False Spirea	63	#2pot
Ss	Sorbaria sorbifolia 'Sany'	Flamingo False Spirea	63	#2pot
Sb	Symphoricarpos albus	Snowberry	7	#2pot
Ssf	Spiraea x bumalda 'Goldflame'	Goldflame Spirea	127	#2pot
Vt	Viburnum trilobum	Nightshrub Cranberry	16	#2pot
Ornamental Grasses, Vines & Groundcover				
Ck	Calamagrostis x acutifolia 'Karl Foerster'	Feather Reed Grass	246	#1pot
Dc	Deschampsia cespitosa	Tufted Hairgrass	134	#1pot
H	Helictotrichon sempervirens	Blue oat Grass	111	#1pot
Ph	Pennisetum alopecuroides 'Flamelet'	Dwarf Fountain Grass	71	#1pot
O	Panicum nodosum 'Columada'	Nodding Oenop	24	#1pot
S	Actostaphylos uva-ursi	Common Snowberry	27	10cm pot
VV	Vaccinium vitis-idaea	Lingonberry	31	#1pot
Perennials				
Ap	Adiantum pedatum	Maidenhair Fern	10	#1pot
a	Alliumcernuum	Nodding Onion	80	#1pot
B	Besleria micrantha 'Bressingham Bronze'	Bressingham Bronze Coral Bells	23	#1pot
Lf	Allyrium filifolium	Lady Fern	5	#1pot

PROPOSED TREE EXAMPLE IMAGES



1. PLANT MATERIAL AND CONSTRUCTION METHODS WORK AND MATERIALS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARDS.
2. ALL PLANTING BEDS SHALL BE WATERED BY AUTOMATIC IRRIGATION SYSTEM
3. TURF AREAS FROM SO SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150 MM DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRASSES AND BE FLUSH TO ADJACENT HARD SURFACES.
4. REFER TO CIVIL ENG. DWGS FOR SITE GRADING AND DRAINAGE AND WILL ENSURE THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON OR PRIVATE PROPERTIES.



PLANT LIST REFERENCE
SEE L1.0 FOR ALL QUANTITIES & SIZES

SYMBOL	BOTANICAL NAME	COMMON NAME
Trees		
Am	Acer glabrum	Amur Maple
Dm	Acer glabrum	Douglas Maple
Ps	Pinus contorta v. contorta	Shore Pine
W	Quercus rubra v. florida (Edulis White Wonder)	Edulis White Wonder Dogwood
Fs	Fraxinus saxatilis Dwarf Purple	Dwarf Purple Beech
D	Davidia involuta	Dove Tree
Gb	Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo
Pic	Prunus serotina 'Goldmann'	Goldmann Stargem Cherry
Pph	Prunus vulgaris 'Hoopii'	Hoopii Spruce
Shrubs		
Bc	Barberry (thunbergii) 'Concord'	Concord Barberry
Bra	Barberry (thunbergii) 'Rose Glow'	Rose Glow Barberry
CaK	Cornus sericea 'Kelsey'	Dwarf Kelsey Dogwood
Jh	Juniperus communis 'Ellusa'	Common Juniper (horizontal form)
L	Lonicera ciliosa	Trompet Honeysuckle
Lg	Ledum groenlandicum	Labrador Tea
Mr	Malva moschata	Creeping Oregon Grape
Pv	Philadelphus x virginalis	Mock Orange
ps	Philadelphus x virginalis 'Dwarf Snowflake'	Miniature Snowflake Mock Orange
Ra	Ribes alpinum	Alpine Currant
Rhc	Rhododendron macrophyllum	Pacific Rhododendron
Rr	Rhododendron x 'Rampage'	Rampage Rhododendron
RRC	Rosa 'Nascent'	Flower Carpet Applause Rose
Rn	Rosa rubra	Nootka Rose
Sc	Sarcococca confusa	Sweet Box
Sr	Sorbaria sorbifolia 'Rusalka'	Concord Sorbus
Ss	Sorbaria sorbifolia	False Spirea
Sr	Sorbaria sorbifolia 'Sem'	Fernleaf False Spirea
Sb	Sorbaria sorbifolia	Shrub Rose
Sif	Spiraea x bumalda 'Goldflame'	Goldflame Spirea
Vt	Viburnum trilobum	Highbush Cranberry
Ornamental Grasses, Vines & Groundcover		
Ck	Calamagrostis x acutifolia 'Karl Foerster'	Feather Reed Grass
Dc	Deschampsia cespitosa	Tufted Hairgrass
H	Helictotrichon sempervirens	Blue Oat Grass
Ph	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain Grass
G	Panicum capillare 'Chinovalde'	Virginia Creeper
x	Arundo donax	Koeleria
VV	Vaccinium vitis-idaea	Lingonberry
Perennials		
Ap	Adiantum pedatum	Maidenhair Fern
a	Allium cepa	Nodding Onion
b	Boutanica moribunda 'Bressingham Bronze'	Bressingham Bronze Coral Bells
Lf	Lady's Mantle	Lady Fern

LEGEND

- PROPERTY LINES
- LINE OF UNDERGROUND PARKADE
- BRUSH FINISH CONCRETE WALKWAYS (REFER TO CIVIL DWGS)
- CS DRAIN ROCK 200 MM DEPTH 2" - 4" DIM WASHED COBBLE ROCK ON FILTER FABRIC CW PT WOOD EDGER.
- LAWN = SOD ON 150 MM MIN DEPTH APPROVED GROWING MEDIUM
- FORMAL PLANTING BED CW 60 MM OF FIBR MULCH GROUND COVER ON FILTER FABRIC ON APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- NATIVE PLANTING BED CW 60 MM COMPOST MULCH NO FILTER FABRIC ON APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- CIVIL STORMWATER DRAINAGE/ DETENTION AREA (REFER TO CIVIL DWGS)
- PT WOOD PRIVACY FENCE - STYLE & STAIN COLOUR TBD HEIGHT AS NOTED
- 1 200 MM HT. METAL FENCE & GATE (PLAY AREA) COLOUR / STYLE TO MATCH FINISH AT TOP OF CONCRETE WALLS
- BENDER BOARD COMPOSITE EDGER
- WE CONCRETE CURB EDGING
- CC CONCRETE PLANTER WALLS POUR IN PLACE OR ALTERNATIVELY PRECAST CONCRETE BLOCKS
- STACKED TIMBER RAISED PLANTER OPEN FOR SEASONAL PLANTING
- BENCH FIXED TO CONCRETE SURFACE
- DERO ROLLING BIKE RACK SECURED TO CONCRETE WALKWAY (OR APPROVED EQUIVALENT)
- GARBAGE BIN
- AMENITY PLAYGROUND SPACE WITH HABITAT NATURAL PLAY ELEMENTS ON POUR-IN-PLACE RUBBER FALL SURFACING

Date	Revisions	By
April 12, 2022	Preliminary Draft For Review	LS/SD
July 6, 2023	For Review	LS/SD
July 7, 2023	Issue for DP	LS/SD

LAZZARIN SVISDAHL
LANDSCAPE ARCHITECTS

1395 5th Ave Prince George, BC V2L 3L6
250.530.6159 www.lszarch.com

Project
Harbour Hills
625 Third Street
Nanaimo, BC

Sheet Title
**Inset A
West Building
Landscape Plan**

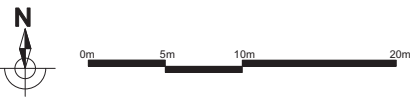
Date April 12, 2022
Scale 1:150 METERS
Drawn By LS/SD
Project No.

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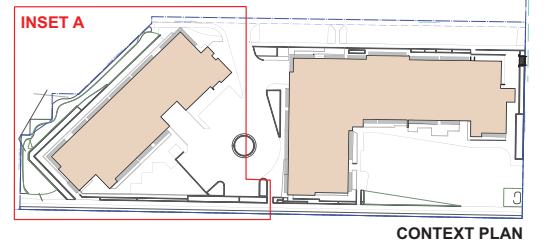
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WEST INSET A
*REFER TO L1.0 FOR PLANT LIST



1. PLANT MATERIAL AND CONSTRUCTION METHODS WORK AND MATERIALS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARDS.
2. ALL PLANTING BEDS SHALL BE WATERED BY AUTOMATIC IRRIGATION SYSTEM
3. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150 MM DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND BE FLUSH TO ADJACENT HARD SURFACES.
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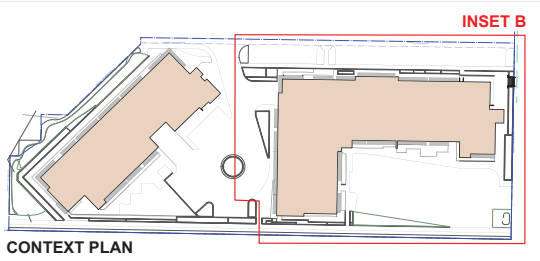
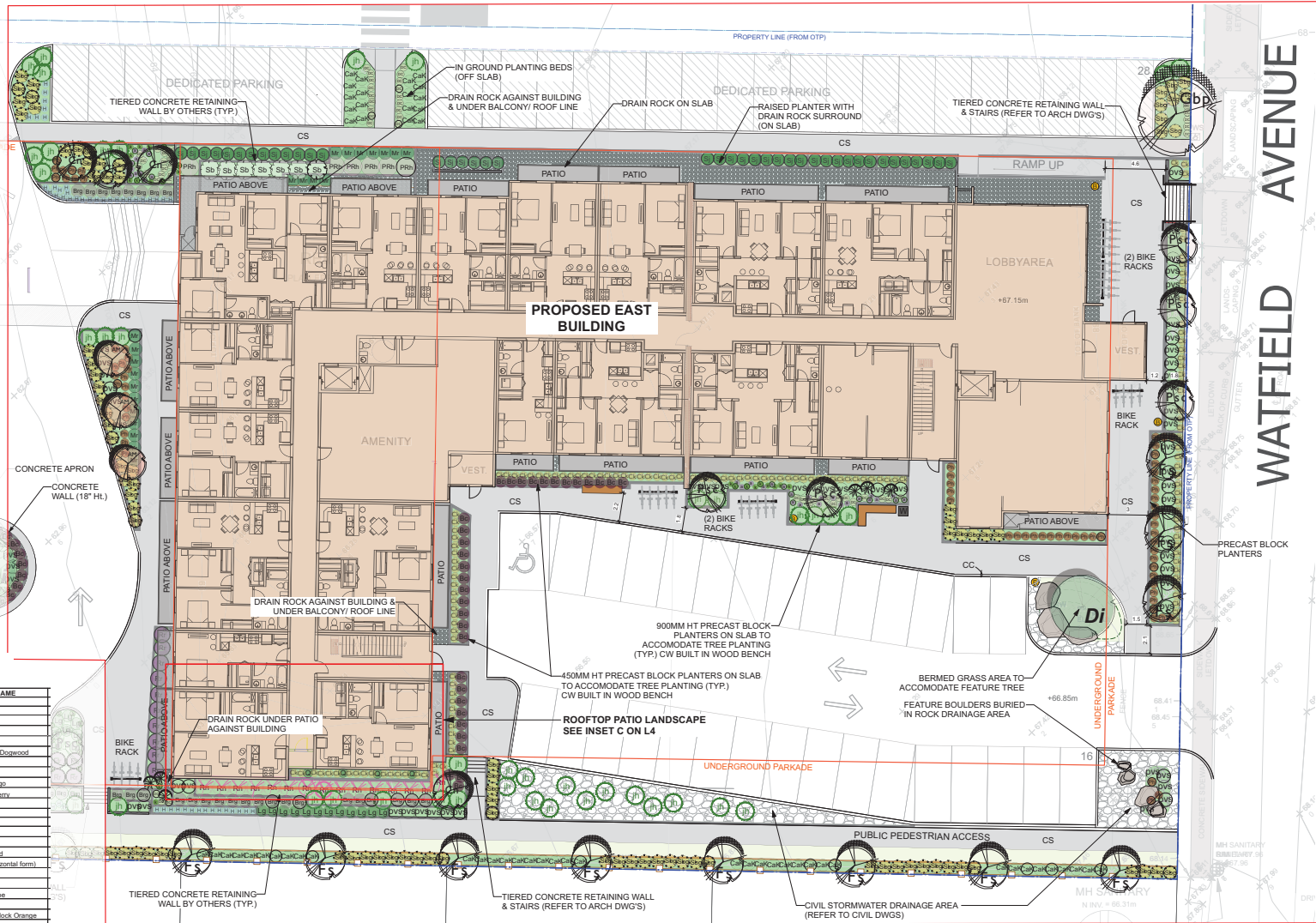


LEGEND

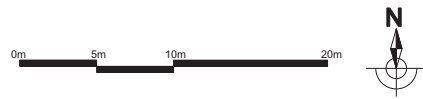
- PROPERTY LINES
- LINE OF UNDERGROUND PARKADE
- CS BRUSH FINISH CONCRETE WALKWAYS - REFER TO CIVIL DWGS
- DRAIN ROCK 200 MM DEPTH 2" - 4" DIM WASHED COBBLE ROCK ON FILTER FABRIC CW PT WOOD EDGER.
- LAWN + SOD ON 150 MM MIN DEPTH APPROVED GROWING MEDIUM
- FORMAL PLANTING BED CW 60 MM OF FIR BARK MULCH GROUND COVER ON FILTER FABRIC ON APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- NATIVE PLANTING BED CW 60 MM COMPOST MULCH NO FILTER FABRIC ON APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- CIVIL STORMWATER DRAINAGE/ DETENTION AREA (REFER TO CIVIL DWGS)
- PT WOOD PRIVACY FENCE - STYLE & STAIN COLOUR TBD HEIGHT AS NOTED
- 1 200 MM HT. METAL FENCE & GATE (PLAY AREA) COLOUR / STYLE MATCH RAILING AT TOP OF CONCRETE WALLS
- BENDER BOARD COMPOSITE EDGER
- CONCRETE CURB EDGING
- CONCRETE PLANTER WALLS POUR IN PLACE OR ALTERNATIVELY PRECAST CONCRETE BLOCKS
- STACKED TIMBER RAISED PLANTER OPEN FOR SEASONAL PLANTING
- BENCH FIXED TO CONCRETE SURFACE
- DERO ROLLING BIKE RACK SECURED TO CONCRETE WALKWAY (OR APPROVED EQUIVALENT)
- GARBAGE BIN

**PLANT LIST REFERENCE
SEE L1.0 FOR ALL QUANTITIES & SIZES**

SYMBOL	BOTANICAL NAME	COMMON NAME
Trees		
Am	<i>Acer spicatum</i>	Amur Maple
Dm	<i>Acer glabrum</i>	Douglas Maple
Ps	<i>Pinus contorta v. contorta</i>	Shore Pine
CW	<i>Cornus nuttallii v. florida</i> (Eddies White Wonder)	Eddies White Wonder Dogwood
SP	<i>Forsythia xodonta</i> Dwarf Purple	Dwarf Purple Bunch
Di	<i>Davidia involuta</i>	Dove Tree
Gp	<i>Ginkgo biloba</i> 'Princeton Sentry'	Princeton Sentry Ginkgo
Pic	<i>Prunus serotina</i> 'Columbiana'	Columbian Sargent Cherry
Pppl	<i>Pinus purpurea</i> 'Hoopii'	Hoopii Spruce
Shrubs		
Rc	<i>Rosa 'Intrigue'</i> 'Concord'	Concord Rose
Rb	<i>Rosa 'Intrigue'</i> 'Rose Glow'	Rose Glow Rose
CaK	<i>Cornus sericea</i> 'Kelsey'	Dwarf Kelsey Dogwood
lh	<i>Juniperus communis</i> 'Eiffel'	Common Juniper (horizontal form)
Ls	<i>Lonicera siliqua</i>	Trumpet Honeysuckle
Lg	<i>Ledum ononanthoides</i>	Laborer Tea
Mr	<i>Maianthemum repens</i>	Creeeping Oregon Grape
Pv	<i>Philadelphus x virginialis</i>	Mock Orange
Pr	<i>Prunella x virginialis</i> 'Dwarf Snowflake'	Miniature Snowflake Mock Orange
Ra	<i>Ribes alpinum</i>	Alpine Currant
Rhc	<i>Rhododendron macrophyllum</i>	Pacific Rhododendron
Rr	<i>Rhododendron x 'Ramapo'</i>	Ramapo Rhododendron
RK	<i>Rosa 'Nisam'</i>	Flower Carpet Appleblossom Rose
Rn	<i>Rosa nutkana</i>	Nootka Rose
S	<i>Sarcococca confusa</i>	Sweet Box
Ss	<i>Sorbaria japonica</i> 'Rubellii'	Conquest Sorbaria
Sr	<i>Sorbaria sorbifolia</i>	False Spirea
Sr	<i>Sorbaria sorbifolia</i> 'Sem'	Ferretail False Spirea
Sb	<i>Sambucus racemosa</i> 'Blackberry'	Blackberry
Sof	<i>Sorbus x bormata</i> 'Goldflame'	Goldflame Spirea
Vt	<i>Viburnum trilobum</i>	Highbush Cranberry
Ornamental Grasses, Vines & Groundcover		
Ck	<i>Calamagrostis x acutifolia</i> 'Karl Foerster'	Feather Reed Grass
Dc	<i>Deschampsia cespitosa</i>	Tufted Hairgrass
H	<i>Helictotrichon sempervirens</i>	Blue Owl Grass
Ph	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain Grass
D	<i>Parthenocissus vitacea</i>	Virginia Creeper
K	<i>Actinostichus arvensis</i>	Kentucky Bluegrass
VV	<i>Vaccinium vitis-idaea</i>	Lanternberry
Ferns		
A	<i>Adiantum pedatum</i>	Maidenhair Fern
a	<i>Allium caeruleum</i>	Nodding Onion
b	<i>Heuchera moraniana</i> 'Bressingham Bronze'	Bressingham Bronze Coral Bells
Lf	<i>Adiantum filix-foemina</i>	Lady Fern



1. PLANT MATERIAL AND CONSTRUCTION METHODS WORK AND MATERIALS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARDS.
2. ALL PLANTING BEDS SHALL BE WATERED BY AUTOMATIC IRRIGATION SYSTEM
3. TURF AREAS FROM SOD SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150 MM DEPTH OF GROWING MEDIUM IS REQUIRED BENEATH TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADES AND BE FLUSH TO ADJACENT HARD SURFACES.
4. REFER TO CIVIL ENG. DWGS FOR SITE GRADING AND DRAINAGE AND WILL ENSURE THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON, OR PRIVATE PROPERTIES.



WATFIELD AVENUE

EAST INSET B
*REFER TO L1.0 FOR PLANT LIST

Date	Revisions	By
April 12, 2022	Preliminary Draft For Review	LS/SO
July 7, 2023	Issue for DP	LS/SB

LAZZARIN SVISDAHL
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Project
Harbour Hills
525 Third Street
Nanaimo, BC

Sheet Title
Inset B
East Building
Landscape Plan

Date April 12, 2022
Scale 1:150 METERS
Drawn By LS/SO
Project No.

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Drawing No.

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ATTACHMENT I SCHEDULE D – AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY

Category 1: Site Selection (10 points required)

Amenity		Points	Proposed?
A	The proposed development is located on a brownfield site.	5	✓
B	The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks.	3	✗
C	The proposed development is located within 200m of a park or trail network.	1	✓
D	The proposed development is located within 400m of any of the following: <ul style="list-style-type: none"> • retail store; • daycare facility; • Nanaimo Regional District transit bus stop; • any PRC Zoned property; and / or • a CS-1 zoned property. 	1 point each	✓ ✗ ✓ ✓ ✓ (4 points total)
E	The proposed development will add any of the following amenities on the site, or immediately adjacent to the site, as part of the proposed development: <ul style="list-style-type: none"> • retail store or public market; • daycare facility; • Nanaimo Regional District transit bus stop; • any PRC Zoned property; • a CS-1 zoned property; and / or • public art. 	1 point each	✗
Total		20	10

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www.ironpladdevelopments.com





Category 3: Parking and Sustainable Transportation (10 points required)

Amenity		Points	Proposed?
A	For non-residential uses, long term protected bicycle storage is provided and shower and change room facilities are provided to accommodate building employees where applicable.	2	X
B	At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op.	1	X
C	The developer purchases a new car and gifts the car to a recognized car share provider for the inclusion of a car share space on the subject property.	4	X
D	A minimum of 50% of the parking for the proposed development includes access to an electric vehicle charging station.	2	✓
E	A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.	4	✓
F	The proposed development includes covered and designated parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces: a) multiple family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units	2	X
G	A pedestrian network is included in the proposed development that connects the buildings on the site with the public road right-of-way and, the pedestrian network from the adjacent site to which there is access by perpetual easement or right-of-way, provided the City agrees to accept the right-of-way.	2	✓
H	Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw.	2	✓
I	The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.	1	X
Total		20	10

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Category 5: Energy Management (11 points required)

Amenity		Points	Proposed?
A	The proposed development meets at least the requirements of Step 2 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by one step.*	10*	✓
B	The proposed development meets at least the requirements of Step 3 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by two steps.*	15*	X
C	The proposed development is considered a Part 3 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 (Net Zero Ready) within the BC Energy Step Code; or The proposed development is considered a Part 9 within the BCBC and the building meets the minimum requirements of Step 4 or 5 within the BC Energy Step Code.*	30*	X
D	The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite.	1	✓
Total		31	11

* Points will be awarded for only one of A, B, or C.

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