



**DEVELOPMENT PERMIT NO. DP001269**

**CROWN PROVINCIAL**  
**Owner(s) of Land (Permittee)**

**1840 STEWART AVENUE**  
**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**BLOCK I DISTRICT LOT 227 NANAIMO DISTRICT PLAN EPC199  
LEASE LICENCE NUMBER V926127, LAND BRANCH FILE NUMBER  
1412564 & DL2079, TOGETHER WITH THAT PT OF BLK K, DL 227 &  
2078, PL EPC246 INCL IN LEASE FOR MARINA, RESTAURANT, PUB,  
MARINE COMMERCIAL RETAIL SALES & SERVICES PURPOSES  
HELD BY PROVINCE**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map**  
**Schedule B Site Plan**  
**Schedule C Building Elevations and Details**  
**Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.3.1.2 Location and Siting of Buildings and Structures to Watercourses and the Sea* – to reduce the minimum required setback adjacent to the sea from 15.0m to 5.7m.

### CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan prepared by dHK Architects, dated 2023-FEB-16, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by dHK Architects, dated 2022-DEC-20, as shown on Schedule C.
3. The development is in substantial compliance with the Landscape Plan and Details prepared by MacDonald Gray Consultants, dated 2022-DEC-21, as shown on Schedule D.
4. Compliance with the Biophysical Assessment prepared by Aquaparian Environmental Consulting Ltd, dated 2022-OCT-19, and its recommendations.
5. A right-of-way for public access via the Waterfront Walkway across the subject site is secured, generally as shown on Schedule B.
6. A right-of-way is secured to protect on-site City stormwater services.

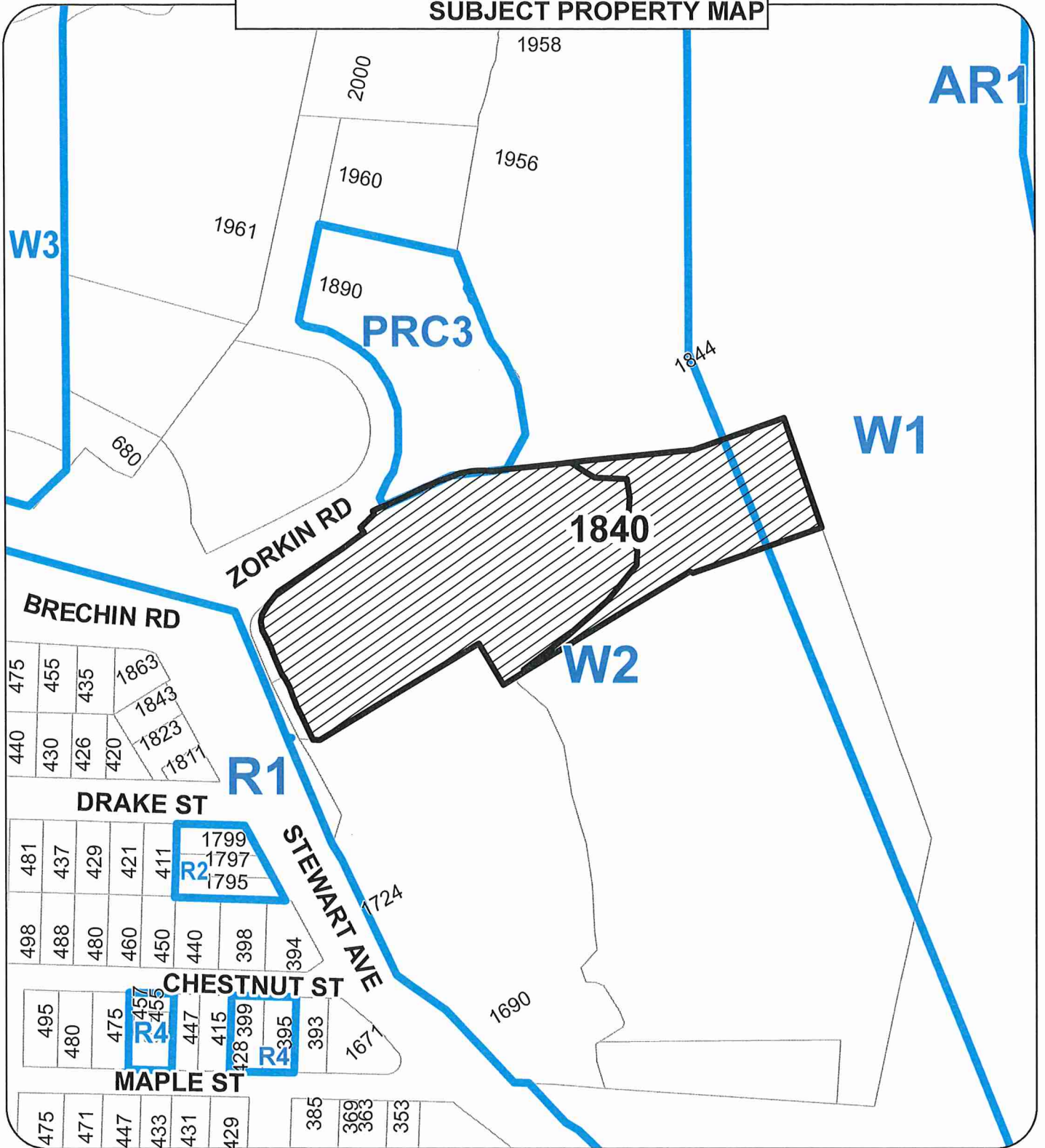
AUTHORIZING RESOLUTION PASSED BY COUNCIL THE  
**6TH DAY OF MARCH, 2023.**

  
Corporate Officer

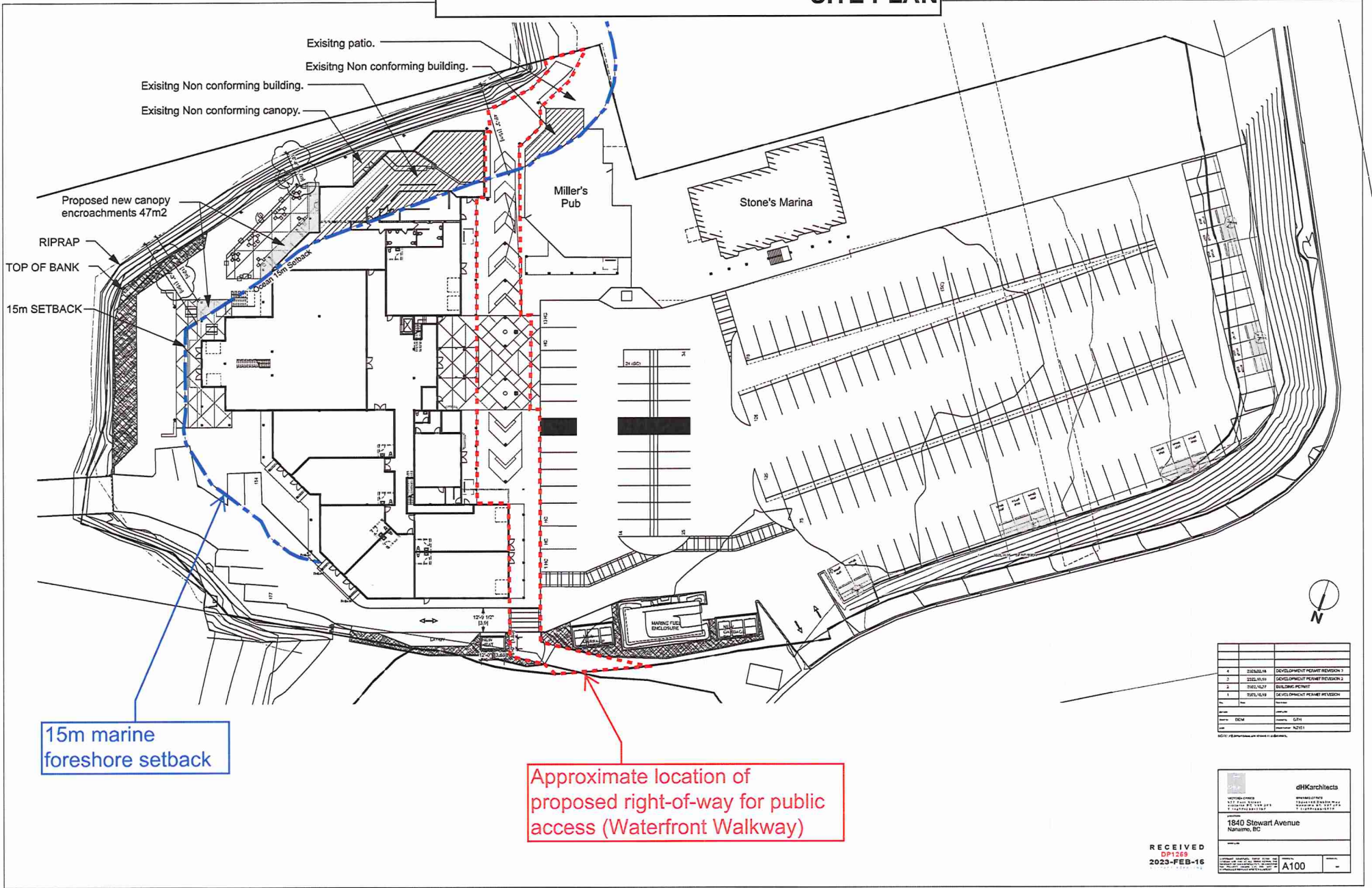
  
Date

CH/bb  
Prospero attachment: DP001269

**SUBJECT PROPERTY MAP**



1840 STEWART AVENUE



15m marine foreshore setback

Approximate location of proposed right-of-way for public access (Waterfront Walkway)

4	2024.04.18	DEVELOPMENT PERMIT REVISION 1
3	2024.04.18	DEVELOPMENT PERMIT REVISION 2
2	2024.04.17	BUILDING PERMIT
1	2024.04.16	DEVELOPMENT PERMIT REVISION

**dHK Architects**  
1840 Stewart Avenue  
Nanaimo, BC

RECEIVED  
DP1269  
2023-FEB-16

A100

Development Permit No. DP001269 Schedule C  
 1840 Stewart Avenue  
**BUILDING ELEVATIONS AND DETAILS**



Building 1 Front Elevation



Building 1 Side Elevation



Building 1 Rear Elevation



Building 1 Side Elevation



Stone's Building Front Elevation



Stone's Building Side Elevation



Stone's Building Side Elevation



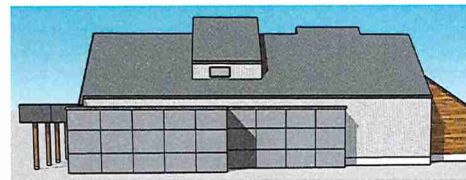
Stone's Building Rear Elevation



Miller's Building Front Elevation



Miller's Building Side Elevation



Miller's Building Rear Elevation



Miller's Building Side Elevation

0 2000 4000mm  
 1" = 100'

NO.	DATE	DESCRIPTION
1	01/14/15	DEVELOPMENT PERMIT REVIEW #1
2	01/14/15	DEVELOPMENT PERMIT REVIEW #2
3	01/14/15	DEVELOPMENT PERMIT REVIEW #3
4	01/14/15	DEVELOPMENT PERMIT REVIEW #4
5	01/14/15	DEVELOPMENT PERMIT REVIEW #5
6	01/14/15	DEVELOPMENT PERMIT REVIEW #6
7	01/14/15	DEVELOPMENT PERMIT REVIEW #7
8	01/14/15	DEVELOPMENT PERMIT REVIEW #8
9	01/14/15	DEVELOPMENT PERMIT REVIEW #9
10	01/14/15	DEVELOPMENT PERMIT REVIEW #10

RECEIVED  
 DP1269  
 2015-JAN-15

dHKarchitects  
 1840 Stewart Avenue  
 Marietta, GA

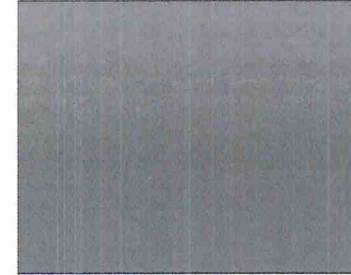
Elevations  
 A002

**MATERIAL PALETTE**

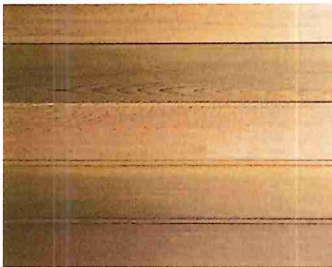
- 1 CORRUGATED VERTICAL METAL CLADDING - GALVANIZED (NEW)
- 2 HARDIE PANELS - DARK GREY COLOUR (NEW)
- 3 HORIZONTAL CEDAR - NATURAL STAIN (NEW)
- 4 AL-13 FASCIA PANELS - SLATE COLOUR (NEW)
- 5 TIMBER COLUMNS - NATURAL STAIN (NEW)
- 6 STANDING SEAM METAL ROOF - CHARCOAL (NEW)
- 7 GUTTER - BLACK (NEW)
- 8 STOREFRONT GLAZING AND DOORS - BLACK (NEW)
- 9 VINYL WINDOWS - BLACK (NEW)
- 10 OVERHEAD GLAZED DOORS - BLACK (NEW)



1 CORRUGATED VERTICAL METAL



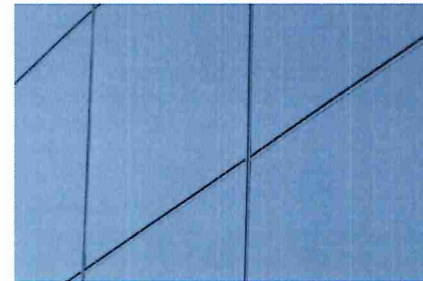
2 HARDIE PANEL



3a HORIZONTAL CEDAR



3b AL-13 FAUX WOOD ALUMINUM PLANK - ALTERNATE



4 AL-13 ALUMINUM PANEL

4	2022.12.16	DEVELOPMENT PERMIT REVISION 2	
3	2022.12.16	DEVELOPMENT PERMIT REVISION 1	
2	2022.12.16	DEVELOPMENT PERMIT	
1	2022.02.03	REVISED	

NOTE: All materials are subject to availability.  
**RECEIVED**  
 DP 1268  
 2023-JAN-16

**dHKarchitects**

1940 Stewart Avenue  
 Nashville, SC

A501

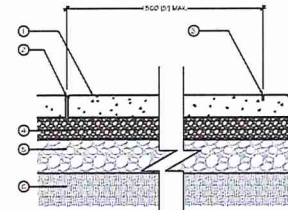


IRRIGATION EQUIPMENT LEGEND

SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
	HUNTER	IC-G00-PL-00	IRRIGATION STATIONS TO BE IRRIGATION CONTRACTOR. INCLUDE IRRIGATION CONTROLLER MOUNTED IN MECHANICAL ROOM IN PLASTIC CABINET ONLY
	HUNTER	WES-2001 ROMANAL	(1) WIRELESS SOLAR-PANEL SENSOR AND (1) SENSITIVITY ADJUSTER KIT PER CONTRACTOR. INSTALL PER MANUFACTURER'S RECOMMENDATIONS. REFER TO DETAIL 56.2
	PER MECHANICAL	PER MECHANICAL	BACKFLOW PREVENTER. REFER TO MECHANICAL PLANS
	HUNTER	ICV-151G	1.5" (38mm) MASTER VALVE TO BE INSTALLED DOWNSTREAM OF BACKFLOW PREVENTER PER MANUFACTURER'S RECOMMENDATIONS AND DETAIL E & F 4.2
	HUNTER	HPS-PCT-150	1.5" (38mm) FLOW SENSOR TO BE INSTALLED DOWNSTREAM OF MASTER VALVE PER MANUFACTURER'S RECOMMENDATIONS AND DETAIL E & F 4.2
	CLASS 200		PVC LATERAL LINES, REFER TO DETAIL G.5
	SCHEDULE 40		1.5" (38mm) PVC MAINLINE, REFER TO DETAIL G.5
	SCHEDULE 40		PVC SLEEVES UNDER ALL PAVING MIN. TYP. MAINLINE & CONTROL LINES: 150mm (6") LATERALS: 100mm (4") BURIAL DEPTH TO MATCH DEPTH OF CASING PIPE, REFER TO DETAIL G.5

IRRIGATION NOTES

1. THE IRRIGATION SYSTEM LATERAL LINES, REMOTE CONTROL VALVES, EMISION DEVICES AND APPURTENANCES SHALL BE DESIGN-BUILD BY THE IRRIGATION CONTRACTOR. ALL IRRIGATION EMISSION DEVICES SHALL BE MATCHED PRECIPITATION RATE LOW VOLUME ROTARY OR DROWI NOZZLES OR DROWI EQUIPMENT. COVERING AND PROTECTIVE DEVICES ARE NOT PERMITTED. LINES AND SCHEDULES SHALL BE ON SEPARATE PRE-CONSTRUCTION CONTROL ZONES. ZONES SHALL BE DESIGNATED TO SEPARATE NORTH & EAST AND SOUTH & WEST PAVING LANDSCAPE AREAS WHEREVER PRACTICAL.
2. ALL CONTROL EQUIPMENT MAKES AND MODELS AND PIPING SHALL BE PER THE IRRIGATION LEGEND OR APPROVED EQUAL. CONTACT THE LANDSCAPE ARCHITECT IN WRITING PRIOR TO PURCHASE FOR SUBSTITUTIONS.
3. IRRIGATION SYSTEM INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN SECTION 5 - IRRIGATION SYSTEMS OF THE CANADIAN LANDSCAPE ASSOCIATION (CLCA) CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD PER THE PROJECT SPECIFICATIONS AND DETAILS.
4. THE IRRIGATION SYSTEM IS DESIGNED TO OPERATE WITH A MINIMUM STATIC PRESSURE OF 50 PSI AFTER THE BACKFLOW PREVENTER. THE MINIMUM FLOW DEMAND FOR THE SYSTEM TO OPERATE THE FLOW SENSOR IS 5 GPM. THE MAXIMUM FLOW DEMAND FOR THE SYSTEM IS 30 GPM.
5. THE IRRIGATION PLAN IS DESIGN-BUILT. NO IRRIGATION MAINLINE OR LATERAL LINE SHALL BE INSTALLED BEYOND ANY KNOWN LIMIT OF WORK, PROPERTY LINE OR ROAD RIGHT-OF-WAY. ALL EQUIPMENT AND PIPING SHALL BE INSTALLED WITHIN PLANTING BEDS OR THROUGH SLEEVES UNDER PAVING.
6. THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIIUS OF APPROXIMAS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPLAY ONTO ADJACENT PAVED SURFACES, FENCES AND PROPERTY LINES.
7. ALL PIPING AND WIRING LEADS PAVING SHALL BE INSTALLED IN SEPARATE PVC SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL SLEEVES SHALL BE INSTALLED PROOF TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SUBGRADE. REFER TO CIVIL PLANS FOR ADDITIONAL INFORMATION.
8. OPERATE IRRIGATION CONTROLLERS WITHIN THE CITY OF VANANAO WATER RESTRICTION SCHEDULE.
9. THE CONTRACTOR SHALL PROVIDE AND INSTALL THE AUTOMATIC CONTROLLERS AND ALL CONTROL WIRE. THE ELECTRICAL CONTRACTOR SHALL PROVIDE THE ELECTRICAL SERVICES AND SERVICE HOOK-UPS FROM THE POWER SOURCE TO THE AUTOMATIC CONTROLLERS.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING ALL EXISTING SPRINKLER EQUIPMENT OR PROPERTY TO REMAIN DAMAGED BY CONSTRUCTION OPERATIONS.
11. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES TO ENSURE PROGRESS OF WORK IS NOT INTERRUPTED AND CAN BE COMPLETED IN A TIMELY MANNER.
12. INSTALL SPRINKLER HEADS PERPENDICULAR TO SLOPES AND GRADE.
13. THE LANDSCAPE ARCHITECT CANNOT PROVIDE ASSURANCES FOR WORK WITHOUT THE FOLLOWING FIELD REVIEW ATTENDANCE:
  - A. REVIEW OF UNCOVERED PRESSURIZED IRRIGATION MAINLINE AND LATERALS.
  - B. REVIEW OF COMPLETE IRRIGATION INSTALLATION AND COMPLETION.

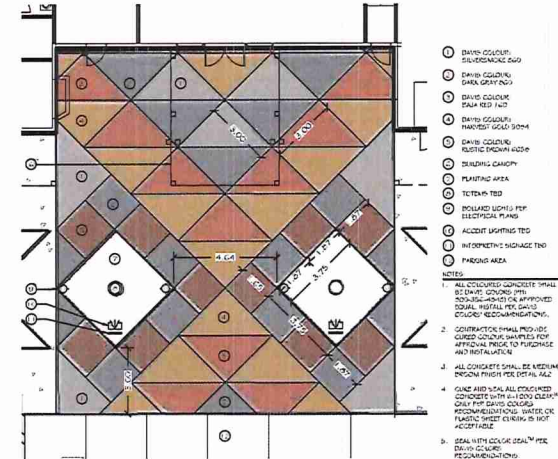


**A** Concrete Paving  
Section  
1:10 metric

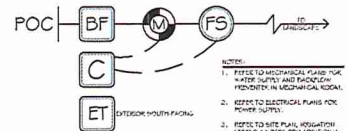
1. 150mm (6") THICK GRANITE FINISH
2. 150mm (6") THICK GRANITE FINISH
3. 150mm (6") THICK GRANITE FINISH
4. 150mm (6") THICK GRANITE FINISH
5. 150mm (6") THICK GRANITE FINISH
6. 150mm (6") THICK GRANITE FINISH
7. 150mm (6") THICK GRANITE FINISH
8. 150mm (6") THICK GRANITE FINISH
9. 150mm (6") THICK GRANITE FINISH
10. 150mm (6") THICK GRANITE FINISH

NOTES:

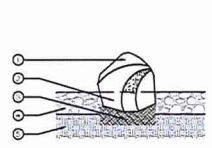
1. 150mm (6") THICK GRANITE FINISH
2. 150mm (6") THICK GRANITE FINISH
3. 150mm (6") THICK GRANITE FINISH
4. 150mm (6") THICK GRANITE FINISH
5. 150mm (6") THICK GRANITE FINISH
6. 150mm (6") THICK GRANITE FINISH
7. 150mm (6") THICK GRANITE FINISH
8. 150mm (6") THICK GRANITE FINISH
9. 150mm (6") THICK GRANITE FINISH
10. 150mm (6") THICK GRANITE FINISH



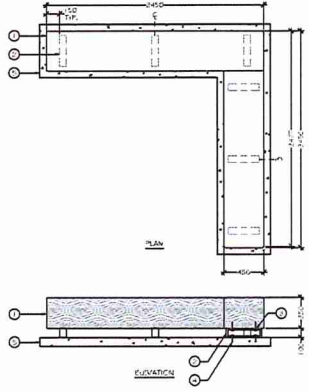
**B** Entry Plaza: Coloured Concrete & Pattern  
Plan  
1:100 metric



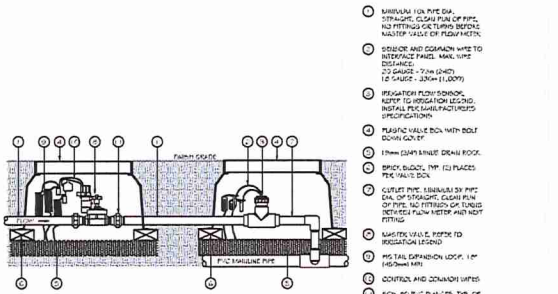
**E** Point of Connection  
Schematic: Not To Scale



**C** Boulder Installation  
Section  
1:20 metric



**D** Timber Bench  
Plan/Elevation/Section  
1:25 metric



**F** Master Valve & Flow Sensor  
Section  
Not to Scale



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT HAS BEEN SIGNED AND SEALED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT'S LIABILITY IS LIMITED TO THE PROFESSIONAL SERVICES PROVIDED AND DOES NOT INCLUDE THE DESIGN OF STRUCTURES OR OTHER WORKS NOT SPECIFICALLY IDENTIFIED IN THIS DRAWING.

1840 Stewart Avenue  
Petroglyph Development Group  
Nanaimo, BC

**NOTES & DETAILS**

Date: December 21, 2022

Drawn: GAT

Checked: GAT

Project #: 22-0318 City: 00001002/018

DRAWING NUMBER: L2 of 5

**REVISIONS**

#	DATE	NOTES
1	17/03/2022	Issue for RF
2	18/03/2022	Issue for RF
3	21/03/2022	Issue for RF
4	06/04/2022	Issue for RF
5	13/04/2022	Issue for RF
6	20/04/2022	Issue for RF
7	27/04/2022	Issue for RF
8	04/05/2022	Issue for RF
9	11/05/2022	Issue for RF
10	18/05/2022	Issue for RF

RECEIVED  
DP 1269  
2023-JAN-16



SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QTY	NOTES
<b>TREES</b>					
CCR CAN	CERES CANADENSIS EASTERN REDBUD	4m CAL	2m O.C.	2	INDIGENOUS CANADIAN SPECIES
CCR EDD	CORNUS EDOGUS WHITE WIGGANS WHITE WIGGANS LOGANBERRY	4m CAL 1.5m	2m O.C. SEE PLAN	2	INDIGENOUS CULTIVAR REPLACEMENT TREE
FIN CCN	FINUS CONTORTA VAR. CONTORTA SHREDDED PINE	2.0m 1.5m	1.1m O.C. SEE PLAN	5	INDIGENOUS SPECIES REPLACEMENT TREE
GLC GAR	QUERCUS GARRYANA GARRY OAK	1.5m	SEE PLAN	2	INDIGENOUS SPECIES REPLACEMENT TREE
<b>SHRUBS</b>					
AMC	AMELANSER ALABOHA SARGATON BERRY	2.0m	SEE PLAN	7	INDIGENOUS SPECIES
MAN	MAHONIA AQUILIFORMIS OREGON GRAPE	#2 POT	1.0m O.C.	60	INDIGENOUS SPECIES
POL	POLYTHICUM MUNITUM SAWDOX PINE	#1 POT	0.2m O.C.	15	INDIGENOUS SPECIES
POT	POTENTILLA FRUTICOSA SHIMMERY GINGOLIL	#1 POT	0.2m O.C.	42	INDIGENOUS SPECIES
RFB	RIBES SANGUINELUM RED FLOWERING CURRANT	#2 POT	1.0m O.C.	21	INDIGENOUS SPECIES
RDS	ROSA NUTKANIA NODATA ROSE	#2 POT	1.2m O.C.	23	INDIGENOUS SPECIES
VAC	VACCINIUM OVATUM CHUCKLEBERRY HUCKLEBERRY	#2 POT	1.0m O.C.	14	INDIGENOUS SPECIES
THU	THUJA PLICATA SIBICUM ENGLISH WEDDEREN RED CEDAR	#5 POT	1.2m O.C.	10	INDIGENOUS CULTIVAR PLANTING
<b>GROUNDCOVER, VINES &amp; PERENNIALS</b>					
AU	ANISTOSTAPHYLIS LIVA-LIVA KUNIKUNNICA	#1 POT	0.2m O.C.	375	INDIGENOUS SPECIES
EM	ERUMUS MOLLE DUNE GRASS	#1 POT	0.2m O.C.	221	INDIGENOUS SPECIES
LL	LEUCIS PLANTIFLORA LEUCIS LITTECALIS SEASHORE LUPINE	10cm POT	0.2m O.C.	221	INDIGENOUS SPECIES



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT IS FULLY STAMPED AND SIGNED BY THE LANDSCAPE ARCHITECT. THIS DRAWING IS THE PROPERTY OF MACDONALD GRAY AND WILL BE RETURNED TO THE ARCHITECT UPON COMPLETION OF THE PROJECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THIS DRAWING.

1840 Stewart Avenue  
Petroglyph Development Group  
Nanaimo, BC

Natural Restoration Area

RECEIVED  
DP1269  
2023-JAN-16



PLANTING PLAN & LEGEND	
Date:	December 21, 2022
Drawn:	GA
Checked:	GA
Scale:	1:250 metric
Project #:	22-0318 City: DP0016207E/IG
DRAWING NUMBER:	L3 of 5

REVISION SCHEDULE		
#	DATE	NOTES
3	17 AUG 2022	BY JP Correction
4	18 AUG 2022	BY JP Revised for EP
5	21 SEP 2022	BY JP Revised for EP
6	06 OCT 2022	BY JP Correction
7	12 OCT 2022	BY JP Correction
8	19 OCT 2022	By JP Correction
9	20 OCT 2022	By JP Correction
10	21 DEC 2022	By JP Correction



THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT HAS BEEN CHANGED AND RESEAL BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR ALL ERRORS AND OMISSIONS AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE DRAWING FROM ANY UNAUTHORIZED REPRODUCTION OR ALTERATION.

1840 Stewart Avenue  
Petroglyph Development Group  
Nanaimo, BC

**PLANTING NOTES & DETAILS**

Date: December 21, 2022  
 Drawn: CA  
 Checked: CA  
 State: AS NOTED  
 Project #: 22-0318 City: 000000000000000000  
 DRAWING NUMBER: L4 of 5

**REVISION SCHEDULE**

#	Date	NOTES
1	17MAY2022	EPF Construction
2	18MAY2022	Revised for EP
3	21SEP2022	Revised for EP
4	06OCT2022	EP Construction
5	19OCT2022	Revised for EP
6	20OCT2022	Revised for EP
7	21DEC2022	Revised for EP

RECEIVED  
BP1269  
2023-JAN-16

**PLANTING NOTES**

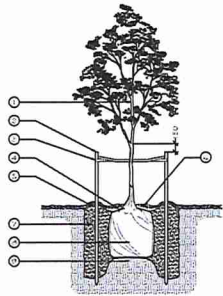
- ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) CANADIAN CODE OF PRACTICE FOR LANDSCAPE ARCHITECTS (CNLA) CANADIAN LANDSCAPE STANDARDS FOR THE PROJECT SPECIFICATIONS.
- LANDSCAPE MAINTENANCE SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS SET OUT IN TABLE T-14-3, MAINTENANCE LEVELS - LEVEL 2 (GROOMED) OF THE CANADIAN LANDSCAPE STANDARDS FOR THE PROJECT SPECIFICATIONS.
- ESTABLISHMENT MAINTENANCE SHALL MEET THE REQUIREMENTS SET OUT IN SECTION 1.2 (ESTABLISHMENT MAINTENANCE) OF THE CANADIAN LANDSCAPE STANDARDS FOR THE PROJECT SPECIFICATIONS. ALL PROPOSED PLANT MATERIAL SHALL BE MAINTAINED BY THE CONTRACTOR FOR THE ONE-YEAR MAINTENANCE PERIOD FROM THE TIME OF SUBSTANTIAL COMPLETION TO ENSURE PLANT ESTABLISHMENT AND TO MAINTAIN PLANT VIGOR.
- THE IRRIGATION SYSTEM SHALL BE OPERATIONAL AND COVERAGE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF PLANT MATERIAL.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
- PROVIDE MINIMUM SLOPE OF 2% FOR DRAINAGE IN ALL PLANTED AREAS.
- THE FINISHED GRADE OF ALL PLANTERS SHALL BE 75mm BELOW THE TOP OF CURB OR ADJACENT HARDSCAPE.
- ALL PLANT MATERIAL SHALL MATCH SPECIES AS INDICATED ON THE PLANT LEGEND. PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CANADIAN STANDARDS FOR NURSERY STOCK.
- THE CONTRACTOR SHALL SECURE PLANT MATERIAL AS SPECIFIED AT LEAST 2 WEEKS PRIOR TO ANTICIPATED PLANTING TIME. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- TREE LOCATIONS SHALL BE FIELD STAKED AND LOCATIONS APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO PLANTING. TREE LOCATIONS MAY BE ADJUSTED IN THE FIELD TO SUIT THE SITE REQUIREMENTS AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING PLANTING PITS. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN ONE HOUR AFTER FILLING.
- INSPECT ALL ASSEMBLED PLANT MATERIAL AT THE NURSERY PRIOR TO SHIPPING. PLANT MATERIAL SHALL BE INSPECTED BY THE LANDSCAPE ARCHITECT ON-SITE PRIOR TO PLANTING. NO PLANTS REQUIRING FURTHER MAJOR BRANCHED DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.
- REFER TO PLANT LEGEND, PROJECT SPECIFICATIONS AND DETAILS FOR ADDITIONAL INFORMATION.
- THE LANDSCAPE ARCHITECT CANNOT PROVIDE ASSURANCES FOR WORK WITHOUT THE FOLLOWING FIELD REVIEW ATTENDANCE:
  - REVIEW OF SUBGRADE PRIOR TO GROWING MEDIUM INSTALLATION.
  - REVIEW OF TREE LOCATIONS (STAKES).
  - REVIEW OF PLANT MATERIAL PRIOR TO INSTALLATION.
  - REVIEW OF SOIL SAMPLE ANALYSIS.
  - REVIEW OF INSTALLED PLANT MATERIAL.

**(GROWING MEDIUM AND MULCH)**

- PROPERTIES FOR GROWING MEDIUM SHALL MEET OR EXCEED SPECIFICATION SECTION 3291.1.3 SOIL PREPARATION FOR LEVEL 2 "MODIFIED" AREAS:
 

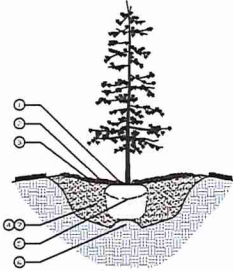
GROWING MEDIUM TYPES:	2) PLANTING AREAS:
SHRUBS - 450mm (18")	SHRUBS - 450mm (18")
TREES - 1.0m (39")	TREES - 1.0m (39")
TREES - 1.5m (59")	TREES - 1.5m (59")
- ON-SITE TOPSOIL MAY BE STRIPPED, STOCKPILED AND AMENDED TO MEET THE STANDARDS ABOVE.
- SUBMIT A (4) LITRE SAMPLE OF SCREENED TOPSOIL PROPOSED FOR USE AS A BASIS FOR GROWING MEDIUM TO A SOIL ANALYSIS LAB APPROVED BY THE LANDSCAPE ARCHITECT. SOIL TESTING SHALL BE AT THE CONTRACTOR'S EXPENSE.
- INDICATE TO THE SOIL LAB THAT THE PURPOSE OF THE ANALYSIS AND AMENDMENT RECOMMENDATIONS IS FOR 2P - PLANTING AREAS.
- AMENDMENT RECOMMENDATIONS BY THE SOIL ANALYSIS LAB SHALL BE THE BASIS FOR ACCEPTANCE OF THE GROWING MEDIUM. RETAIN EVIDENCE OF ALL AMENDMENTS ADDED TO THE TOPSOIL.
- MULCH SHALL BE COMPOST, REFER TO SPECIFICATIONS.
- MULCH DEPTH SHALL BE 75mm MINIMUM.

- DO NOT CUT LEADER.
- SET TREE PLUM AND STAKE WITH TWO VERTICAL, 50mm x 75mm PRESSURE TREATED STAKES 2400mm LONG. PLACE USE OF THE STAKE BEING STAKED TO BE PROVIDED. ALLOWED TO REST FOR STREET TREES OR TO PROVIDE WITH STAKE AND NOT TO PENETRATE EXISTING ROOT BAY.
- REMOVE TREE WITH SOFT PNEUMATIC TAPERS. DO NOT CUT TREE WOUND. STAKE AND ATTACH TO STAKE WITH SINGLE WIRE.
- TOP OF ROOTBALL TO BE FLUSH WITH FINISHED GRADE. FINISHED GRADE OF PLANTING TO BE EQUIVALENT TO FINISHED GRADE OF TREE.
- CREATE A 50mm DEEP WELL IN GROWING MEDIUM FOR THE ROOT BALL OF TREE. DIGGING WELL IS A CLEAN-CUTTED GROOVE WITH A DIAMETER OF 150mm.
- PLACE 75mm DEPTH OF MULCH OVER THE PLANTING WELL. KEEP MULCH FROM TOUCHING TRUNK (100mm MIN).
- TRUNK PROTECT SHALL BE 1.2m MIN. PLANTING PIT MUST BE 200mm DEEP WITH SLOPE AT A MINIMUM. SLOPE SHALL BE 2% AND BOTTOM OF TREE PIT PROTECT TO PLANTING.
- REMOVE STAPLES, CUT ALL BRANCH MATERIAL AND FOLD STAPLE INTO WIRE PRIOR TO BACKFILLING.
- DIGGING A MINIMUM OF 200mm DEPTH OF COMPACTED SUBGRADE UNDERNEATH ROOTBALL TO PREVENT SETTLING OF TREE.



**A Tree Planting**  
Section  
Not to Scale

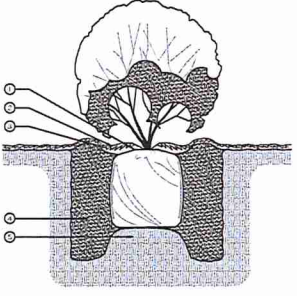
- TOP OF ROOTBALL TO BE FLUSH WITH FINISHED GRADE. FINISHED GRADE OF PLANTING TO BE EQUIVALENT TO FINISHED GRADE OF TREE.
- CREATE A 50mm DEEP WELL IN GROWING MEDIUM FOR THE ROOT BALL OF TREE. DIGGING WELL IS A CLEAN-CUTTED GROOVE WITH A DIAMETER OF 150mm.
- PLACE 75mm DEPTH OF MULCH OVER THE PLANTING WELL. KEEP MULCH FROM TOUCHING TRUNK (100mm MIN).
- TRUNK PROTECT SHALL BE 1.2m MIN. PLANTING PIT MUST BE 200mm DEEP WITH SLOPE AT A MINIMUM. SLOPE SHALL BE 2% AND BOTTOM OF TREE PIT PROTECT TO PLANTING.
- REMOVE STAPLES, CUT ALL BRANCH MATERIAL AND FOLD STAPLE INTO WIRE PRIOR TO BACKFILLING.
- DIGGING A MINIMUM OF 200mm DEPTH OF COMPACTED SUBGRADE UNDERNEATH ROOTBALL TO PREVENT SETTLING OF TREE.



**B Coniferous Tree Planting**  
Section  
Not to Scale

- NOTE:
- THIS TREE PLANTING DETAIL IS USED WHEN PLANTING A TREE IN A TYPICAL UNCOMPACTED OPEN SPACE AREA.
  - ALL PLANTS & PLANTING ARE TO CONFORM TO THE MOST CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARDS.
  - PROTECT TREES FROM DAMAGE DURING TRANSPORT AND PLANTING. ROOTS NOT TO BE EXPOSED TO SUN OR FROST.
  - CONFORM LOCATION OF UTILITIES PRIOR TO DIGGING TREE PITS.
  - CONFORM TREE DRAWING SUBSTITUTION, CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING & DRAINAGE PROBLEMS MUST.
  - IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO TREE PLANTING. REFER TO SITE PLAN.

- CUT BALL, SET GROWING MEDIUM AND FINISHED GRADE.
- 75mm LAYER OF MULCH.
- 50mm WATER RETENTION BARRIER.
- PLANTING PIT TO BE IN THE DIAMETER OF THE ROOT BALL FOR GROWING MEDIUM AND MULCH.
- UNDISTURBED NATIVE SOIL UNDER ROOT BALL. REMOVE EXISTING DRAINAGE AWAY FROM ROOTBALL.



**C Shrub Planting**  
Section  
Not to Scale

- NOTE:
- ALL PLANTS & PLANTING ARE TO CONFORM TO THE MOST CURRENT EDITION OF THE CANADIAN LANDSCAPE STANDARDS.
  - PROTECT SHRUBS FROM DAMAGE DURING TRANSPORT AND PLANTING. ROOTS NOT TO BE EXPOSED TO SUN OR FROST.
  - CONFORM TREE DRAWING SUBSTITUTION, CONTACT LANDSCAPE ARCHITECT PRIOR TO PLANTING & DRAINAGE PROBLEMS MUST.
  - IRRIGATION SYSTEM TO BE INSTALLED PRIOR TO TREE PLANTING. REFER TO SITE PLAN.



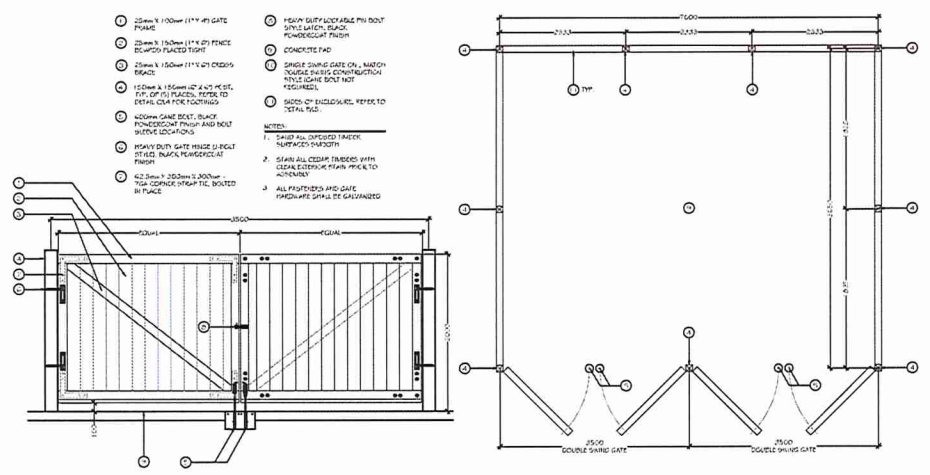
THIS DRAWING IS NOT FINAL AND SHALL NOT BE USED FOR CONSTRUCTION WORK UNLESS IT HAS BEEN STAMPED AND SIGNED BY THE LICENSED ARCHITECT. THE DESIGNER SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONSTRUCTION OF THE WORK UNLESS HE OR SHE IS THE CONTRACTOR OR SUBCONTRACTOR.

1840 Stewart Avenue  
Petroglyph Development Group  
Nanaimo, BC

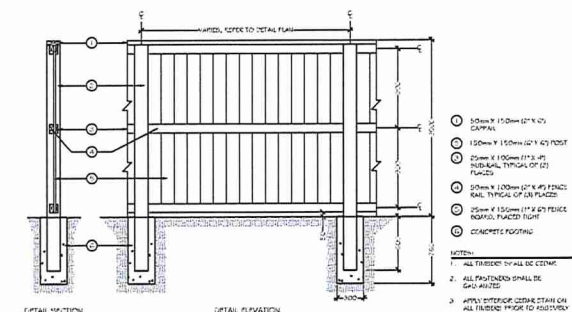
<b>DETAILS</b>	
Date:	December 31, 2022
Drawn:	CA
Checked:	CA
Scale:	AS NOTED
Project #:	22-0118 City: 00001269/BWG
DRAWING NUMBER:	L5 of 5

#	Date	NOTES
3	17AUG2022	021P Construction
4	18AUG2022	Final for EP
5	21SEP2022	Final for EP
6	06OCT2022	021P Construction
7	11OCT2022	Final for EP
8	11OCT2022	Final for EP
9	20OCT2022	Final for EP
10	21OCT2022	Final for EP

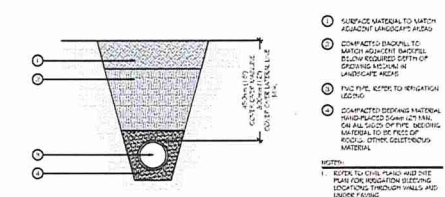
RECEIVED  
2023-JAN-16



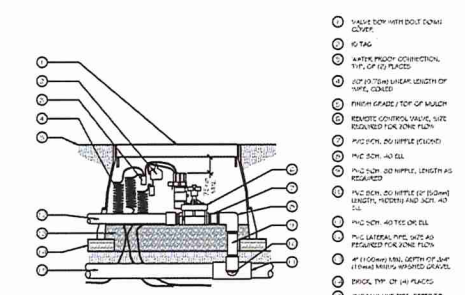
**A Garbage Enclosure**  
Plant Elevation  
Detail Plan Layout  
NOT TO SCALE  
Not to Scale



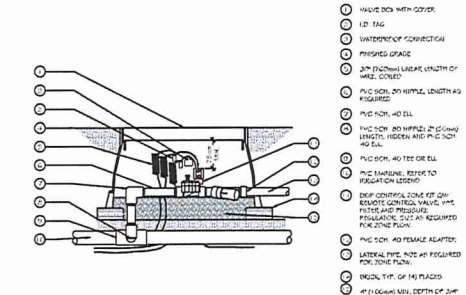
**B 2.0m Trash Enclosure Surround**  
Section Elevation  
1:25 metric  
Not to Scale



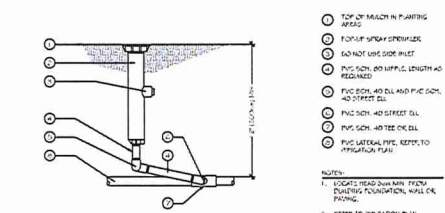
**C Trenching**  
Section  
Not to Scale



**D Electric Remote Control Valve**  
Section  
Not to Scale



**E Electric Remote Control Valve - Dnp**  
Section  
Not to Scale



**F Pop-up Spray Head**  
Section  
Not to Scale

- 1 25mm x 100mm (1" x 4") GATE FINISH
- 2 25mm x 150mm (1" x 6") FINISH DOOR/DOOR PLACED TIGHT
- 3 25mm x 150mm (1" x 6") CROSS FINISH
- 4 150mm x 150mm (6" x 6") POST, TOP OF FINISH, REFER TO DETAIL C&A FOR CONTINUOUS
- 5 400mm GATE SEAT, BLACK POWDERCOAT FINISH AND BOLT SPACER LOCATIONS
- 6 150mm DUTY GATE HINGE (L) BOLT SPACER, BLACK POWDERCOAT FINISH
- 7 42.5mm x 300mm x 300mm 1/2" GA CORRUGATED TIE, BOLTED IN PLACE
- 8 150mm DUTY LOCKABLE PIN BOLT SPACER, BLACK POWDERCOAT FINISH
- 9 CONCRETE PAD
- 10 SINGLE SWING GATE ON, MATCH INSIDE FINISH CONSTRUCTION (REFER TO DETAIL C&A)
- 11 SECTIONS OF ENCLOSURES, REFER TO DETAIL PAD

- NOTES:
1. SHIELD ALL EXPOSED FABRIC SURFACES SMOOTH
  2. SEAM ALL CORNER TUBING WITH CEILING, EXCEPT STAIN FINISH TO INTERIOR
  3. ALL FASTENERS AND GATE HARDWARE SHALL BE GALVANIZED

- 1 VALVE BOX WITH BOLT DOWN COVER
- 2 ID TAG
- 3 WATER PROOF CONNECTION PIPE TOP OF FINISH
- 4 TOP OF TRENCH LENGTH OF PIPE, GRADE
- 5 FINISH GRADE TOP OF MAJOR
- 6 REMOTE CONTROL VALVE, USE REQUIRED FOR FINE TUNE
- 7 PVC SOH, 40 HIPLE (E) 40
- 8 PVC SOH, 40 ELL
- 9 PVC SOH, 40 HIPLE, LENGTH AS REQUIRED
- 10 PVC SOH, 40 HIPLE (OF 150mm) LENGTH, HIDDEN AND PVC SOH, 40 ELL
- 11 PVC SOH, 40 TEE OR ELL
- 12 PVC LATERAL PIPE, SIZE AS REQUIRED FOR FINE TUNE
- 13 4" (100mm) HILL, DEPTH OF 50mm (110mm) MINUS, WIPED GRAVEL
- 14 BRICK TOP OF 14" PLACES
- 15 PVC MANHOLE PIPE, REFER TO REGULATION LEGEND

- 1 VALVE BOX WITH COVER
- 2 ID TAG
- 3 WATERPROOF CONNECTION
- 4 FINISHED GRADE
- 5 2" (50mm) LATERAL LENGTH OF HOLE COVER
- 6 PVC SOH, 40 HIPLE, LENGTH AS REQUIRED
- 7 PVC SOH, 40 ELL
- 8 PVC SOH, 40 HIPLE (OF 150mm) LENGTH, HIDDEN AND PVC SOH, 40 ELL
- 9 PVC SOH, 40 TEE OR ELL
- 10 PVC MANHOLE, REFER TO REGULATION LEGEND
- 11 2" (50mm) LATERAL PIPE, USE REMOTE CONTROL VALVE, USE FINE TUNE PRESSURE REGULATING SLIC AS REQUIRED FOR FINE TUNE
- 12 PVC SOH, 40 FEMALE ADAPTER
- 13 LATERAL PIPE, SIZE AS REQUIRED FOR FINE TUNE
- 14 BRICK TOP OF 14" PLACES
- 15 4" (100mm) HILL, DEPTH OF 50mm (110mm) MINUS, GRAVEL

- 1 SURFACE MATERIAL TO MATCH ADJACENT LANDSCAPE FINISH
  - 2 COMPACTED BACKFILL TO MATCH ADJACENT SWH/ELL SURFACE REQUIRED, TOP OF EXPOSURE LEVEL IN LANDSCAPE FINISH
  - 3 PVC PIPE, REFER TO REGULATION LEGEND
  - 4 COMPACTED BEDDING MATERIAL, SAND-PLACED UNDER TRENCH, ON ALL SIDES OF PIPE, BEDDING MATERIAL TO BE FREE OF ROCKS, OTHER OBSTRUCTIONS MATERIAL
- NOTES:
1. REFER TO CIVIL PLANS AND SITE PLAN FOR REGULATION SLEEPING LOCATIONS, TRENCH WALLS AND UNDER FINISH
  2. FEMALE FITS TO BE 445 (18mm) PERIODICAL DISTANCE APART.
  3. REGULATION PIPING TO BE SEPARATED A MIN. OF 300mm FROM ELECTRICAL AND OTHER UTILITIES.

- 1 TOP OF MAJOR IN PLANTING AREA
  - 2 TOP OF WINDOW SINKER
  - 3 50mm WIDE SIDE INLET
  - 4 PVC SOH, 40 HIPLE, LENGTH AS REQUIRED
  - 5 PVC SOH, 40 ELL AND PVC SOH, 40 STREET ELL
  - 6 PVC SOH, 40 STREET ELL
  - 7 PVC SOH, 40 TEE OR ELL
  - 8 PVC LATERAL PIPE, REFER TO REGULATION PLAN
- NOTES:
1. LEGS TO READ 50mm FROM EXISTING FOUNDATION WALL OR FINISH
  2. REFER TO REGULATION PLAN LEGEND AND REFER TO CIVIL FOR ADDITIONAL INFORMATION.