



DEVELOPMENT PERMIT NO. DP001275

IRONCLAD DEVELOPMENTS HARBOUR HILLS HOLDINGS INC

Owner(s) of Land (Permittee)

325 WATFIELD AVENUE

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT B, SECTION 1, NANAIMO DISTRICT, PLAN EPP123911
PID No. 031-806-597**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map

Schedule B Site and Parking Plans

Schedule C Building Elevations and Details

Schedule D Site Sections

Schedule E Landscape Plan and Details

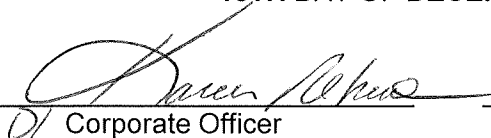
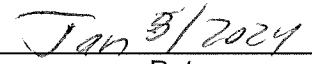
Schedule F Schedule D – Amenity Requirements for Additional Density

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

CONDITIONS OF PERMIT

1. The subject property is developed in substantial accordance with the Site and Parking Plans prepared by RJSG Architect, dated 2023-NOV-07 as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by RJSG Architect, dated 2023-NOV-07, as shown on Schedule C.
3. The development is in substantial compliance with the Site Sections prepared by RJSG Architect, dated 2023-NOV-07, as shown on Schedule D.
4. The development is in substantial compliance with the Landscape Plan and Details prepared by Lazzarin Svisdahl Landscape Architects, dated 2023-JUL-07 and 2023-NOV-29, as shown on Schedule E.
5. The subject property is developed in accordance with the 'Schedule D – Amenity Requirements for Additional Density' prepared by Ironclad Developments Inc., received 2022-JUN-02, as shown in Schedule F, and to include the following items:
 - A letter from the coordinating professional submitted prior to building permit issuance outlining how the required items for additional density will be achieved; and
 - A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.
6. Registration of a Statutory Right-of-Way with an approximate width of 3.0m, prior to building occupancy, for a 2.0m-wide public walkway along the south property line generally as shown on Schedule B.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE
18TH DAY OF DECEMBER, 2023.

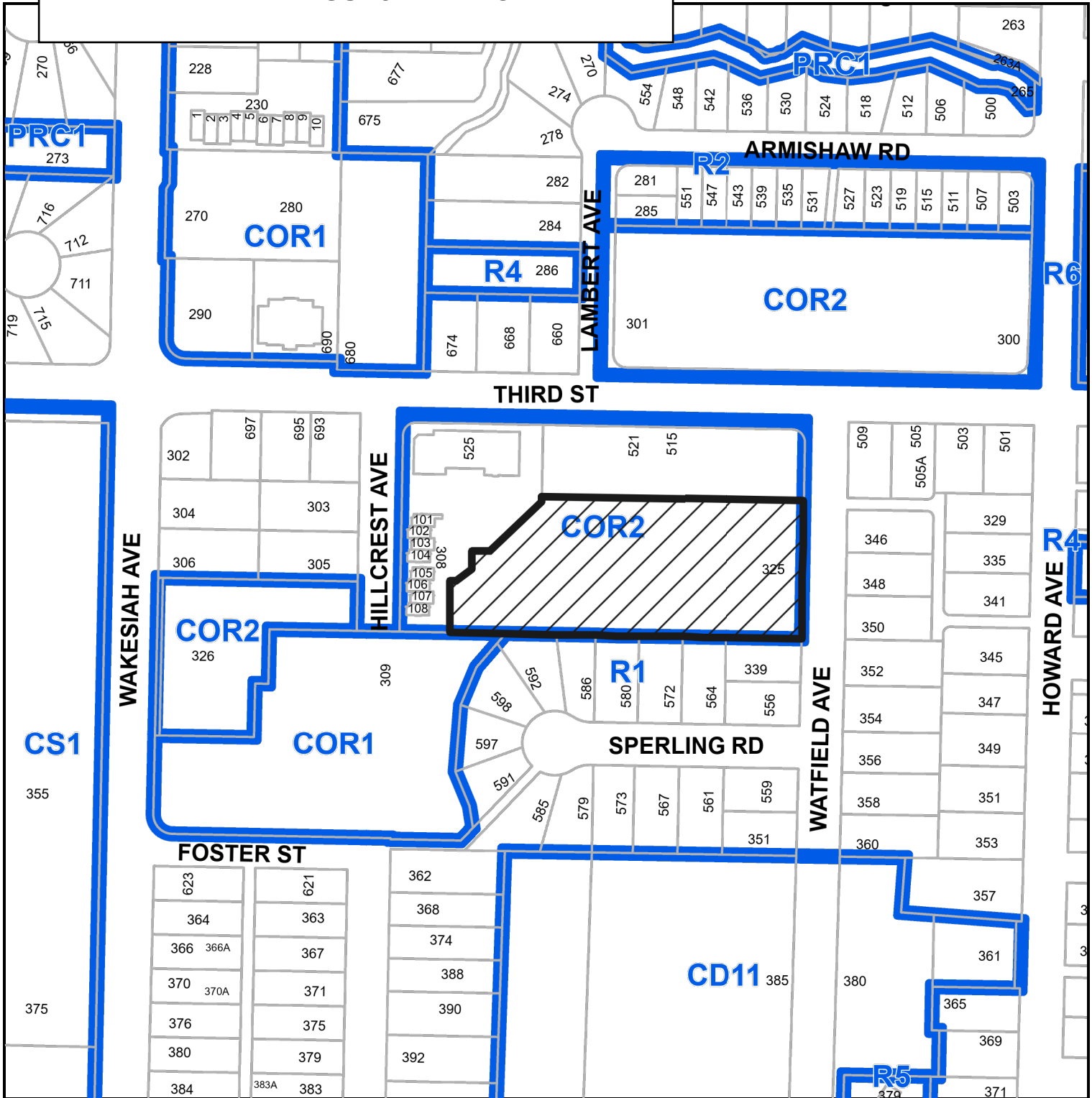
 

Corporate Officer Date

CH/jk

Prospero attachment: DP001275

SUBJECT PROPERTY MAP



325 Watfield Ave.

Development Permit DP001275
325 Watfield Avenue

Schedule B

SITE AND PARKING PLANS

515 Third Street



SEAL:



No.	Date	REVISION
6		
5		
4		
3		
2	07/11/2023	Re-Submission
1	30/06/2023	Submission

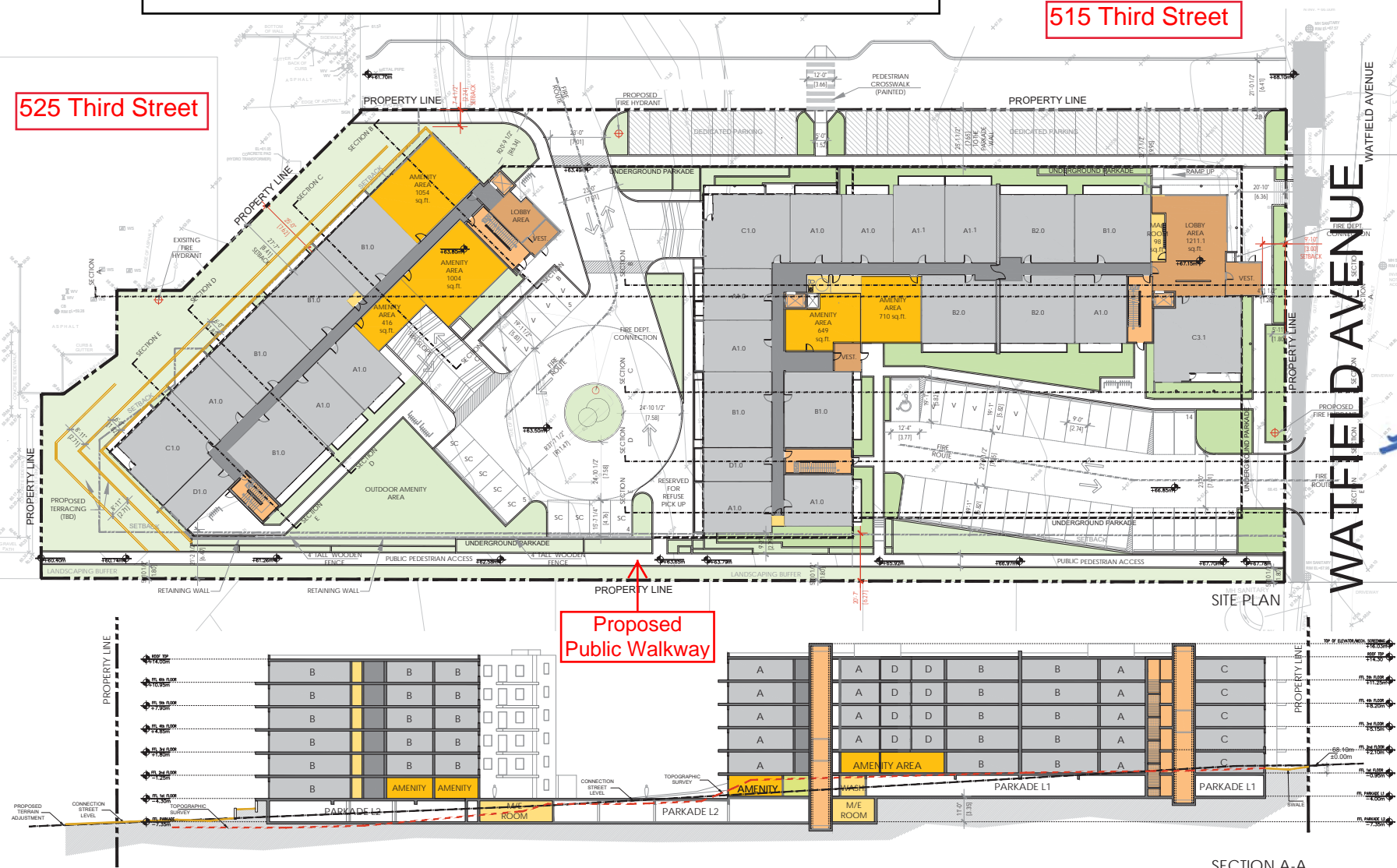
Project Number: 2104
Designed By: J.P.M.
Drawn By: D.D./A.M.
Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

DEVELOPMENT PERMIT
APPLICATION SET

SITE PLAN
SCALE: 1:500

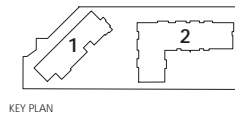
RECEIVED
DP1275
DP02 2023-NOV-14
Current Planning



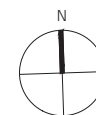
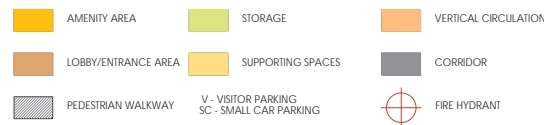
Proposed
Public Walkway

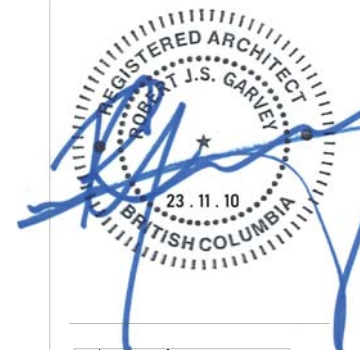
SECTION A-A

NOTES:



KEY PLAN





No.	Date	REVISION
6		
5		
4		
3		
2	07/11/2023	Re-Submission
1	30/06/2023	Submission

Project Number: 2104
 Designed By: J.P.M.
 Drawn By: D.D./A.M.
 Checked By: R.G.

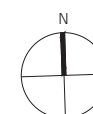
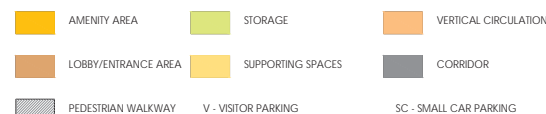
Harbour Hills,
 325 Watfield Avenue,
 Nanaimo, BC;

DEVELOPMENT PERMIT
 APPLICATION SET

PARKADE
 SCALE: 1:500
RECEIVED
DP1275
DP03 2023-NOV-14
 Current Planning



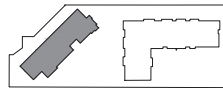
NOTES:



BUILDING ELEVATIONS AND DETAILS



NOTES:
STAIRWELL WINDOWS WILL HAVE AN INTERNAL GUARDRAIL AT 42" AFF



KEY PLAN

LEGEND

- ① JAMES HARDIE, PANEL, SMOOTH - ARCTIC WHITE
- ② JAMES HARDIE, PANEL, SMOOTH - LIGHT MIST
- ③ JAMES HARDIE, PANEL, SMOOTH - GRAY SLATE
- ④ JAMES HARDIE, PANEL, SMOOTH - NIGHT GRAY
- ⑤ JAMES HARDIE, PANEL, SMOOTH - IRON GRAY
- ⑥ JAMES HARDIE, PANEL, SMOOTH - MIDNIGHT BLACK
- ⑦ HARDIE LAP SIDING- CEDARMILL-FISCHER 2.0 CHRIS CRAFT (CUSTOM PAINT)
- ⑧ HARDIE LAP SIDING- MONTEREY TAUPE
- ⑨ PVC FRAMED WINDOWS WITH CLEAR GLASS (COLOR TO MATCH ELEVATIONS)
- ⑩ ALUMINUM STORE FRONT- BLACK FRAME WITH CLEAR GLASS (COLOR TO MATCH ELEVATIONS)
- ⑪ ALUMINUM PICKET RAILING- BLACK
- ⑫ ELBORADO STONE, MANUFACTURED STONE, NICKEL ZEN24 (PLEASE REFER TO IXL WEBSITE FOR DETAILS)
- ⑬ SOFFITS, FACIA AND GUTTER- ARCTIC WHITE
- ⑭ 6" ROUND STRUCTURAL COLUMN- COLOR, REFER TO ELEVATIONS
- ⑮ CAST IN PLACE CONCRETE

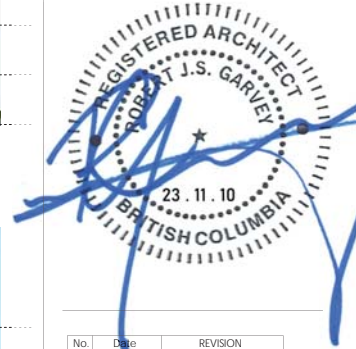


Consultant



ROB J.S. GARVEY, ARCHITECT
M.A. (B.C.) REG. NO. 2016
201-67118 SYMINGTON RD. 20E
SPRINGFIELD, MB R2J 4L6
T: 204-267-8014
E: RGARVEY@RJSG.CA

SEAL:



No.	Date	REVISION
6		
5		
4		
3		
2	07/11/2023	Re-Submission
1	30/06/2023	Submission

Project Number: 2104

Designed By: J.P.M.

Drawn By: D.D./A.M.

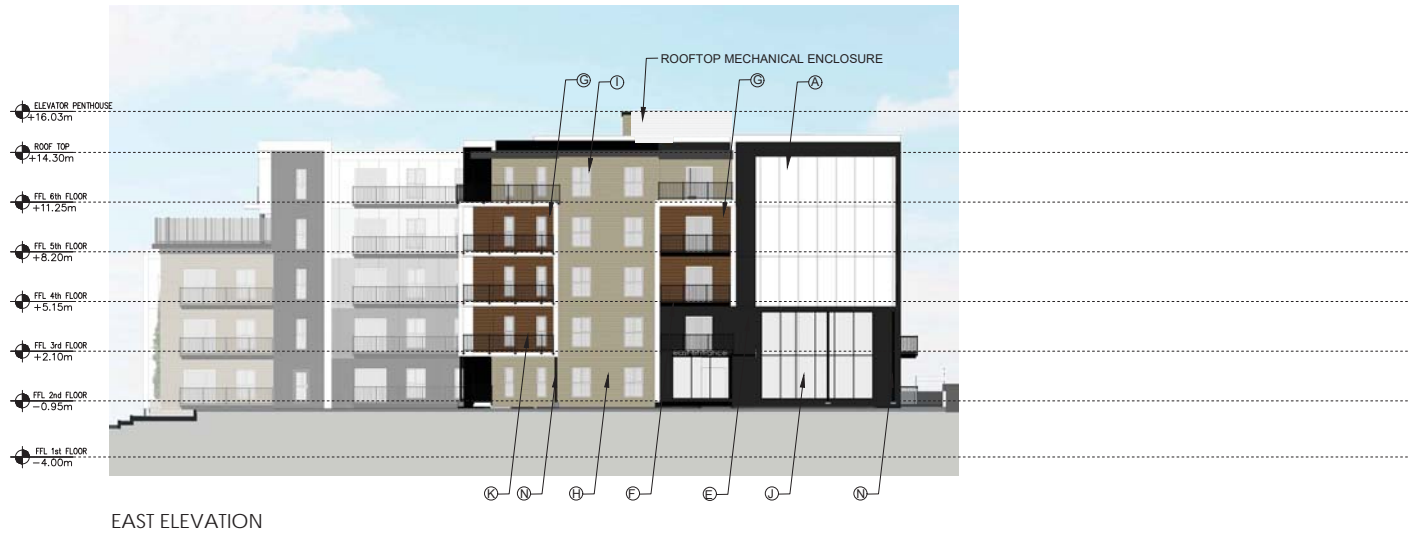
Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

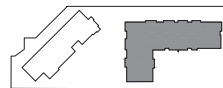
DEVELOPMENT PERMIT
APPLICATION SET

BUILDING 1- ELEVATIONS
SCALE: 1:300

RECEIVED
DP1275
DP10 2023-NOV-14
Current Planning



NOTES:
STAIRWELL WINDOWS WILL HAVE AN INTERNAL GUARDRAIL AT 42" AFF



KEY PLAN

LEGEND

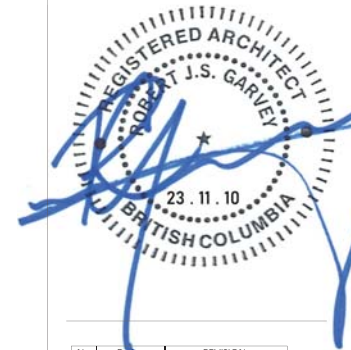
- ① JAMES HARDIE, PANEL, SMOOTH - ARCTIC WHITE
- ② JAMES HARDIE, PANEL, SMOOTH - LIGHT MIST
- ③ JAMES HARDIE, PANEL, SMOOTH - GRAY SLATE
- ④ JAMES HARDIE, PANEL, SMOOTH - NIGHT GRAY
- ⑤ JAMES HARDIE, PANEL, SMOOTH - IRON GRAY
- ⑥ JAMES HARDIE, PANEL, SMOOTH - MIDNIGHT BLACK
- ⑦ HARDIE LAP SIDING - CEDARMILL-FISCHER 2.0
- ⑧ CHRIS CRAFT (CUSTOM PAINT)
- ⑨ HARDIE LAP SIDING- MONTEREY TAUPE
- ⑩ PVC FRAMED WINDOWS WITH CLEAR GLASS (COLOR TO MATCH ELEVATIONS)
- ⑪ ALUMINUM STORE FRONT- BLACK FRAME WITH CLEAR GLASS (COLOR TO MATCH ELEVATION)
- ⑫ ALUMINUM PICKET RAILING -BLACK
- ⑬ ELDOORADO STONE, MANUFACTURED STONE, NICKEL ZEN24
(PLEASE REFER TO IXL WEBSITE FOR DETAILS)
- ⑭ SOFFITS, FACIA AND GUTTER- ARCTIC WHITE
- ⑮ 6" ROUND STRUCTURAL COLUMN- COLOR, REFER TO ELEVATIONS
- ⑯ CAST IN PLACE CONCRETE



Consultant



SEAL:



No.	Date	REVISION
6		
5		
4		
3		
2	07/11/2023	Re-Submission
1	30/06/2023	Submission

Project Number: 2104

Designed By: J.P.M.

Drawn By: D.D./A.M.

Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

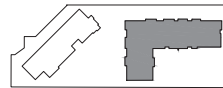
DEVELOPMENT PERMIT
APPLICATION SET

BUILDING 2- ELEVATIONS
SCALE: 1:300

RECEIVED
DP11 2023-NOV-14
Current Planning



NOTES:
STAIRWELL WINDOWS WILL HAVE AN INTERNAL GUARDRAIL AT 42" AFF



KEY PLAN

LEGEND

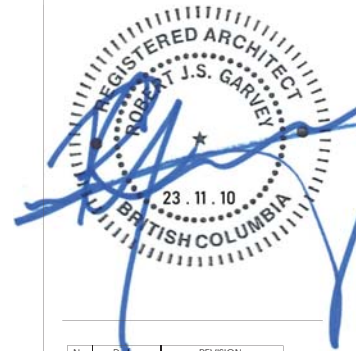
- Ⓐ JAMES HARDIE, PANEL, SMOOTH - ARCTIC WHITE
- Ⓑ JAMES HARDIE, PANEL, SMOOTH - LIGHT MIST
- Ⓒ JAMES HARDIE, PANEL, SMOOTH - GRAY SLATE
- Ⓓ JAMES HARDIE, PANEL, SMOOTH - NIGHT GRAY
- Ⓔ JAMES HARDIE, PANEL, SMOOTH - IRON GRAY
- Ⓕ JAMES HARDIE, PANEL, SMOOTH - MIDNIGHT BLACK
- Ⓖ HARDIE LAP SIDING- CEDARMILL-FISCHER 2.0 CHRIS CRAFT (CUSTOM PAINT)
- Ⓗ HARDIE LAP SIDING- MONTEREY TAUPE
- Ⓘ PVC FRAMED WINDOWS WITH CLEAR GLASS (COLOR TO MATCH ELEVATIONS)
- Ⓛ ALUMINUM STORE FRONT- BLACK FRAME WITH CLEAR GLASS (COLOR TO MATCH ELEVATIONS)
- Ⓜ ALUMINUM PICKET RAILING -BLACK
- Ⓝ ELDERADO STONE, MANUFACTURED STONE, NICKEL ZEN24 (PLEASE REFER TO DLX WEBSITE FOR DETAILS)
- Ⓟ SOFFITS, FACIA AND GUTTER- ARCTIC WHITE
- Ⓠ 6" ROUND STRUCTURAL COLUMN- COLOR, REFER TO ELEVATIONS
- Ⓡ CAST IN PLACE CONCRETE



Consultant



SEAL:



No.	Date	REVISION
6		
5		
4		
3		
2	07/11/2023	Re-Submission
1	30/06/2023	Submission

Project Number: 2104

Designed By: J.P.M.

Drawn By: D.D./A.M.

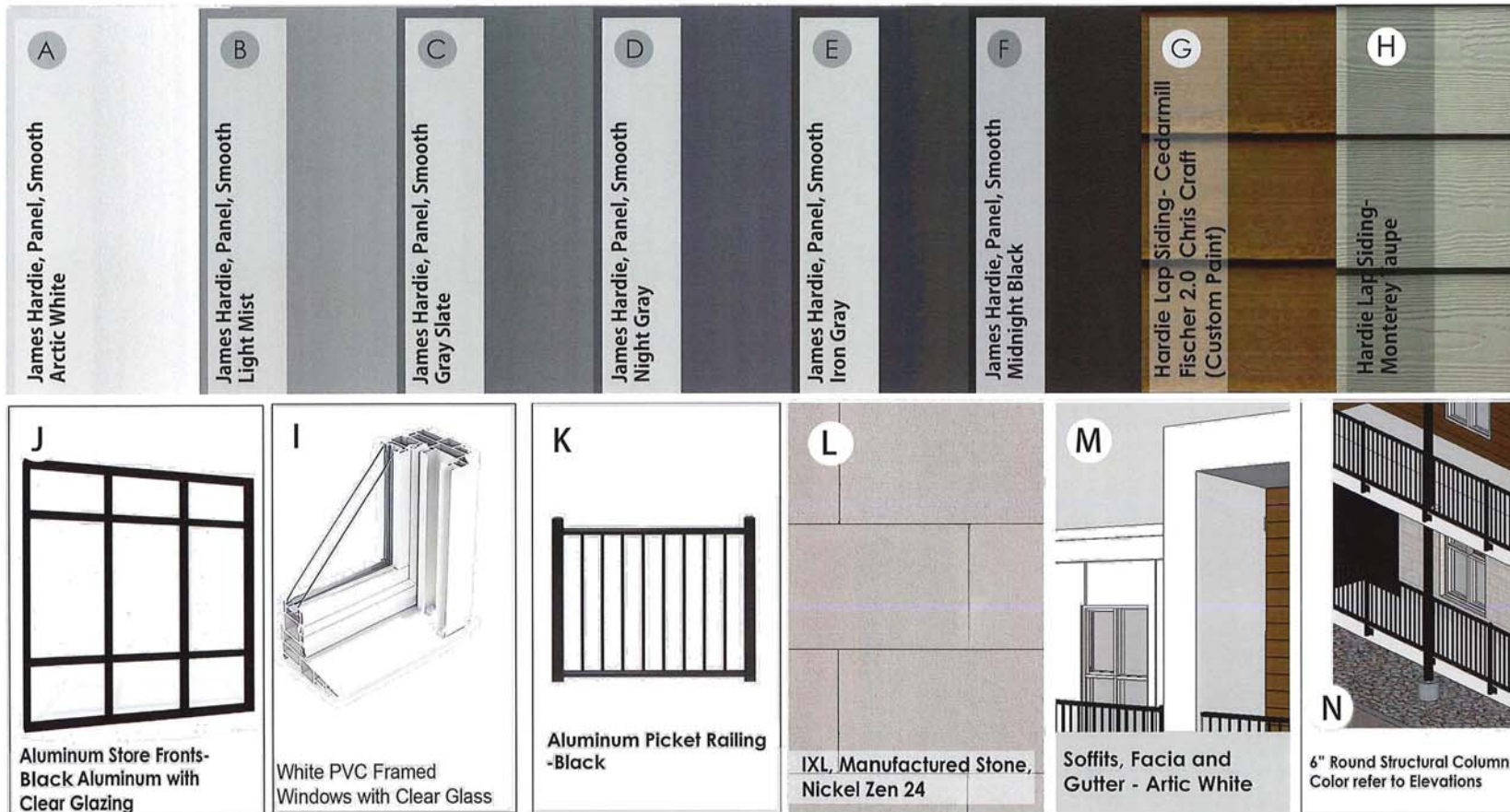
Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

DEVELOPMENT PERMIT
APPLICATION SET

BUILDING 2- ELEVATIONS
SCALE: 1:300

RECEIVED
DP1275
DP12 2023-NOV-14
Current Planning



NOTES:

LEGEND

- | | |
|---|--|
| (A) JAMES HARDIE, PANEL, SMOOTH - ARCTIC WHITE | (H) HARDIE LAP SIDING- MONTEREY TAUPE |
| (B) JAMES HARDIE, PANEL, SMOOTH - LIGHT MIST | (I) PVC FRAMED WINDOWS WITH CLEAR GLASS (COLOR TO MATCH ELEVATIONS) |
| (C) JAMES HARDIE, PANEL, SMOOTH - GRAY SLATE | (J) ALUMINUM STORE FRONT- BLACK FRAME WITH CLEAR GLASS (COLOR TO MATCH ELEVATION) |
| (D) JAMES HARDIE, PANEL, SMOOTH - NIGHT GRAY | (K) ALUMINUM PICKET RAILING -BLACK |
| (E) JAMES HARDIE, PANEL, SMOOTH - IRON GRAY | (L) ELDERADO STONE, MANUFACTURED STONE, NICKEL ZEN24 (PLEASE REFER TO IXL WEBSITE FOR DETAILS) |
| (F) JAMES HARDIE, PANEL, SMOOTH - MIDNIGHT BLACK | (M) SOFFITS, FACIA AND GUTTER- ARCTIC WHITE |
| (G) HARDIE LAP SIDING- CEDARMILL-FISCHER 2.0 CHRIS CRAFT (CUSTOM PAINT) | (N) 6" ROUND STRUCTURAL COLUMN- COLOR, REFER TO ELEVATIONS |



Consultant



SEAL:



No.	Date	REVISION
6		
5		
4		
3		
2	21/07/2023	Re-Submission
1	30/06/2000	Submission

Project Number: 2104

Designed By: J.P.M.

Drawn By: D.D./A.M./G.P.

Checked By: R.G.

Harbour Hills,
 325 Watfield Avenue,
 Nanaimo, BC;

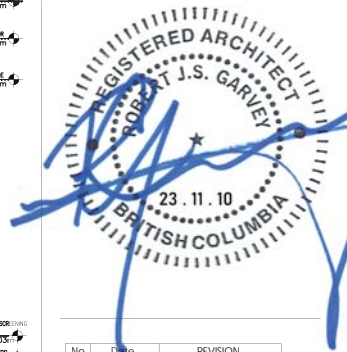
DEVELOPMENT PERMIT
 APPLICATION SET

MATERIALS
 SCALE: N.T.S.

DP13 **RECEIVED**
DP1275
2023-JUL-26
 Current Planning



SEAL:



No.	Date	REVISION
6		
5		
4		
3		
2	07/11/2023	Re-Submission
1	30/06/2023	Submission

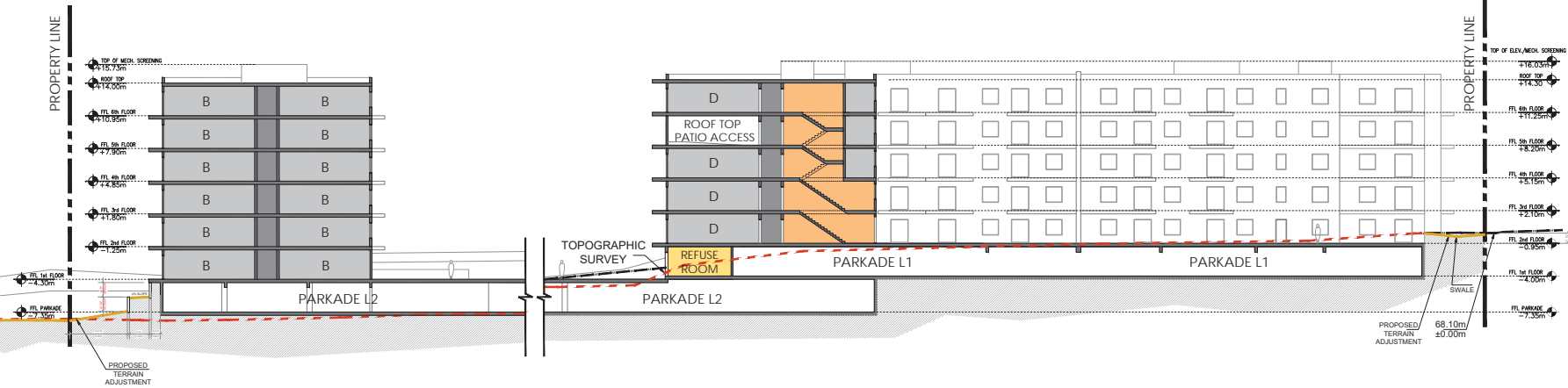
Project Number: 2104
Designed By: J.P.M.
Drawn By: D.D./A.M.
Checked By: R.G.

Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

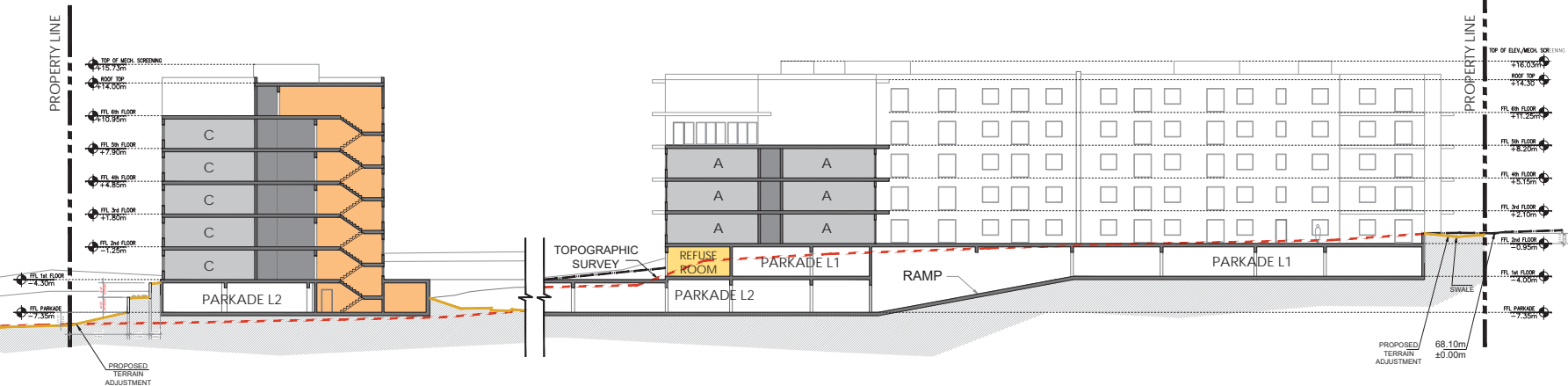
DEVELOPMENT PERMIT
APPLICATION SET

SECTION A&B
SCALE: 1:400

RECEIVED
DP1275
DP14 2023-NOV-14
Current Planning



SECTION D-D



SECTION E-E

NOTES:
STAIRWELL WINDOWS WILL HAVE AN INTERNAL GUARDRAIL AT 42" AFF

—CONNECTING STREET LEVEL
- - -TOPOGRAPHIC SURVEY
—PROPOSED TERRAIN ADJUSTMENT

AMENITY AREA
LOBBY/ENTRANCE AREA
VERTICAL CIRCULATION
STORAGE
SUPPORTING SPACES
CORRIDOR



**IRONCLAD
DEVELOPMENTS INC.**

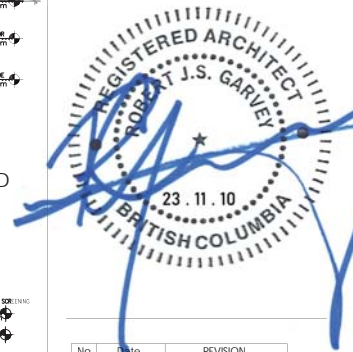
101-57158 Symington Road
Springfield, MB R2J 4L6
Ph: 204-777-1972
info@icdev.ca

Consultant



ROB J.S. GARVEY, ARCHITECT
WAA, ABC, LEED AP
201-671-64 SYMINGTON RD. 202
SPRINGFIELD, MB R2J 4L6
T: 204-257-1874
E: RGARVEY@777.CA

SEAL:



No.	Date	REVISION
6		
5		
4		
3		
2	07/11/2023	Re-Submission
1	30/06/2023	Submission

Project Number: 2104

Designed By: J.P.M.

Drawn By: D.D./A.M.

Checked By: R.G.

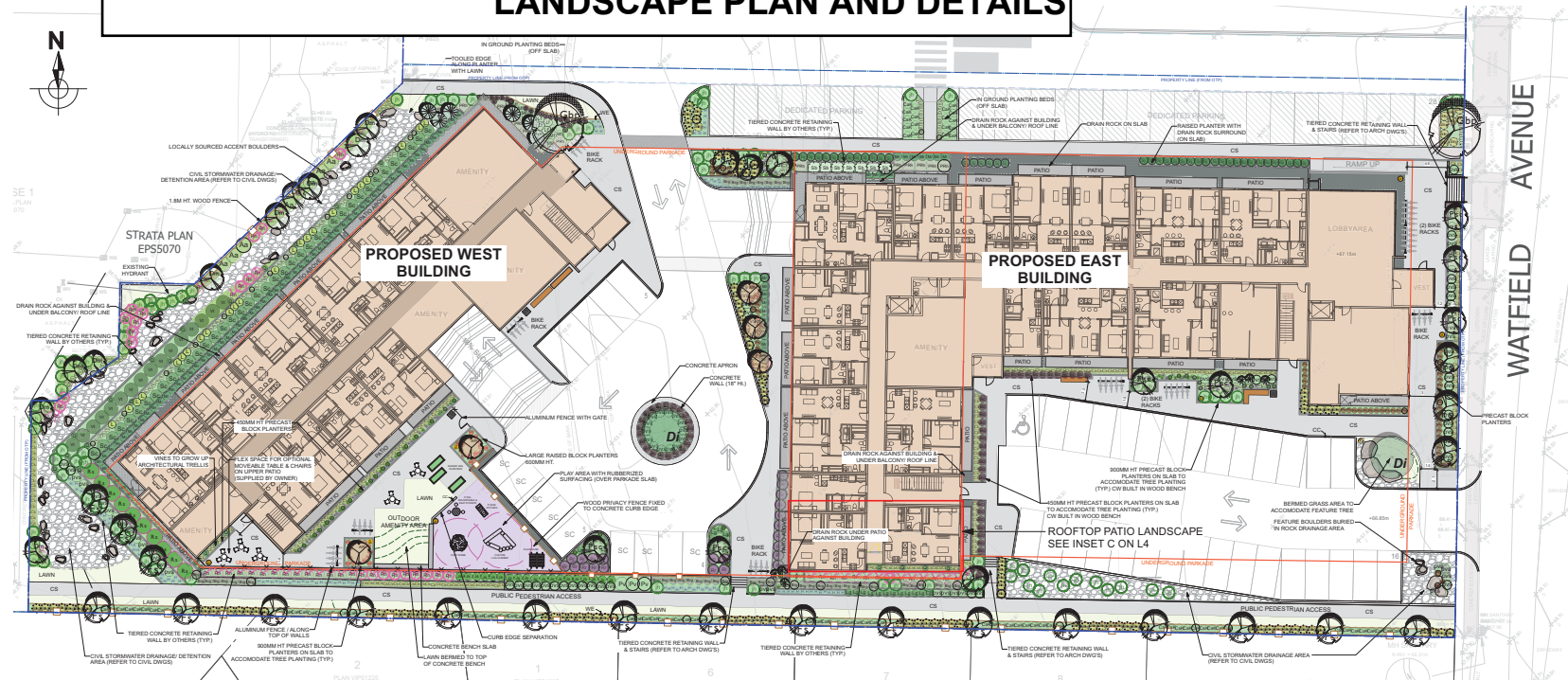
Harbour Hills,
325 Watfield Avenue,
Nanaimo, BC;

DEVELOPMENT PERMIT
APPLICATION SET

SECTION C&D
SCALE: 1:400

RECEIVED
DP1275
DP152023-NOV-14
Current Planning

LANDSCAPE PLAN AND DETAILS



LEGEND

- PROPERTY LINES
- LINE OF UNDERGROUND PARKADE
- BRUSH FINISH CONCRETE WALKWAYS
REFER TO CIVIL DWG
- DRAIN ROCK
200 MM DEPTH 2" - 4" DIM WASHED COBBLE ROCK ON FILTER FABRIC CW PT WOOD EDGER
- LAWN + SOI ON 150 MM MIN DEPTH APPROVED GROWING MEDIUM
- FORMAL PLANTING BED CW 60 MM OF FIR BARK MULCH GROUND COVER ON FILTER FABRIC ON APPROVED GROWING MEDIUM 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- NATIVE PLANTING BED CW 60 MM COMPOST MULCH NO FILTER FABRIC ON APPROVED GROWING MEDIUM 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
- CIVIL STORMWATER DRAINAGE/ DETENTION AREA (REFER TO CIVIL DWG)
- AMENITY PLAYGROUND SPACE WITH HABITAT NATURAL PLAY ELEMENTS ON POUR-IN-PLACE RUBBER FALL SURFACING
- PT WOOD PRIVACY FENCE - STYLE & STAIN COLOUR TBD HEIGHT AS NOTED
- 1 200 MM HT. METAL FENCE & GATE (PLAY AREA) COLOUR/STYLE TO MATCH RAILING AT TOP OF CONCRETE WALLS
- BENDER BOARD COMPOSITE EDGER
- CONCRETE CURB EDGING
- CONCRETE PLANTER WALLS POUR IN PLACE OR ALTERNATIVELY PRECAST CONCRETE BLOCKS
- STACKED TIMBER RAISED PLANTER OPEN FOR SEASONAL PLANTING
- BENCH FINISH TO CONCRETE SURFACE
- DERO ROLLING BIKE RACK SECURED TO CONCRETE WALKWAY (OR APPROVED EQUIVALENT)
- GARBAGE BIN

0m 10m 20m

PLAN VP01025

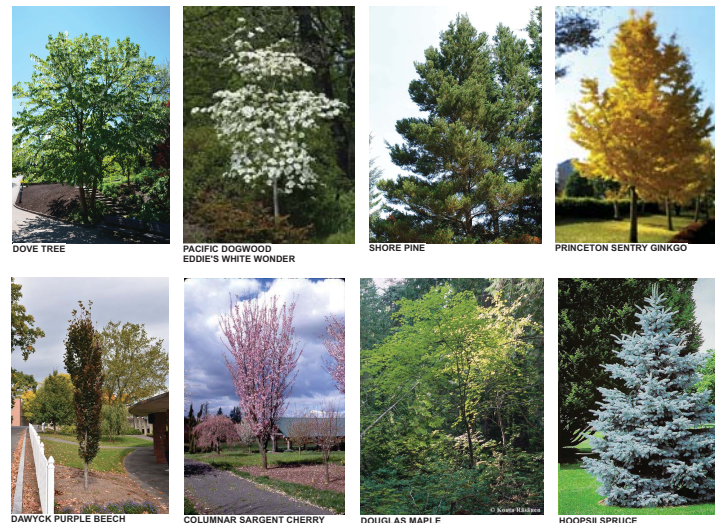


B SELUX INULA BOLLARD
(OR APPROVED EQUIVALENT)
LED DARK SKY COMPLIANT BOLLARD LIGHT
COLOUR: BLACK
HT: 3.5' (1 METER)

OVERALL PROJECT PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	COUNT	SIZE
Trees				
Am	Acer ginnata	Amur Maple	5	6cm Cal
Om	Acer glabrum	Douglas Maple	10	#2pot
Pr	Prunus canadensis	Prunus Tree	6	#2pot
Cd	Cornus nuttallii x florida (Eddies White Wonder)	Eddies White Wonder Dogwood	4	6cm Cal
Fs	Fagus sylvatica 'Dawack Purple'	Dawack Purple Beech	22	6cm Cal
Di	Davidia involucreata	Dove Tree	2	6 cm Cal
Pr	Prunus blanda 'Princeton Sentry'	Princeton Sentry Ginkgo	2	6cm Cal
Pr	Prunus sargentii 'Volumen'	Columnar Sargent Cherry	7	6cm Cal
Pr	Prunus pennsylvanica 'Hoopii'	Hoopii Spruce	6	2m
Shrubs				
Rc	Ribes cereum 'Concorde'	Concorde Barberry	54	#2pot
Rc	Ribes cereum 'Rose Glow'	Rose Glow Barberry	44	#2pot
Cd	Cornus sericea 'Kelsay'	Dwarf Kelsay Dogwood	96	#2pot
Pr	Prunus pennsylvanica 'Tiffany'	Common Juniper (horizontal form)	87	#2pot
L	Lonicera ciliosa	Trumpet Honeysuckle	24	#2pot
Lg	Ledum grandidentatum	Labrador Tea	26	#2pot
Mr	Malva repens	Creeping Oregon Grape	87	#2pot
Pr	Prunella virginiana	Mock Orange	7	#2pot
Pr	Prunella virginiana 'Dwarf Snowflake'	Miniature Snowflake Mock Orange	97	#2pot
Ra	Ribes alpinum	Alpine Currant	10	#2pot
Rhe	Rhododendron macrophyllum	Pacific Rhododendron	13	#2pot
Rh	Rhododendron x Tamara	Tamara Rhododendron	23	#2pot
Rr	Rosa Noem	Flower Carpet Appleblossom Rose	10	#2pot
Rn	Rosa nutkana	Nootka Rose	64	#2pot
Sc	Sorbus cornifolia	Sweet Box	40	#2pot
Si	Skimmia japonica 'Rubella'	Compact Skimmia	83	#2pot
Ss	Sorbaria sorbifolia	False Spirea	63	#2pot
Ss	Sorbaria sorbifolia 'Sany'	Carved False Spirea	63	#2pot
Ss	Symphoricarpos albus	Snowberry	7	#2pot
Ssf	Spirea x bumalda 'Goldflame'	Goldflame Spirea	127	#2pot
Vl	Viburnum trilobum	Highbush Cranberry	16	#2pot
Ornamental Grasses, Vines & Groundcover				
Ck	Calamagrostis x acutifolia 'Walt Foerster'	Feather Reed Grass	248	#1pot
Cs	Carex acutifolia	Tufted Horsetail	134	#1pot
Hl	Helicodendron sempervirens	Blue Oak Grass	111	#1pot
Ph	Penstemon alpinus 'Hamel'	Dwarf Fountain Grass	71	#1pot
Pa	Parthenocissus quinquefolia	Virginia Creeper	24	#1pot
Ar	Arctostaphylos uva-ursi	Gromwell	71	10cm pot
Vv	Vaccinium vitis-idaea	Lingonberry	31	#1pot
Perennials				
Ap	Adiantum pedatum	Maidenhair Fern	10	#1pot
Al	Alum. cernuum	Nodding Onion	80	#1pot
Bs	Besleria bicolor 'Bressingham Bronze'	Bressingham Bronze Coral Bells	23	#1pot
Lf	Lithospermum erythrorhizon	Lady Fern	5	#1pot

PROPOSED TREE EXAMPLE IMAGES



1. PLANT MATERIAL AND CONSTRUCTION METHODS WORK AND MATERIALS SHALL MEET OR EXCEED THE CANADIAN LANDSCAPE STANDARDS.

2. ALL PLANTING BEDS SHALL BE WATERED BY AUTOMATIC IRRIGATION SYSTEM

3. TURF AREAS FROM SOI SHALL BE NO. 1 GRADE GROWN FROM CERTIFIED SEED AND SHALL BE TOLERANT OF DROUGHT CONDITIONS. A MINIMUM OF 150 MM DEPTH OF GROWING MEDIUM IS REQUIRED BETWEEN TURF AREAS. TURF AREAS SHALL MEET EXISTING GRADIENTS AND BE FLUSH TO ADJACENT HARD SURFACES.

4. REFER TO CIVIL ENG. DWGS FOR SITE GRADING AND DRAINAGE AND WILL ENSURE THAT NO WATER OR LOOSE IMPEDIMENTS WILL BE DISCHARGED FROM THE LOT ONTO ADJACENT PUBLIC, COMMON OR PRIVATE PROPERTIES.



CHILDRENS PLAY EQUIPMENT
(OR APPROVED EQUIVALENT)
POSSIBLE SUPPLIER:
HABITAT SYSTEMS INC.
1 866 422 4828

Date	Revisions	By
April 12, 2022	Preliminary Draft For Review	LS/SD
July 7, 2023	Issue for DP	LS/SD



SELUX INULA BOLLARD
OR APPROVED EQUIVALENT
LED DARK SKY COMPLIANT BOLLARD LIGHT
COLOUR: BLACK
HT: 3.5' (1 METER)

Project

Harbour Hills
525 Third Street
Nanaimo, BC

Sheet Title

Overall
Landscape Plan

Date April 12, 2022

Scale 1:250 METERS

Drawn By LS/SD

Project No.

Copyright reserved. This drawing and the
design are, and at all times remain the exclusive
property of Lazzarin Svissdahl Landscape Architects
and cannot be used without the Landscape
Architect's written consent.

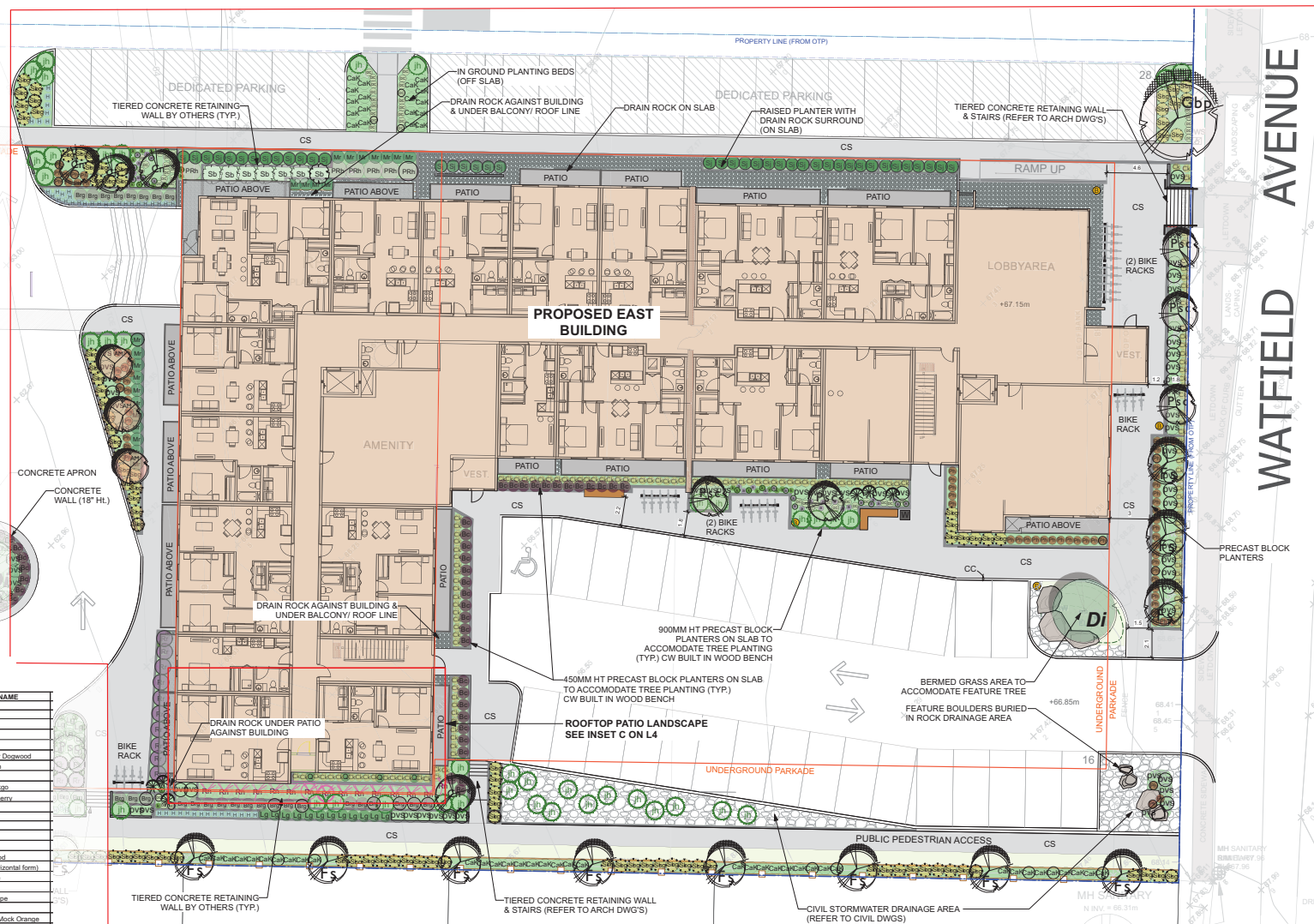
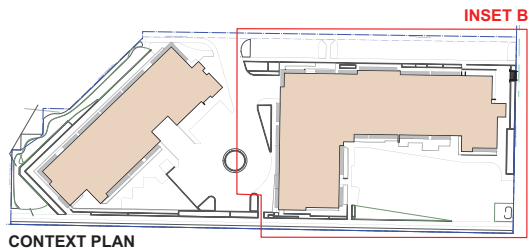
Drawing No.

L 1.0

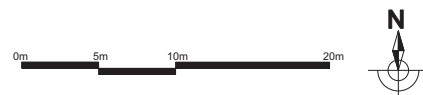
RECEIVED
DP1275
2023-JUL-26

	PROPERTY LINES
	LINE OF UNDERGROUND PARKADE
	BRUSH FINISH CONCRETE WALKWAYS _{REFER TO CIVIL ENG DWGS}
	DRAIN ROCK 200 MM DEPTH 2" - 4" DIM WASHED COBBLE ROCK ON FILTER FABRIC CW PT WOOD EDGER.
	LAWN = SOD ON 150 MM MIN DEPTH APPROVED PLANTING MEDIUM
	FORMAL PLANTING BED CW 60 MM OF FIR BARK MULCH GROUNDCOVER ON FILTER FABRIC ON APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
	NATIVE PLANTING BED CW 60 MM COMPOST MULCH NO FILTER FABRIC ON APPROVED GROWING MEDIUM. 450 MM MIN DEPTH FOR SHRUBS 700 MM MIN FOR TREES
	CIVIL STORMWATER DRAINAGE/ DETENTION AREA (REFER TO CIVIL DWGS)
	PT WOOD PRIVACY FENCE - STYLE & STAIN COLOUR TBD HEIGHT AS NOTED
	1 200 MM HT. METAL FENCE & GATE (PLAY AREA) COLOUR / STYLE TO MATCH RAILINGS AT TOP OF CONCRETE WALLS
	BENDER BOARD COMPOSITE EDGER
	CONCRETE CURB EDGING
	CONCRETE PLANTER WALLS (POUR IN PLACE OR ALTERNATIVELY PRECAST CONCRETE BLOCKS)
	STACKED TIMBER RAISED PLANTER OPEN FOR SEASONAL PLANTING
	BENCH FIXED TO CONCRETE SURFACE
	DERO ROLLING BIKE RACK SECURED TO CONCRETE WALKWAY (OR APPROVED EQUIVALENT)
	GARBAGE BIN

SYMBOL	BOTANICAL NAME	COMMON NAME
Trees		
Am	<i>Amor. crinita</i>	Amur Maple
Ar	<i>Arct. glutinosum</i>	Douglas Maple
Ps	<i>Pinus contorta s. contorta</i>	Shore Pine
CF	<i>Quercus nuttallii s. florida</i> (Eddies White Wonders)	Eddies White Wonders Dogwood
CF	<i>Forsythia viridissima</i> "Black Purple"	Black Purple Bush
Dr	<i>Dryopteris</i>	Dry-Tree
GB	<i>Ginkgo biloba</i> "Princeton Sentry"	Princeton Sentry Ginkgo
Pac	<i>Prunus sargentii</i> "Columbian"	Columbian Sargent Cherry
PrHr	<i>Prunus pennsylv. "Hoopii"</i>	Hoopii Sargent
Shrubs		
Ba	<i>Baccharis hudsoniana</i> "Concord"	Concordie Barberry
Ba	<i>Baccharis hudsoniana</i> "Rose Glow"	Rose Glow Barberry
CaK	<i>Cam. serotina</i> "Kelley"	Dwarf Kelley Dogwood
Ja	<i>Juniperus communis</i> "Suevia Effusa"	Common Juniper (horizontal form)
Lc	<i>Lonicera ciliosa</i>	Trumpet Honeysuckle
Lg	<i>Lonicera greenlandica</i>	Laboratory Tea
M	<i>Malva</i>	Creeping Downy Grape
Pr	<i>Phacelium s. virginiana</i>	Mock Orange
Pr	<i>Phacelium s. virginiana</i> "Dwarf Snowflake"	Miniature Snowflake Mock Orange
Rb	<i>Ribes</i>	Raspberries
Rh	<i>Rhododendron macrophyllum</i>	Pacific Rhododendron
Rh	<i>Rhododendron s. "Remapo"</i>	Remapo Rhododendron
RR	<i>Rosa "Nasal"</i>	Flower Carpet Aspidolobos Rose
RR	<i>Rosa nutkana</i>	Nootka Rose
S	<i>Sarcococca confusa</i>	Sweet Box
Sk	<i>Skimmia japonica</i> "Rebella"	Connect Skimmia
Sk	<i>Skimmia</i>	Little Skimmia
Sr	<i>Sorbaria sorbifolia</i>	Fernleaf False Spiraea
St	<i>Spiraea alba</i>	White Spiraea
St	<i>Spiraea japonica</i> "Lutescens"	Yellowish Spiraea
St	<i>Spiraea japonica</i> "Goldflame"	Goldflame
V	<i>Viburnum litchium</i>	Blackthorn Cranberry
Ornamental Grasses, Vines & Groundcover		
Ck	<i>Calamagrostis s. acutifolia</i> "Vani Fountains"	Feather Reed Grass
De	<i>Deschampsia cespitosa</i>	Twisted Hairgrass
H	<i>Helleborichia sempervirens</i>	Blue Coat Grass
Ph	<i>Phlox paniculata</i> "discolorata 'Hanneli"	Discolor Phlox
Q	<i>Parthenocissus quinquefolia</i>	Mourning Creeper
A	<i>Actinostaphylos viv-ace</i>	Kinnikinnick
VV	<i>Vaccinium vitis-idaea</i>	Lobcberry
Perennials		
Ad	<i>Adiantum pedatum</i>	Maidsheen Fern
a	<i>Allium</i>	Nodding Onion
a	<i>Heuchera microphylla</i> "Bressingham Bronze"	Bressingham Bronze Coral Bells



EAST INSET B



Date	Revisions	By
April 12, 2022	Preliminary Draft For Review	LS/IS
July 7, 2023	Issue for DP	LS/IS



Project

Harbour Hills
525 Third Street
Nanaimo, BC

Sheet Title

Inset B
East Building
Landscape Plan

Date April 12, 2022

Scale 1:150 METERS

Drawn By J S/SD

Project No. _____

Copyright reserved. This drawing and the design are, and at all times remain the exclusive property of Lazzarin Svisdahl Landscape Architects and cannot be used without the Landscape Architect's written consent.

Drawing No.

L 3.0

RECEIVED
DP1275
2023-JUL-26

Schedule D - Amenity Requirements for Additional Density

IRONCLAD DEVELOPMENTS INC.

Category 1: Site Selection (10 points required)

Amenity		Points	Proposed?
A	The proposed development is located on a brownfield site.	5	✓
B	The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks.	3	X
C	The proposed development is located within 200m of a park or trail network.	1	✓
D	The proposed development is located within 400m of any of the following: <ul style="list-style-type: none"> • retail store; • daycare facility; • Nanaimo Regional District transit bus stop; • any PRC Zoned property; and / or • a CS-1 zoned property. 	1 point each	✓ X ✓ ✓ ✓ (4 points total)
E	The proposed development will add any of the following amenities on the site, or immediately adjacent to the site, as part of the proposed development: <ul style="list-style-type: none"> • retail store or public market; • daycare facility; • Nanaimo Regional District transit bus stop; • any PRC Zoned property; • a CS-1 zoned property; and / or • public art. 	1 point each	X
Total		20	10

RECEIVED

DP1275

2022-JUN-02

Current Planning



IRONCLAD DEVELOPMENTS INC.

Category 3: Parking and Sustainable Transportation (10 points required)

Amenity		Points	Proposed?
A	For non-residential uses, long term protected bicycle storage is provided and shower and change room facilities are provided to accommodate building employees where applicable.	2	X
B	At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op.	1	X
C	The developer purchases a new car and gifts the car to a recognized car share provider for the inclusion of a car share space on the subject property.	4	X
D	A minimum of 50% of the parking for the proposed development includes access to an electric vehicle charging station.	2	✓
E	A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.	4	✓
F	The proposed development includes covered and designated parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces: a) multiple family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units	2	X
G	A pedestrian network is included in the proposed development that connects the buildings on the site with the public road right-of-way and, the pedestrian network from the adjacent site to which there is access by perpetual easement or right-of-way, provided the City agrees to accept the right-of-way.	2	✓
H	Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw.	2	✓
I	The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.	1	X
Total		20	10

RECEIVED
DP1275
2022-JUN-02
Current Planning



101-57158 SYMINGTON RD 20E
SPRINGFIELD, MANITOBA CANADA R2J 4L6
P:204.777.1972 F: 204.777.2006 Toll Free: 1.855.385.5524
www.ironcladdevelopments.com





IRONCLAD DEVELOPMENTS INC.

Category 5: Energy Management (11 points required)

Amenity		Points	Proposed?
A	The proposed development meets at least the requirements of Step 2 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by one step.*	10*	✓
B	The proposed development meets at least the requirements of Step 3 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by two steps.*	15*	X
C	The proposed development is considered a Part 3 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 (Net Zero Ready) within the BC Energy Step Code; or The proposed development is considered a Part 9 within the BCBC and the building meets the minimum requirements of Step 4 or 5 within the BC Energy Step Code.*	30*	X
D	The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite.	1	✓
Total		31	11

* Points will be awarded for only one of A, B, or C.

RECEIVED
DP1275
2022-JUN-02
Current Planning



101-57158 SYMINGTON RD 20E
SPRINGFIELD, MANITOBA CANADA R2J 4L6
P: 204.777.1972 F: 204.777.2006 Toll Free: 1.855.385.5524
www.ironcladdevelopments.com

