



DEVELOPMENT PERMIT NO. DP001273

GULF PROPERTIES INC
Owner(s) of Land (Permittee)

4775 UPLANDS DRIVE
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT A, DISTRICT LOT 14, WELLINGTON DISTRICT, PLAN EPP125984
LOT 2, DISTRICT LOT 14, WELLINGTON DISTRICT, PLAN VIP65104
EXCEPT THAT PART IN STRATA PLAN VIS4999 (PHASE 1)
PID Nos. 031-860-907 & 023-751-631**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

PERMIT TERMS

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum permitted height of a principal building from 14.0m to 16.0m.

The City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:

1. *Section 4.4 Location of Parking* – to allow a portion of the parking to be located in front of Building A substantially as shown on Schedule B.

CONDITIONS OF PERMIT

1. The subject property shall be developed substantially in accordance with the Site Plan & Parking Plans, prepared by Murdoch & Company Architecture Planning Ltd., dated 2023-MAR-28, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Murdoch & Company Architecture Planning Ltd., dated 2022-APR-05, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Murdoch & Company Architecture Planning Ltd., dated 2023-APR-05, as shown on Schedule D.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE
1ST DAY OF MAY, 2023.



Corporate Officer

Sheila Gurrie
Corporate Officer
City of Nanaimo



Date

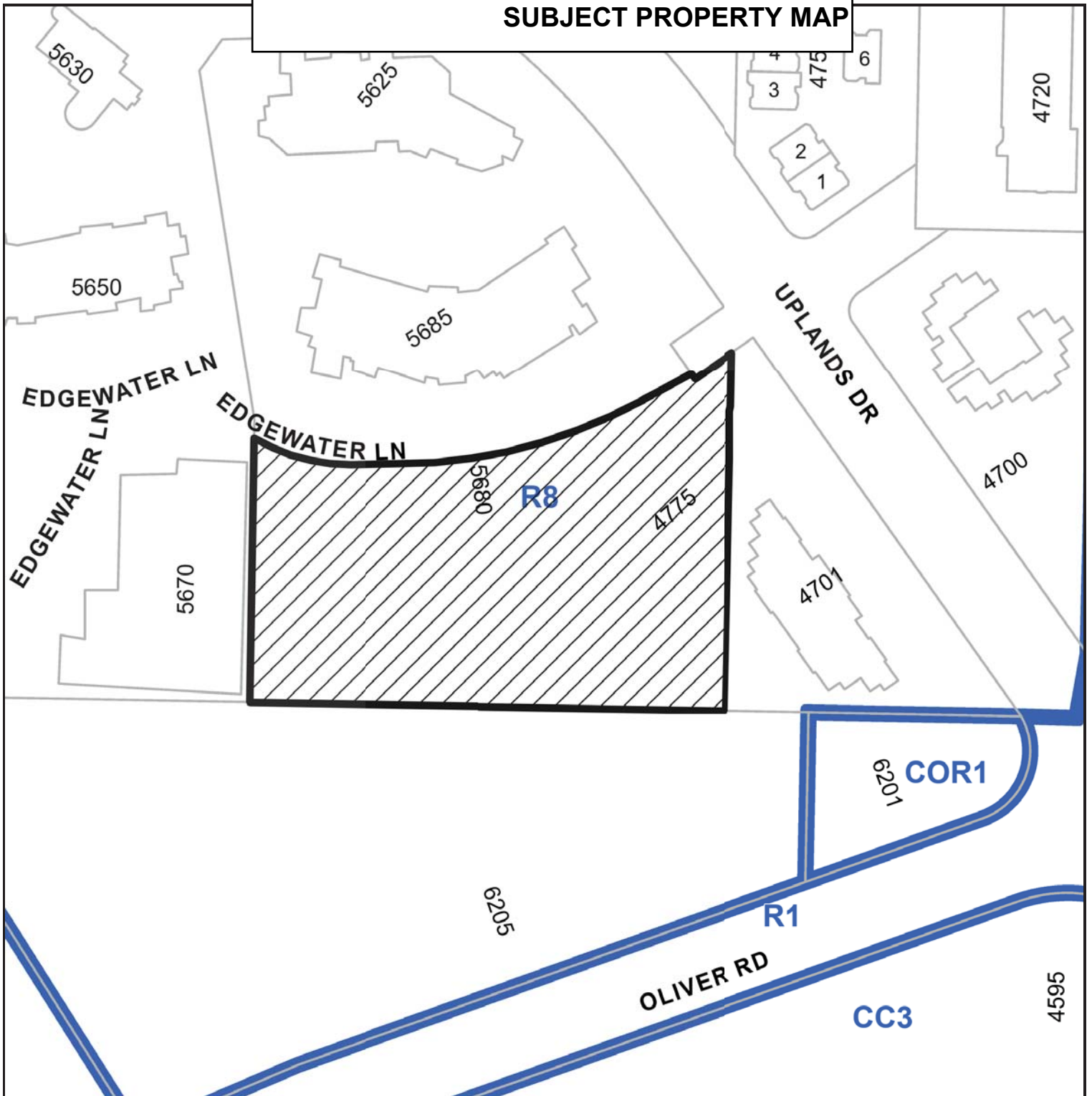
KM/bb

Prospero attachment: DP001273

Development Permit No. DP001273
4775 Uplands Drive

Schedule A

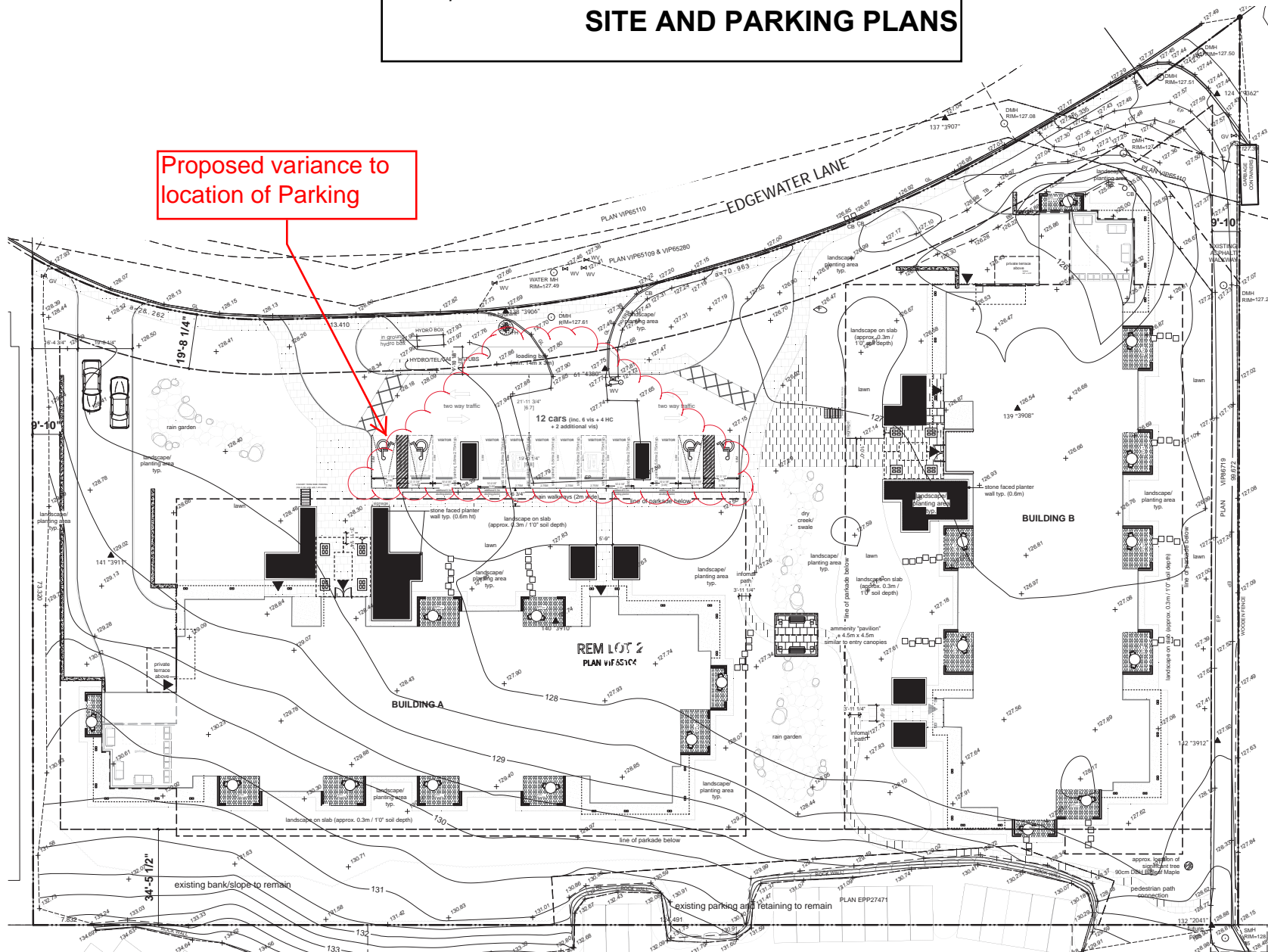
SUBJECT PROPERTY MAP



 4775 UPLANDS DRIVE

SITE AND PARKING PLANS

Proposed variance to location of Parking



Site Plan - Building A & B

Windermere at Longwood

4775 Uplands Drive, Nanaimo, BC



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			BM/TT	1/16" = 1'-0"
			Project No:	Sheet No:
			17.04	A-1.0

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DP1273
2023-APR-03

No. Revision:	Date:	No. Revision:	Date:	No. Revision:	Date:
Client Review	13.AUG.2018	COORDINATION	01.NOV.2019		
Progress Set	04.SEP.2018	BP REVISION	27.NOV.2019		
Progress Set	28.SEP.2018	Development Permit	05.APRIL.22		
Progress Set	20.NOV.2018	PROGRESS SET	16.OCT.2022		
Code Review	25.NOV.2018	PROGRESS SET	11.JAN.2023		
BUILDING PERMIT	09.DEC.2018	CON REVISIONS	23.OCT.		
REVIEW	11.APR.2019				
REVIEW	16.AUG.2019				

exit stairs (handrails, risers, landings, etc) to comply with BC Building Code 2018, Division B, Part 3, section 3.4.6.

NOTES:
 OFF-STREET PARKING DIMENSIONS AND DESIGN IN ACCORDANCE WITH DEVELOPMENT PARKING REGULATIONS BYLAW 2018 NO. 7266 AND VARIED AS PER DP 1093, Section 15.2 (bylaw 2018 #7266) Off-Street Parking Dimensions & Design - to allow a portion of the required parking to be provided in front of Bldg A as shown on the Site Plan.
 REFER TO STRUCTURAL FOR SUSPENDED SLAB GEOMETRY AND SLAB BAND REINFORCING.

EXTERIOR WALL ASSEMBLY SCHEDULE

WALL TYPE	DESCRIPTION
W1	CONCRETE
W2	CONCRETE WITH INSULATION
W3	CONCRETE WITH INSULATION AND FINISH
W4	CONCRETE WITH INSULATION AND FINISH (EXTERIOR)
W5	CONCRETE WITH INSULATION AND FINISH (INTERIOR)

AS PER PARKING BYLAW 7266

Vehicle Parking Calculation per building (AREA 3):

Required	48 units per building
24 - 2 BR Units @ 1.44 plu	48.96
14 - 1 BR Units @ 1.07 plu	31.98
	80.94
Proposed:	64 STALLS
Tot every 22 spaces required for visitors (incl. in total)	2.91
accessible parking required per building (incl. in total)	3 STALLS
(1 for every 33 stalls + 1 each designated unit)	5

Bicycle Parking Calculation per building:

Short Term @ 0.1 per dwelling unit	4.8
Long Term @ 0.5 per dwelling unit	24

EV Parking Calculation per building:

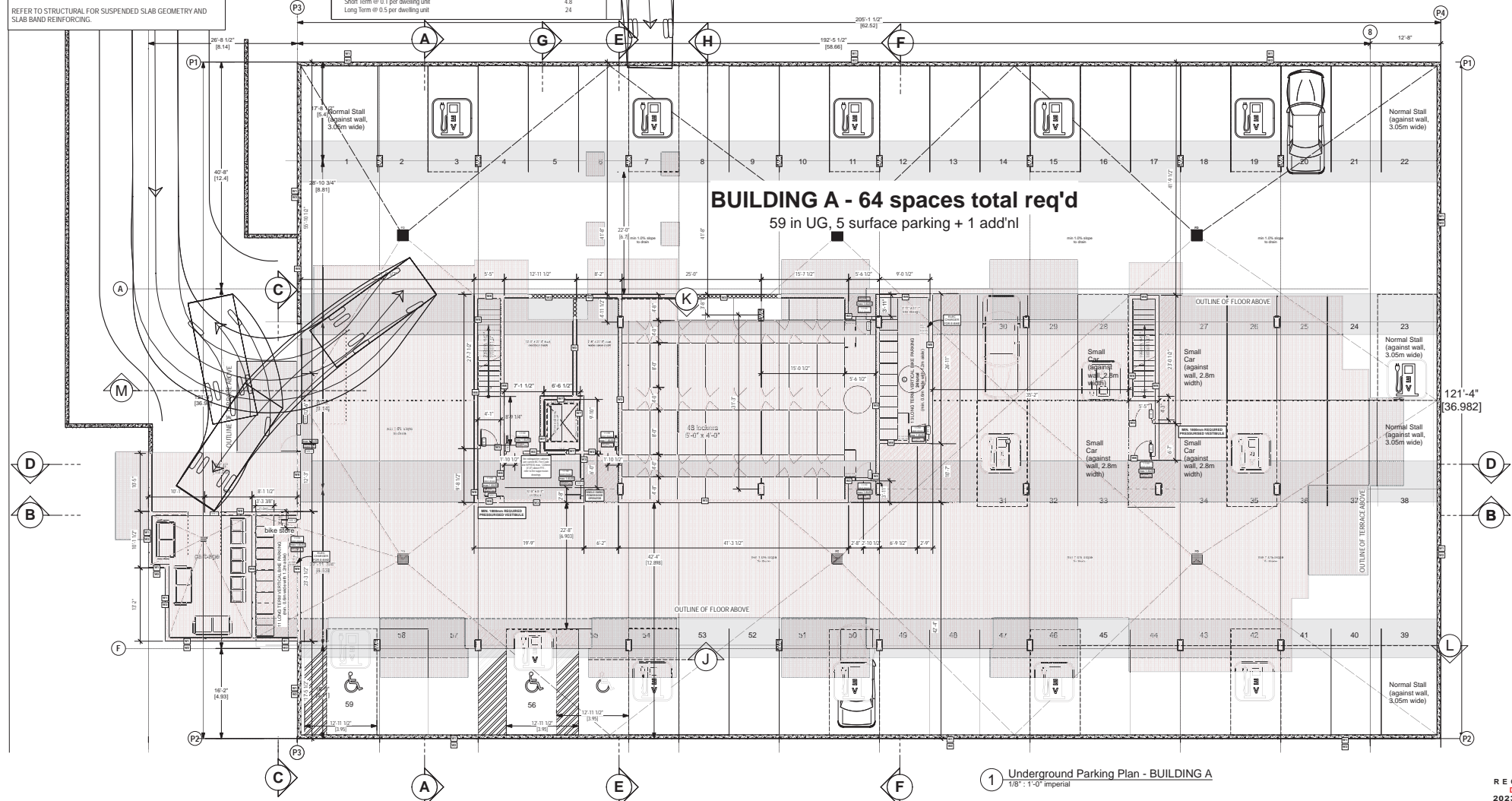
min. 2% of stalls to have shared access to a h2 charging stn	17
All remaining stalls to have elec outlet capable of supporting M2 charging stn	48

Stk Parking Stall: 2.75m x 5.8m (90") with min 6.7m drive aisle
 Std Parking Stall (against wall): 3.05m x 5.8m (90")
 Small car: 2.5m x 4.6m (90")
 Small car (against wall): 2.8m x 4.6m (90")
 Accessible stall: 3.7m x 5.6m OR 2.75m x 5.6m WITH 1.2m shared strip for access

SMOKE ALARMS TO BE COMPLIANT WITH BCBC 2018 & CONFORM TO CANULC-5553
CARBON MONOXIDE SENSOR TO BE LOCATED MAXIMUM 5m FROM BEDROOM DOORS.
MUST CONFORM TO CANCSA-6.19

SYMBOL KEY

□	FAN
○	CARBON MONOXIDE SENSOR
●	SMOKE DETECTOR
⊞	DOOR REFERENCE
⊞	WINDOW REFERENCE



① Underground Parking Plan - BUILDING A
 1/8" = 1'-0" imperial

No.:	Revision:	Date:	No.:	Revision:	Date:	No.:	Revision:	Date:
1	Dev Permit Submission	8th Feb, 2018	1	BUILDING PERMIT	05 DEC 2018	1	REVISION CON COMMENTS	17 JAN 2022
2	Consultant Review	11 JUL 2018	2	REVIEW	16 JUL 2019	2	CON REVISIONS	290326
3	Client Review	13 AUG 2018	3	COORDINATION	23 OCT 2019			
4	Progress Set	04 SEPT 2018	4	BP REVISION	27 NOV 2019			
5	Progress Set	28 SEPT 2018	5	Development Permit	05 APRIL 22			
6	Elevator review	03 OCT 2018	6	DP ADDITIONAL INFO	16 JUNE 2022			
7	Progress Set	20 NOV 2018	7	PROGRESS SET	08 OCT 2022			
8	Consultant Review	28 NOV 2018	8	PROGRESS SET	11 JAN 2023			

Underground Parkade, Building A
Windermere at Longwood
 4775 Uplands Drive, Nanaimo, BC



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 Architecture + Planning Ltd.
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 Ph: 505-6992 Fax: 505-6993
 e-mail: murdoch@telus.net

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 Project No: 17.04
 Sheet No: A-2.2

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EXTERIOR WALL ASSEMBLY SCHEDULE

1	EIFS
2	EIFS with insulation
3	EIFS with insulation and brick veneer
4	EIFS with insulation and stone veneer
5	EIFS with insulation and metal mesh
6	EIFS with insulation and metal mesh and brick veneer
7	EIFS with insulation and metal mesh and stone veneer

SYMBOL KEY

FAN	FAN
CARBON MONOXIDE SENSOR	CARBON MONOXIDE SENSOR
SMOKE DETECTOR	SMOKE DETECTOR
DOOR REFERENCE	DOOR REFERENCE
WINDOW REFERENCE	WINDOW REFERENCE

EV Parking Calculation per building:

min. 25% of stalls to have shared access to a 1/2 2 charging sin	17
All remaining stalls to have elec outlet capable of supporting 1/2 2 charging sin	48

Stall Parking Stalk: 2.75m x 5.8m (9'0" with min 6.7m drive aisle)
 Stalk Parking Stalk (against wall): 3.05m x 5.8m (9'0")
 Small car: 2.5m x 4.6m (8'0")
 Small car (against wall): 2.8m x 4.6m (9'0")
 Accessible stall: 3.7m x 5.6m OR 2.75m x 5.6m WITH 1.2m shared slip for access

SMOKE ALARMS TO BE COMPLIANT WITH BCBC 2018 & CONFORM TO CANULC-553 CARBON MONOXIDE SENSOR TO BE LOCATED MAXIMUM 5m FROM BEDROOM DOORS. MUST CONFORM TO CAN/CSA-6.19

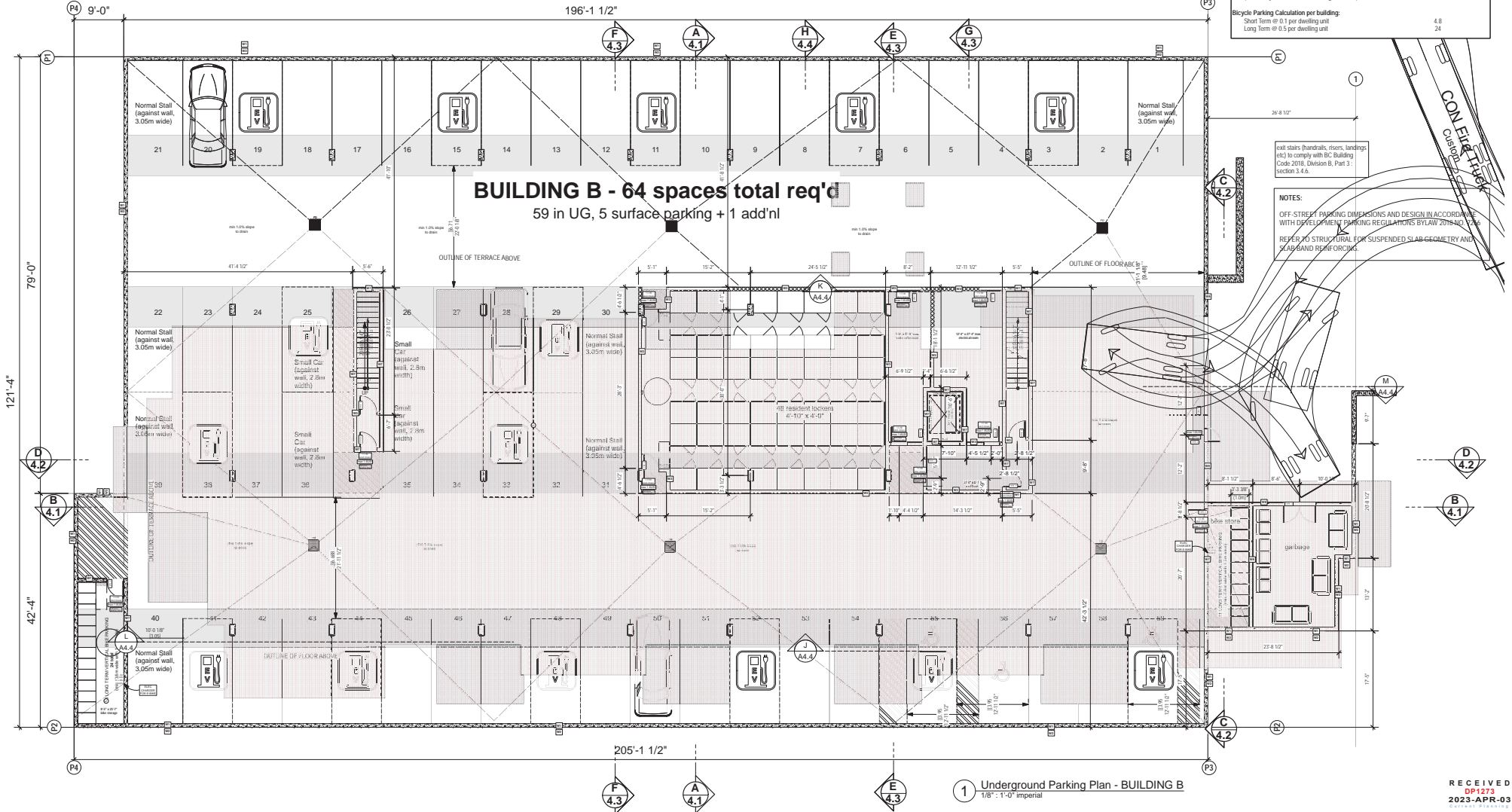
AS PER PARKING BYLAW 7266

Vehicle Parking Calculation per building (AREA 3):

Required:	48 units per building
34 - 2 BR Units @ 1.44 pu	No of Stalls 48.96
14 - 1 BR Units @ 1.07 pu	14.98
	63.94
	64 STALLS
Proposed:	65 STALLS
1 of every 22 spaces required for visitors (incl. in total)	2.91
accessible parking required per building (incl. in total)	3 STALLS
(1 for every 33 stalls + 1 each designated unit)	5

Bicycle Parking Calculation per building:

Short Term @ 0.1 per dwelling unit	4.8
Long Term @ 0.5 per dwelling unit	24



Exit stairs (handrails, doors, landings etc) to comply with BC Building Code 2018, Division B, Part 3: Section 3.4.6.

NOTES:

OFF-STREET PARKING DIMENSIONS AND DESIGN IN ACCORDANCE WITH DEVELOPMENT PARKING REGULATIONS BYLAW 2018 AND 2019. REFER TO STRUCTURAL FOR SUSPENDED SLAB GEOMETRY AND SLAB BAND REINFORCING.

No.	Revision:	Date:	No.	Revision:	Date:	No.	Revision:	Date:
1	Dev Permit Submission	8th Feb, 2018	1	BUILDING PERMIT	05 DEC 2018	1	REVISION CON COMMENTS	12 JAN 2022
2	Consultant Review	11 JUL 2018	2	REVIEW	16 JUL 2018	2	CON REVISIONS	290328
3	Client Review	13 AUG 2018	3	COORDINATION	23 OCT 2018			
4	Progress Set	04 SEPT 2018	4	BP REVISION	27 NOV 2018			
5	Progress Set	28 SEPT 2018	5	Development Permit	05 APRIL 22			
6	Elevator review	03 OCT 2018	6	DP ADDITIONAL INFO	16 JUNE 2022			
7	Progress Set	20 NOV 2018	7	COORDINATION	08 NOV 2022			
8	Consultant Review	28 NOV 2018	8	PROGRESS SET	11 JAN 2022			

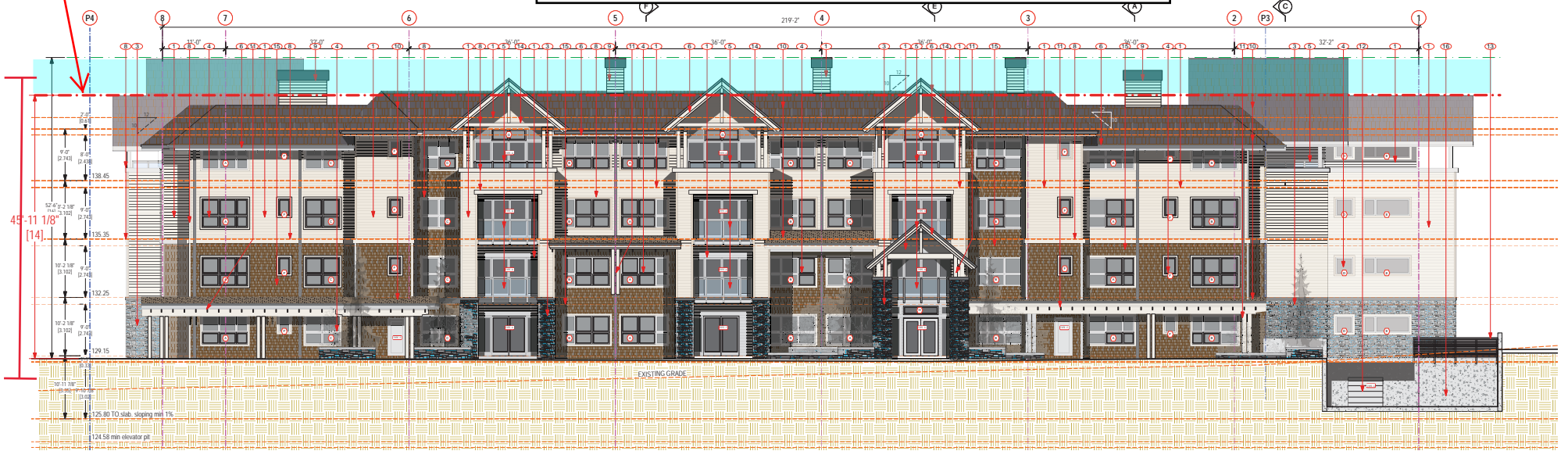
Underground Parkade, Building B
Windermere at Longwood
 4775 Uplands Drive, Nanaimo, BC

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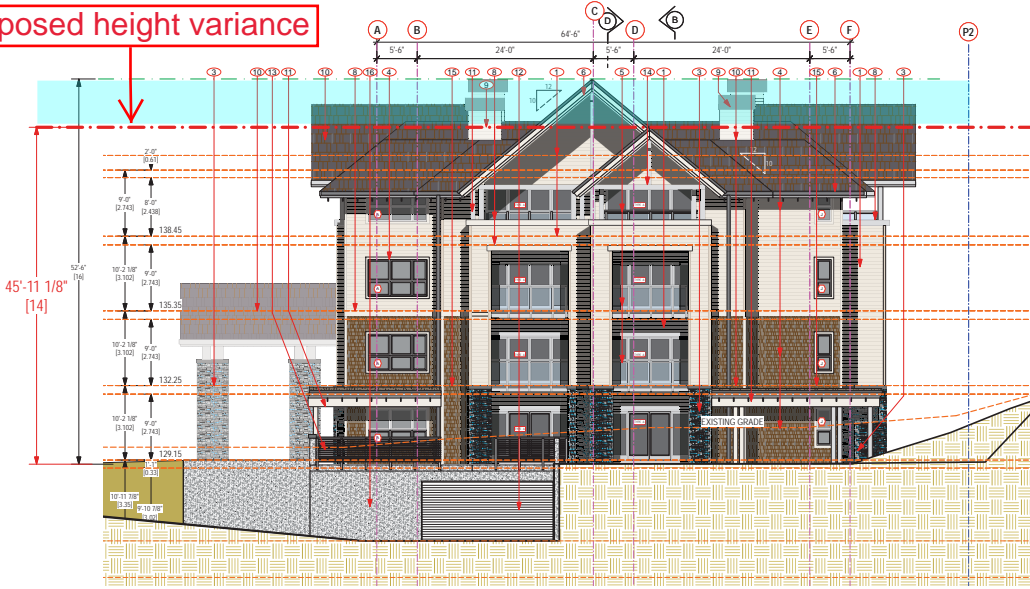
BUILDING ELEVATIONS AND DETAILS

Proposed height variance



1 North Elevation - BUILDING A
1/8" = 1'-0" imperial

Proposed height variance



2 West Elevation - BUILDING A
1/8" = 1'-0" imperial

EXTERIOR FINISHES LEGEND
TO BE READ IN CONJUNCTION WITH DETAILS

- 1 HORIZONTAL HARDIE LAP SIDING, COLOUR ARCTIC WHITE
- 2 NOT USED
- 3 BASALT STONE, ROUGH EDGE, c/w CONCRETE CAP
- 4 VINYL NAIL ON FLANGE, DOUBLE GLAZED WINDOWS, INSULATED FIBREGLASS & METAL EXTERIOR DOORS
- 5 PRE-PAINTED ALUM GUARD RAIL WITH GLASS INFILL
- 6 24 GAUGE PRE-FINISHED METAL FASCIA WITH 2 STEP PAINTED FASCIA
- 7 WOOD SOFFIT, PAINTED
- 8 WOOD TRIM TO BELLY BANDS, WINDOW TRIMS & CAPS AROUND TOP OF DECKS, PAINTED TO MATCH ARCTIC WHITE
- 9 CHIMNEY STRUCTURES CLAD IN HORIZONTAL HARDIE LAP SIDING WITH METAL FLASHING CAP
- 10 ASPHALT SHINGLE ROOFING
- 11 SOLID WOOD CANPIES TO GROUND FLOOR, MID-LEVELS & BEAMS FOR DECKS
- 12 METAL GARAGE ROLLER DOOR
- 13 PRE-PAINTED ALUM GUARD RAIL
- 14 EXPOSED TRUSS TOP CHORDS, PAINTED
- 15 HARDIE SHINGLE CLADDING COLOUR KIMMO BROWN
- 16 CONCRETE FINISH TO PARKADE ENTRY

14m HEIGHT ILLUSTRATED 230419

NOTE:
MAXIMUM ROOF HEIGHT ALLOWABLE: 16.0M
VARIED AS PER DP 0193.

No.	Revision:	Date:	No.	Revision:	Date:	No.	Revision:	Date:
	Dev. Permit Submission	8th Feb. 2018		BUILDING PERMIT REVIEW	05 DEC 2018			
	OVERHEIGHT ROOF AREAS	14 MAY/18		COORDINATION	16 JUL 2019			
	DP Commentary	4 JUN 2018		BP REVISION	23 OCT 2019			
	Consultant Review	11 JUL 2018		Development Permit	27 NOV 2019			
	Client Review	13 AUG 2018		PROGRESS SET	05 APRIL 22			
	Progress Set	04 SEPT 2018		PROGRESS SET	06 OCT 2022			
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	Progress Set	20 NOV 2018						

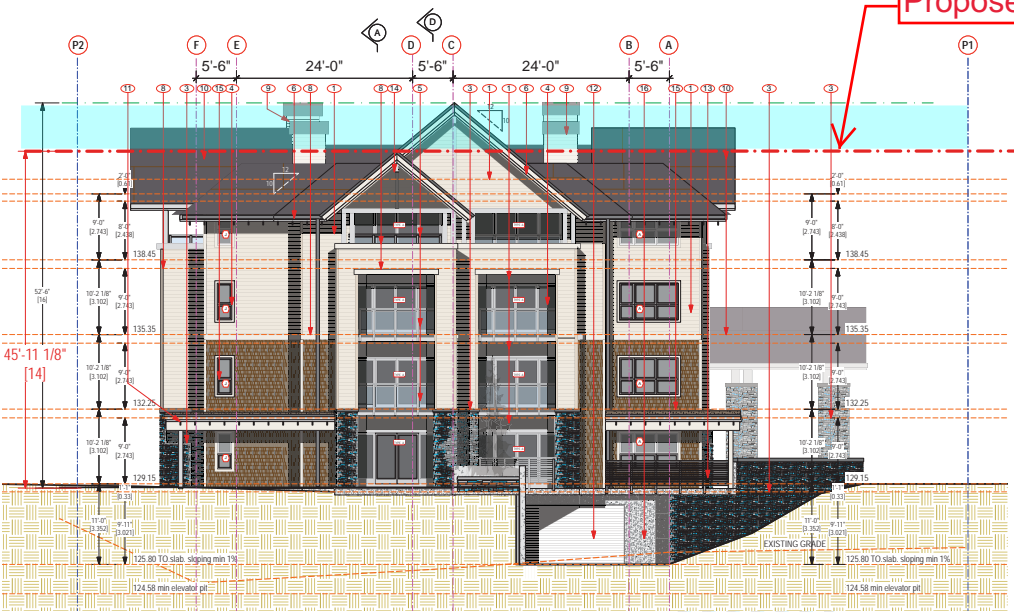
Elevations, Building A
Windermere at Longwood
4775 Uplands Drive, Nanaimo, BC

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Proposed height variance

NOTE:
MAXIMUM ROOF HEIGHT ALLOWABLE : 16.0M
VARIED AS PER DP 1093.



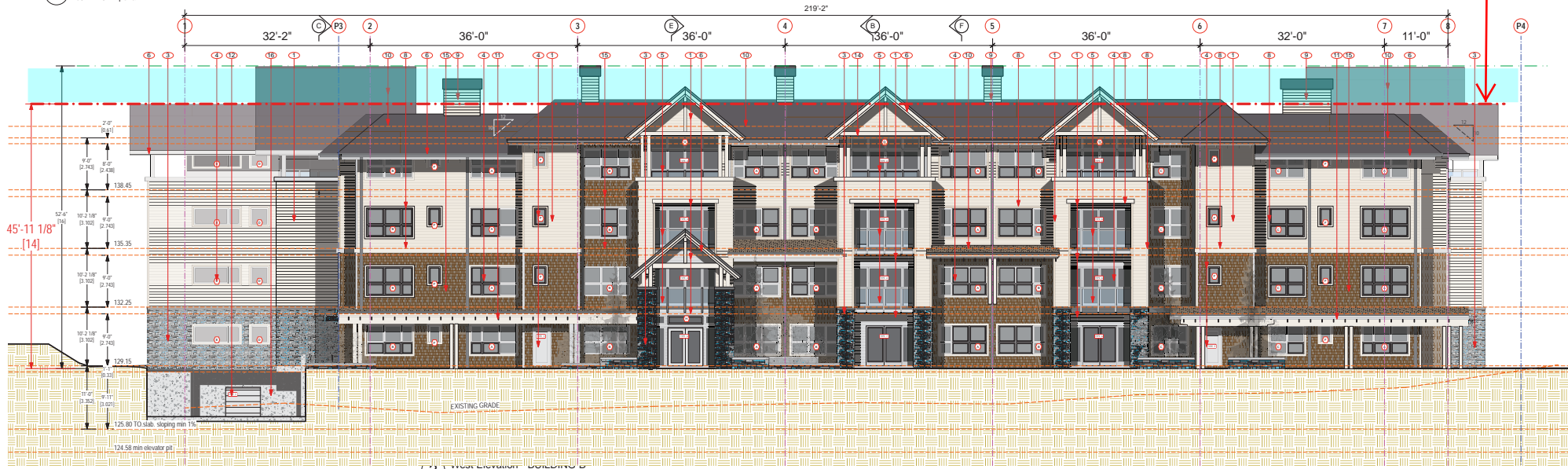
1 North Elevation - BUILDING B
1/8" = 1'-0" Imperial

EXTERIOR FINISHES LEGEND
TO BE READ IN CONJUNCTION WITH DETAILS

- 1 HORIZONTAL HARDIE LAP SIDING, COLOUR: ARCTIC WHITE
- 2 NOT USED
- 3 BASALT STONE, ROUGH EDGE, c/w CONCRETE CAP
- 4 VINYL NAIL ON FLANGE, DOUBLE GLAZED WINDOWS INSULATED FIBREGLASS & METAL, EXTERIOR DOORS
- 5 PRE-PAINTED ALUM GUARD RAIL WITH GLASS INFILL
- 6 24 GAUGE PRE-FINISHED METAL FASCIA WITH 2 STEP PAINTED FASCIA
- 7 WOOD SOFFIT, PAINTED
- 8 WOOD TRIM TO BELLY BANDS, WINDOW TRIMS & CAPS AROUND TOP OF DECKS, PAINTED TO MATCH ARCTIC WHITE
- 9 CHIMNEY STRUCTURES CLAD IN HORIZONTAL HARDIE LAP SIDING WITH METAL FLASHING CAP
- 10 ASPHALT SHINGLE ROOFING
- 11 SOLID WOOD CANOPIES TO GROUND FLOOR, MID-LEVEL & BEAMS FOR DECKS
- 12 METAL GARAGE ROLLER DOOR
- 13 PRE-PAINTED ALUM GUARD RAIL
- 14 EXPOSED TRUSS TOP CHORDS, PAINTED
- 15 HARDIE SHINGLE CLADDING COLOUR: KHAKI BROWN
- 16 CONCRETE FINISH TO PARKADE ENTRY

14m HEIGHT
ILLUSTRATED
230419

Proposed height variance



2 West Elevation - BUILDING B
1/8" = 1'-0" Imperial

No.	Revision:	Date:	No.	Revision:	Date:	No.	Revision:	Date:
Dev. Permit Submission	8th Feb. 2018		BUILDING PERMIT	05 DEC 2018				
OVERHEIGHT ROOF AREAS	14 MAY/18		REVIEW	16 JUL 2019				
DIP Commentary	4 JUN 2018		COORDINATION	23 OCT 2019				
Consultant Review	11 JUL 2018		BP REVISION	27 NOV 2019				
Client Review	13 AUG 2018		Development Permit	05 APRIL 22				
Progress Set	04 SEPT 2018		COORDINATION	08 NOV 2022				
Progress Set	20 SEPT 2018		INDICES SET	11 JAN 2022				
Progress Set	20 NOV 2018							

Elevations, Building B
Windermere at Longwood
4775 Uplands Drive, Nanaimo, BC

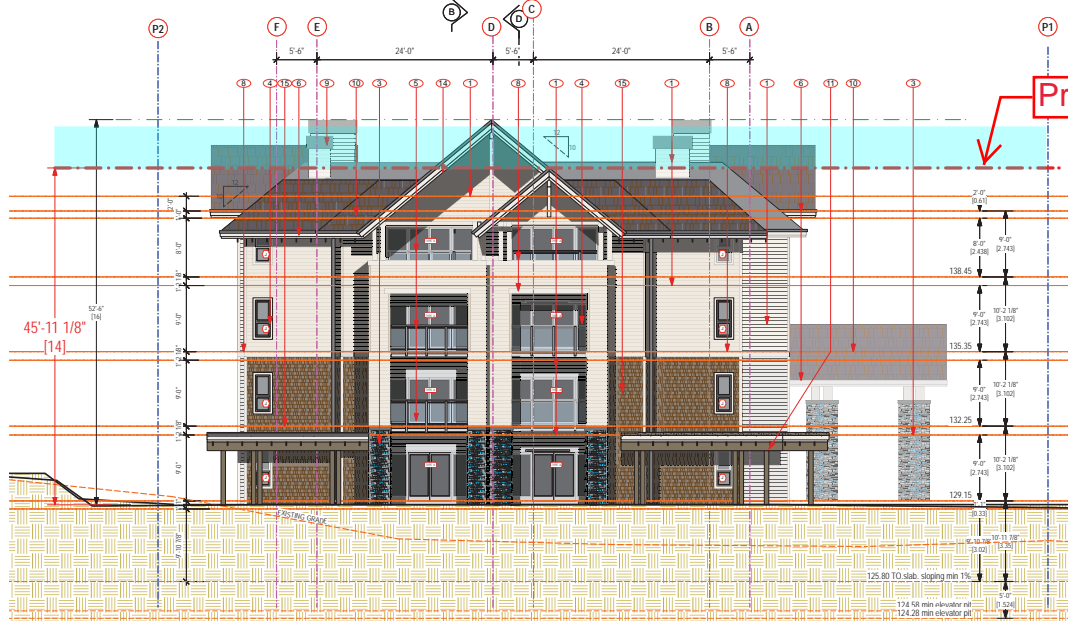
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		17.04	A-3.1

Proposed height variance



1 South Elevation - BUILDING A
1/8" = 1'-0" Imperial

Proposed height variance



2 East Elevation - BUILDING A
1/8" = 1'-0" Imperial

EXTERIOR FINISHES LEGEND
TO BE READ IN CONJUNCTION WITH DETAILS

- 1 HORIZONTAL HARDIE LAP SIDING, COLOUR ARCTIC WHITE
- 2 NOT USED
- 3 BASALT STONE, ROUGH EDGE, c/w CONCRETE CAP
- 4 VINYL NAIL ON FLANGE, DOUBLE GLAZED WINDOWS, INSULATED FIBREGLASS & METAL EXTERIOR DOORS
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- 12 METAL GARAGE ROLLER DOOR
- 13 PRE-PAINTED ALUM GUARD RAIL
- 14 EXPOSED TRUSS TOP CHORDS, PAINTED
- 15 HARDIE SHINGLE CLADDING, COLOUR KIMIKI BROWN
- 16 CONCRETE FINISH TO PARKADE ENTRY

14m HEIGHT ILLUSTRATED 230419

NOTE:
MAXIMUM ROOF HEIGHT ALLOWABLE: 16.0M
VARIED AS PER DP 1093.

No.	Revision:	Date:	No.	Revision:	Date:
DP Submission	08.FEB.2018		BUILDING PERMIT	05.DEC.2018	
OVERHEIGHT ROOF AREAS	14.MAY.18		REVIEW	16.JUL.2019	
DP Commentary	4.JUN.2018		COORDINATION	23.OCT.2019	
Consultant Review	11.JUL.2018		BP REVISION	27.NOV.2019	
Client Review	13.AUG.2018		Development Permit	05.APRIL.22	
Progress Set	04.SEP.2018		PROGRESS SET	06.OCT.2022	
Progress Set	29.SEP.2018		PROGRESS SET	11.JAN.2023	
Progress Set	20.NOV.2018				

Elevations, Building A
Windermere at Longwood
4775 Uplands Drive, Nanaimo, BC

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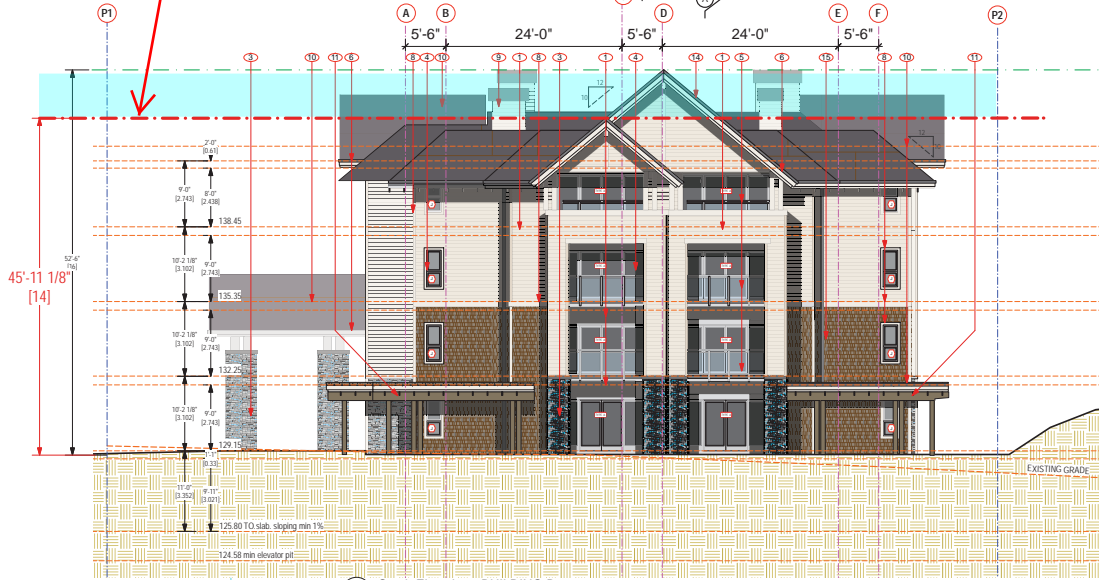
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COURT HOUSE

Proposed height variance

NOTE:
MAXIMUM ROOF HEIGHT ALLOWABLE : 16.0M
VARIED AS PER DP 1093.

- EXTERIOR FINISHES LEGEND**
TO BE READ IN CONJUNCTION WITH DETAILS'
- 1 HORIZONTAL HARDIE LAP SIDING, COLOUR: ARCTIC WHITE
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 - 13 PRE-PAINTED ALUM GUARD RAIL
 - 14 EXPOSED TRUSS TOP CHORDS, PAINTED
 - 15 HARDIE SHINGLE CLADDING COLOUR: KHAKI BROWN
 - 16 CONCRETE FINISH TO PARKADE ENTRY

14m HEIGHT
ILLUSTRATED
230419



1 South Elevation - BUILDING B
1/8" : 1'-0" Imperial

Proposed height variance



2 East Elevation - BUILDING B
1/8" : 1'-0" Imperial

Elevations, Building B
Windermere at Longwood
4775 Uplands Drive, Nanaimo, BC

No.	Revision:	Date:	No.	Revision:	Date:	No.	Revision:	Date:
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Progress Set	29.SEPT.2018	PROGRESS SET	11.AUG.2022					
Progress Set	20.NOV.2018							

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	Whistler & Planning Ltd. #102 - 419 Main St. P.O. Box 12564 Whistler, B.C., V0W 1B0 Ph. 305-6992 Fax 305-6993 e-mail murdoch@rebus.net	Project No:	Sheet No:
		17.04	A-3.2

Development Permit No. DP001273 Schedule D
 4775 Uplands Drive
LANDSCAPE PLAN AND DETAILS



Legend

- gravel pavers (Old Country Stone by Abbotsford Concrete or approved equal)
- Unit pavers: 10"x10", colour: natural grey Hydroponic Stone, (made by Abbotsford Concrete or approved equal)
- gravel strip edge - 6" minus
- stone faced planter wall typ. 0.6m ht.
- stepping stones: 10"x10", colour: natural grey Hydroponic Stone, (made by Abbotsford Concrete or approved equal)
- bench: Waterloo Site Furnishings, Multi-Pine Bench, or approved equal
- blue racks: DCBFA Design, Blue Rack 80A-10, or approved equal
- parkade exit
- ground floor exit

City of Nanaimo File No:

ENG 01493
 DP 0193
 BP 125077
 BP 125078



NOTE: ELEVATIONS ARE IN METRES

Landscape Plan - Building A & B
Windermere at Longwood
 4775 Uplands Drive, Nanaimo, BC

No.	Revision:	Date:	No.	Revision:	Date:
	development permit submission	18th Feb, 2018		REVISED - FIRE ACCESS	29.OCT. 2019
	REVISED - COMMENTS	29th APRIL, 2018		BP REVISION	27 NOV. 2019
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	PROCESS SET	04 SEPT. 2018			
	BUILDING PERMIT	03 DEC. 2018			
	REVISED - CoN File #	04 APR. 2019			

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 Project No: Sheet No:
 17.04 L-2.0

PLANTLIST					PROJECT: Longwood Apartments, Nanaimo, BC		DEC. 15, 2022
SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	NOTES	
TREES							
AG	33	Acer ginnala	Amur Maple (multistem)	1.0 m ht.		3 trunk min	
AP	12	Acer palmatum "Bloodgood"	Bloodgood Japanese Maple	1.0 m ht.		3 trunk min	
AR	0	Acer rubrum "Bowhall"	Bowhall Red Maple (Columnar form)	5 cm cal.			
AR2	5	Acer rubrum "Bowhall" (8cm cal.)	Bowhall Red Maple (Columnar form)	8 cm cal.			
PB	20	Picea breweriana	Weeping Spruce	2 m ht.			
PB3	9	Picea breweriana (3m ht)	Weeping Spruce	3 m ht.			
PO	14	Picea omorika	Serbian Spruce	2 m ht.			
PM	21	Pseudotsuga menziesii	Douglas Fir	2 m ht.		*native	
PM5	5	Pseudotsuga menziesii (5m ht.)	Douglas Fir	5 m ht.		*native	
PC	14	Pyrus calleryana "Red Spire"	Red Spire Ornamental Pear	5 cm cal.			
QG	6	Quercus garryana	Garry Oak	5 cm cal.		*native	
	139	Total Trees					
	69	Total Coniferous Trees					
SHRUBS							
aa	43	Amelanchier alnifolia	Serviceberry	1.0 m ht.		white *native	
Ac	41	Acer circinatum	Vine Maple (multistem)	1.0 m ht.		3 trunk min, native	
au	23	Arctostaphylos uva-ursi	Kinnikinnick	SP3	30cm	broadleaf evergreen	
ci	67	Cornus alba "Ivory Halo"	"Ivory Halo" Dogwood	#2			
cd	24	Cotoneaster dammeri "Coral Beauty"	Cotoneaster	SP3	30cm	broadleaf evergreen	
Cn	9	Cornus "Eddie's White Wonder"	White Wonder Flowering Dogwood	1.0 m ht.	30cm	broadleaf evergreen	
mc	43	Mahonia aquilifolia "Compacta"	Compact/Dwarf Oregon Grapeholly	#2		broadleaf evergreen	
pd	61	Physocarpus opulifolius "Diabolo"	Diabolo Purple Ninebark	#2			
pf	36	Potentilla fruticosa "Abbotswood"	Abbotswood Cinquefoil	#2		white	
pp	36	Pinus mugho Pumilio	Dwarf Mugho Pine	#2		evergreen	
rh	28	Rhododendrom "Loder's White"	Loder's White Rhododendron	#2		white	
rr	63	Rosa rugosa "Henry Hudson"	Rugosa Rose (White)	#2		white	
sa	44	Symphoricarpos albus	Snowberry	#2		*native	
sb	46	Spiraea bumalda "Anthopny Waterer"	Anthony Waterer Spiraea	#2		pink	
sh	42	Sarcococca hookeriana	Sweetbox	#2		white	
PERENNIALS							
ad	50	Adiantum pedatum	Maidenhair Fern	#1			
ech	65	Echinacea purpurea "Magnus"	Purple Coneflower	#1		pink	
hoq	55	Hosta "Great Expectations"	Great Expectations Hosta	#1		light/dark green	
nep	75	Nepeta x faassenii	Garden Catmint	#1		blue	
pol	85	Polystichum munitium	Sword Fern	#1			
rud	65	Rudbeckia fulgida "Goldsturm"	Black-Eyed Susan	#1		yellow	
GRASSES							
cal	60	Calamagrostis x acutifolia "Karl Foerste"	Feather Reed Grass	#1			
hak	60	Hakonechloa macra	Hakone Grass	#1			
hel	80	Helictotrichon semperviens	Evergreen Oat Grass	#1			
pen	85	Pennisetum alopecuroides "Cassian"	Dwarf Fountain Grass	#1			

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PLANT LIST

Windermere at Longwood

4775 Uplands Drive, Nanaimo, BC

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Drawn By:

BM/TT

Project No:

17.04

Scale:

1:200 METRIC

Sheet No:

L-2.1

NOTE: LIGHT FIXTURES SHOWN ARE FOR ILLUSTRATIVE PURPOSES - FINAL FIXTURE SPECIFICATIONS/LOCATION TO BE DETERMINED BY ELECTRICAL CONSULTANT



A: EXISTING STREET LIGHT

B: WALL PACK (PARKING GARAGE ENTRANCE, GARBAGE/ RECYCLING ROOM)

C: WALL SCONCE (ENTRANCES, TERRACES)

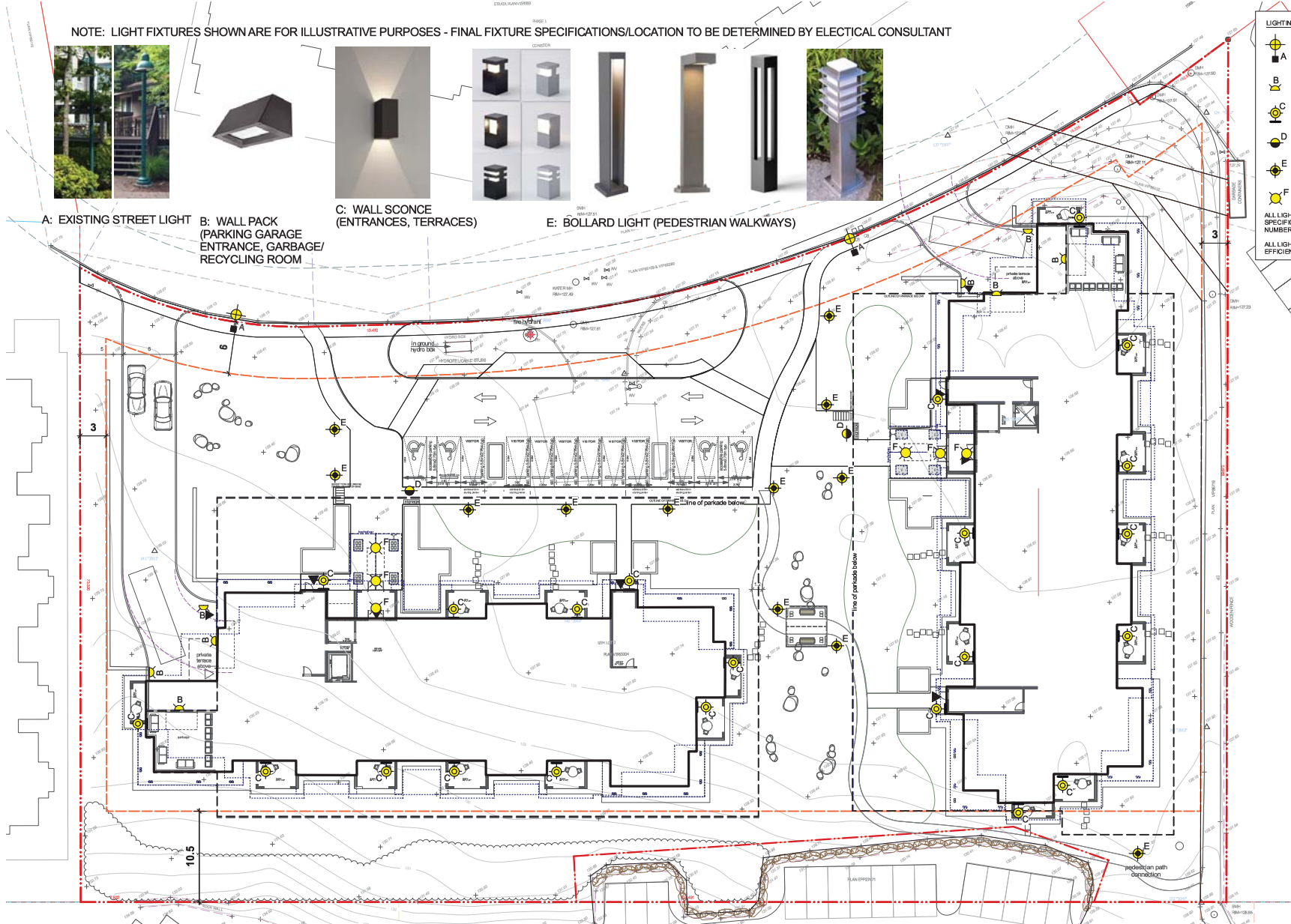
E: BOLLARD LIGHT (PEDESTRIAN WALKWAYS)

LIGHTING LEGEND

- EXTERIOR, POST MOUNTED LIGHT STANDARD (TO MATCH OTHER GREEN LIGHT STANDARDS IN LONGWOOD)
- EXTERIOR, WALL MOUNTED DOWN-LIGHT OR SHIELDED FLOOD LIGHT ON MOTION SENSOR
- EXTERIOR WALL SCONCE: UPLIGHT/DOWNLIGHT
- EXTERIOR LANDSCAPE IN-GROUND BULLET LIGHT
- EXTERIOR LANDSCAPE BOLLARD LIGHT
- EXTERIOR SOFFIT LIGHT

ALL LIGHT FIXTURES SUBJECT TO FINAL DESIGN AND SPECIFICATIONS BY ELECTRICAL CONSULTANT. EXACT LOCATION AND NUMBER OF FIXTURES TO BE CONFIRMED.

ALL LIGHT FIXTURES TO BE SHIELDED/FULL CUT OFF, LEDENERGY-EFFICIENT, PHOTO CEL CONTROLLED.



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SITE LIGHTING

Windermere at Longwood

4775 Uplands Drive, Nanaimo, BC



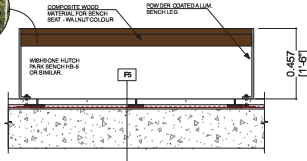
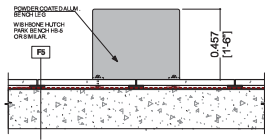
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benches:



bike racks



hydropressed slabs



precast unit pavers



stone faced planter walls
(to match architectural)



river rock channels/dry creek/
rain garden



native & adaptive species, seasonal interest, low maintenance



PRECEDENT IMAGES: LANDSCAPE & SITE FURNISHINGS
Windermere at Longwood
 4775 Uplands Drive, Nanaimo, BC

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native & adaptive species

seasonal interest, low maintenance