



DEVELOPMENT PERMIT NO. DP001261

TRD METRAL DEVELOPMENTS INC
Name of Owner(s) of Land (Permittee)

5915 METRAL DRIVE
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

LOT 2, DISTRICT LOT 23G, WELLINGTON DISTRICT, PLAN 19319

PID No. 003-677-401

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

PERMIT TERMS

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:


1. Section 6.10 Fence Height – to increase the maximum allowable fence height for portions of a retaining wall within the south side yard setback, and portions of a combination fence and retaining wall within the north side yard setbacks from 1.8m up to 2.7m as shown on Schedule C.
2. Section 17.2.1 General Regulations – to reduce the minimum landscape buffer width from 1.8m to between 1.02m and 1.6m along portions of the side lot lines as shown on Schedule D.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site Plan & Parking Plans, prepared by VDA Architecture Ltd., dated 2022-DEC-14, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by VDA Architecture Ltd., dated 2022-DEC-14 and 2023-JAN-23, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by LADR Landscape Architects Inc., dated 2022-DEC-14, as shown on Schedule D.

REVIEWED AND APPROVED ON

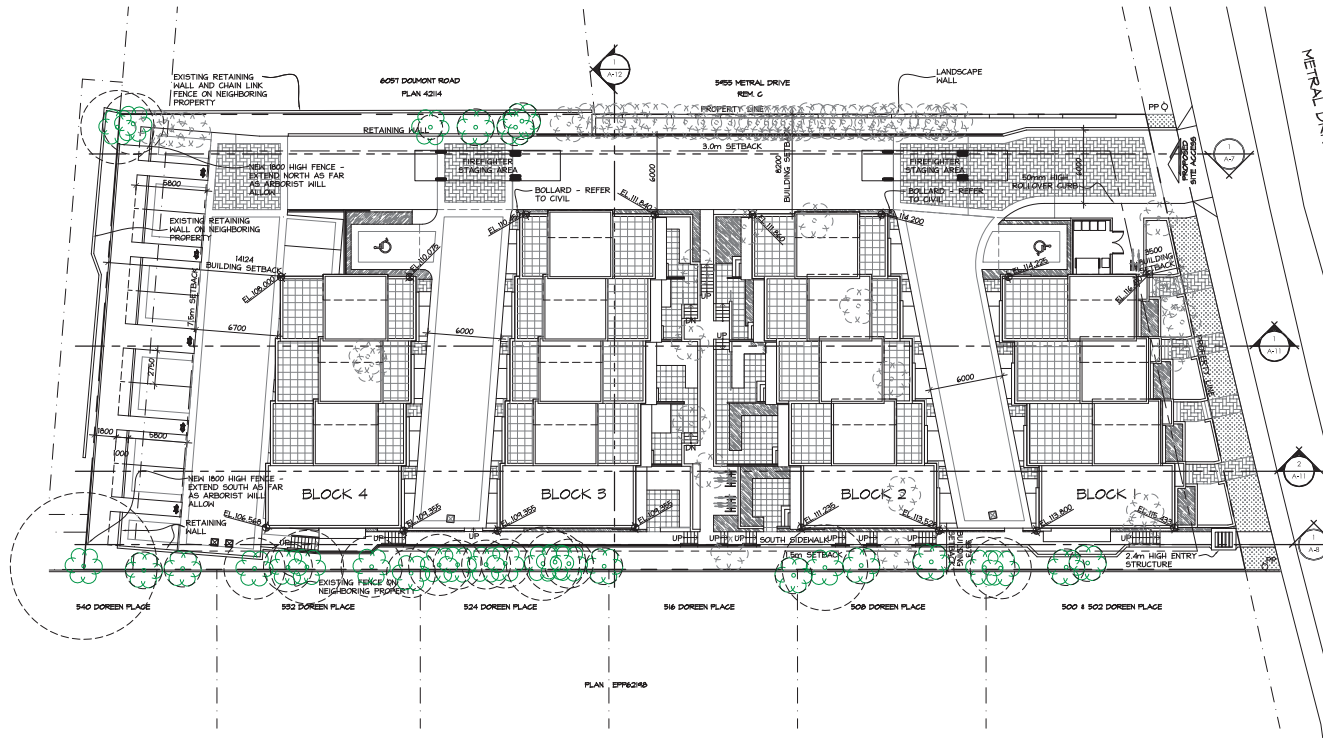
2023-FEB-03
Date



J. Holm, Director, Development Approvals
Development Approvals
Pursuant to Section 154 (1)(b) of the Community Charter

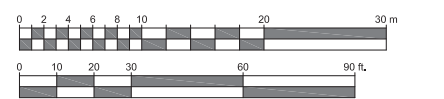
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SITE AND PARKING PLANS



CIVIC ADDRESS: 5985 METRAL AVE NANAIMO, BRITISH COLUMBIA LEGAL ADDRESS: LOT 2, DISTRICT LOT 236, WELLINGTON DISTRICT, PLAN RBM CORE		26 UNIT 3 STOREY TOWNHOUSE 3,329.23m ² (35,835SQFT)
CURRENT ZONING: PROJECT DESCRIPTION:		26 UNITS
LOT AREA: 3,329.23m ² (35,835SQFT)		26 UNITS
RESIDENTIAL UNITS: 2 BEDROOM + DEN TOWNHOUSE 14 UNITS		4 UNITS
1 BEDROOM + DEN TOWNHOUSE 4 UNITS		10 UNITS
MICRO UNIT		
FLOOR AREA RATIO:	REQUIRED/PERMITTED	PROVIDED/PROPOSED
GROSS FLOOR AREA:	1.00	0.87
NET FLOOR AREA (% OF GFA):	3,329.23m ²	2,988.0m ²
LOT COVERAGE:	2.4% (33m ²)	2,988.0m ²
	40.7%	51.2%
AVERAGE FINISHED GRADE:		
BLOCK 1	114.967m	
BLOCK 2	112.704m	
BLOCK 3	110.250m	
BLOCK 4	108.500m	
ALLOWABLE HEIGHT:		
BLOCK 1	14.000m	
BLOCK 2	12.967m	126.59m (11,624m)
BLOCK 3	126.704m	126.56m (13,840m)
BLOCK 4	124.250m	122.816m (12,566m)
BLOCK 4	122.500m	122.44m (13,946m)
SETBACKS:		
FRONT (EAST)	3.5m	3.5m
REAR (WEST)	7.5m	14.6m
SIDE (NORTH)	3.0m	8.0m
SIDE (SOUTH)	1.5m	3.4m
PARKING (AREA 1):		
2 BEDROOM + DEN (14 UNITS)	43 SPACES (25.2+5.8+12+43)	43 SPACES
1 BEDROOM + DEN (4 UNITS)	26.2 SPACES (14+14.5)	
MICRO UNIT (10 UNITS)	5.8 SPACES (4+1.6)	
ACCESSIBLE	12 SPACES (10+2)	
SMALL CAR	2 SPACES	2 SPACES
BICYCLES	17 SPACES (43+0.4+17.2)	19 SPACES
LONG TERM	2.8 SPACES (28+0.1)	6 SPACE RACK
	14 SPACES (28+0.5)	19 SPACES

NOTES: REFER TO LANDSCAPE FOR INFORMATION NOT LISTED TO EXISTING & PROPOSED TREES, PLANTS, BUFFERS, SURFACE MATERIALS, FENCING AND GARBAGE ENCLOSURE.



AVERAGE HEIGHT CALCULATIONS:

BLOCK 1	114.225 + 113.600 + 115.433 + 116.410 = 459.668 / 4 = 114.917m
BLOCK 2	111.840 + 111.291 + 113.528 + 114.200 = 450.859 / 4 = 112.715m
BLOCK 3	110.450 + 109.355 + 109.355 + 111.840 = 441.000 / 4 = 110.250m
BLOCK 4	108.000 + 106.566 + 109.355 + 110.075 = 433.996 / 4 = 108.500m

REFER TO TREE MANAGEMENT PLAN BY VANCOUVER ISLAND TREE SERVICES DATED SEPTEMBER 23, 2022

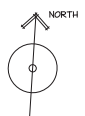
- EXISTING TREES TO REMAIN
- TREES TO BE REMOVED

5915 METRAL DRIVE
SITE PLAN - PROPOSED

NANAIMO, BC SCALE: 1:200 2019-08



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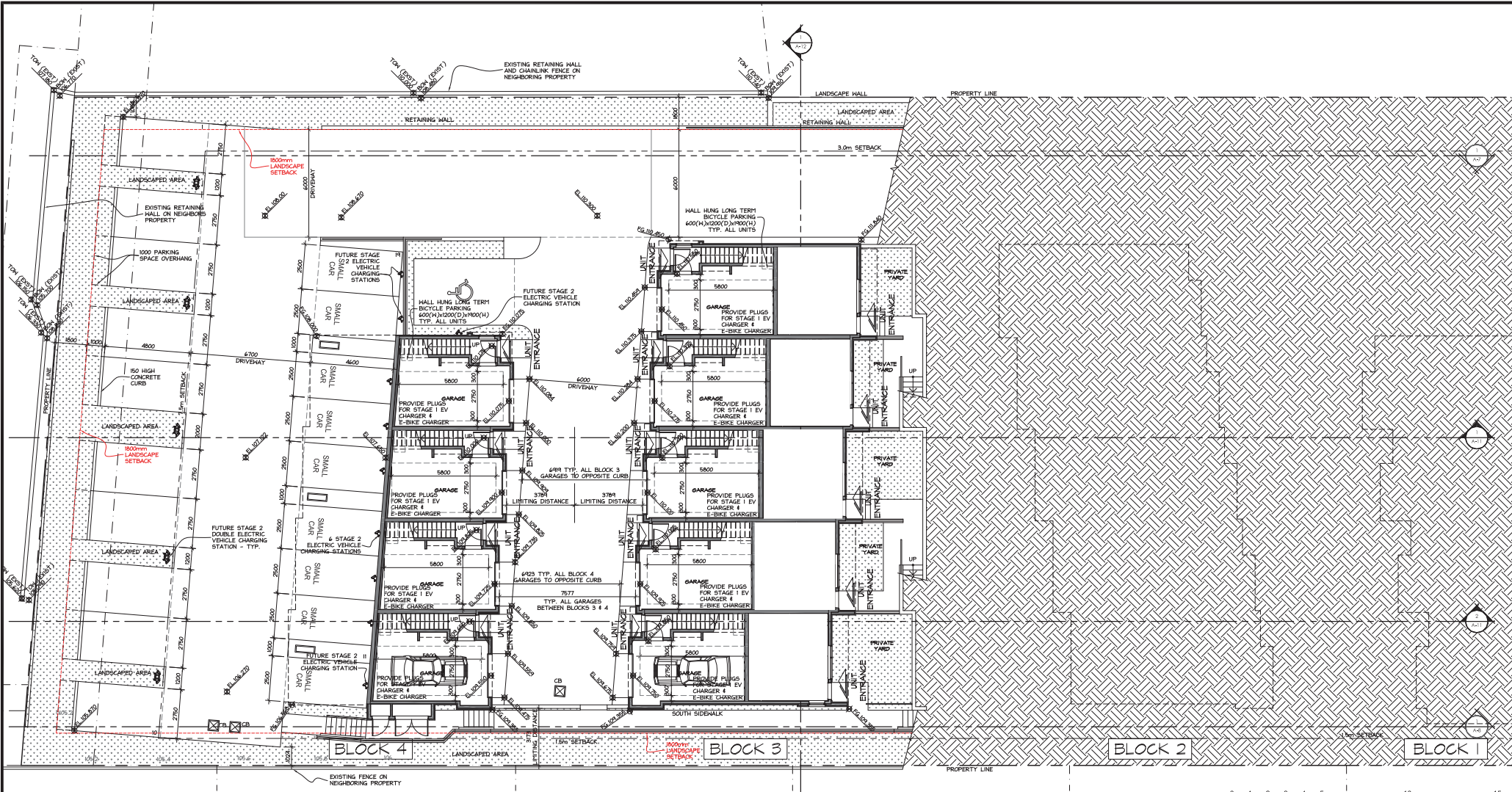


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Current Planning

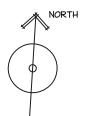


5915 METRAL DRIVE BLOCKS 3 & 4 1ST FLOOR

NANAIMO, BC SCALE: 1:100 2019-08



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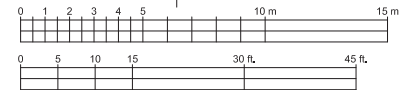


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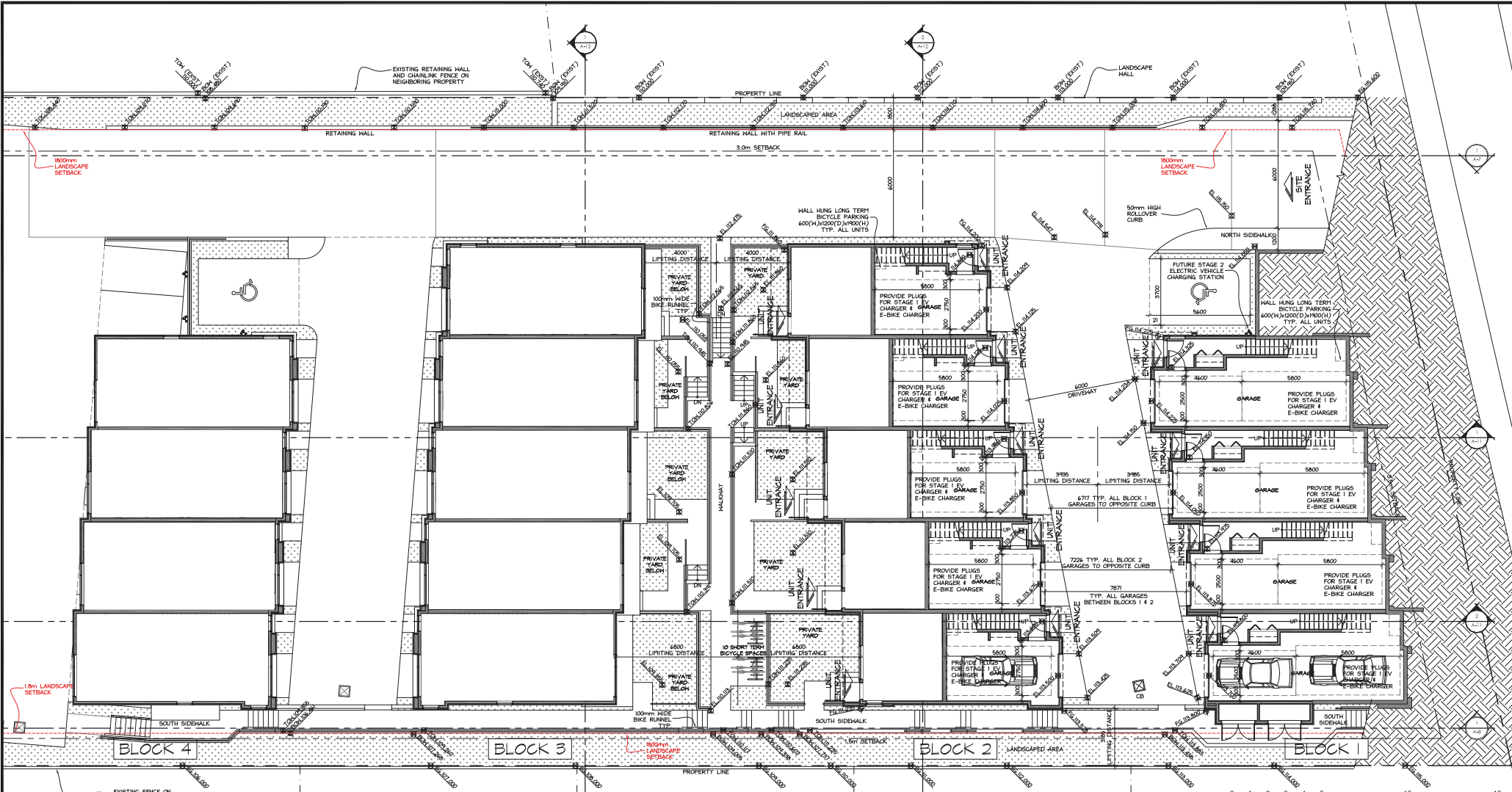
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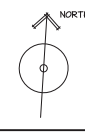
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5915 METRAL DRIVE
 BLOCKS 3 & 4 2ND FLOOR, BLOCKS 1 & 2 1st FLOOR
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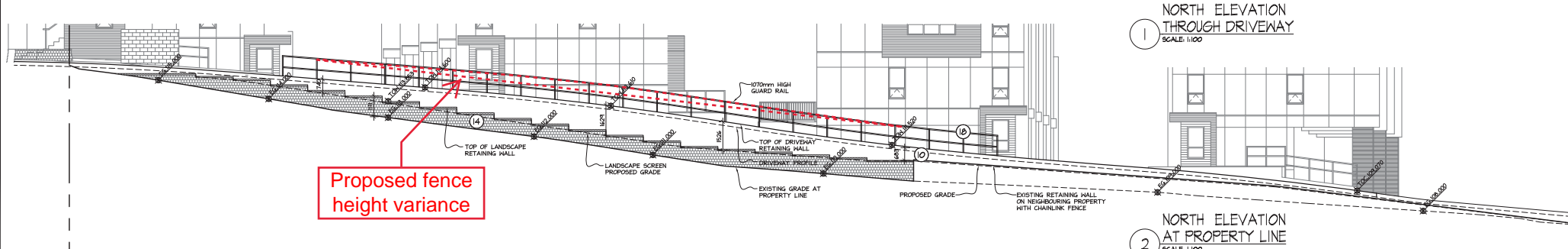
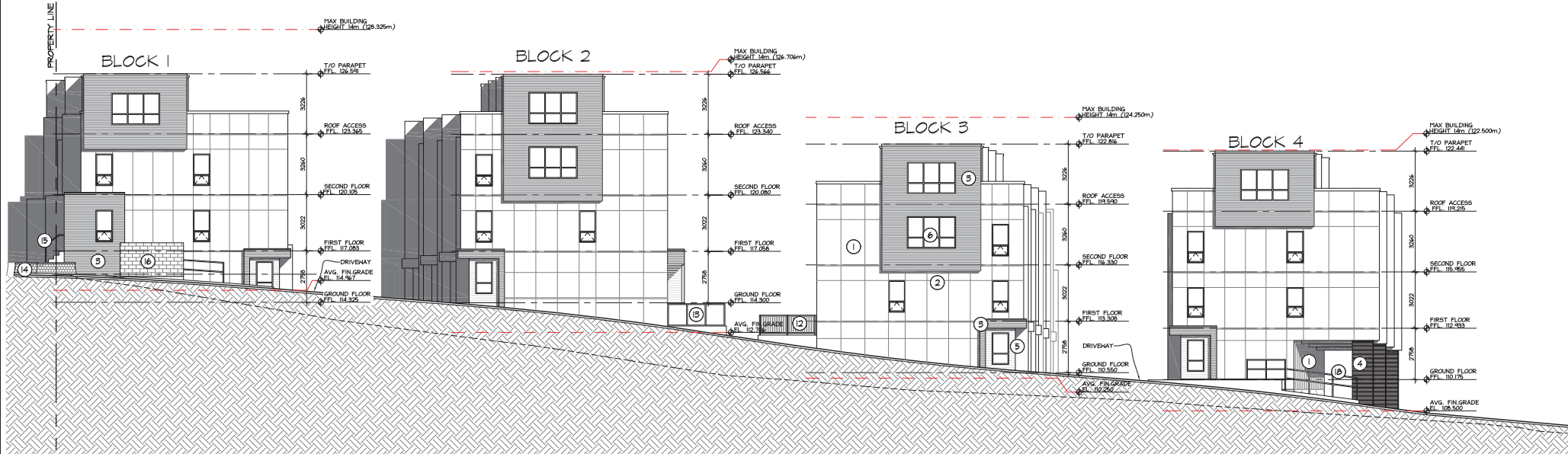


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BUILDING ELEVATIONS AND DETAILS



SYMBOL		MATERIAL		SYMBOL		MATERIAL		SYMBOL		MATERIAL		SYMBOL		MATERIAL	
1	HARDIE PANEL - ARCTIC WHITE	5	HORIZONTAL CEDAR CLADDING - CLEAR COAT	9	OVERHEAD DOOR - LIGHT GRAY	13	PRIVACY SCREEN - BLACK ALUMINUM FRAME W/ CEDAR INFILL (CLEAR COAT)	17	HOOD GATE - CLEAR COAT	21	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 DARK OLIVE	1	1	1	1
2	PREFINISHED METAL REVEALS (MATCH ARCTIC WHITE)	6	VINYL WINDOW - BLACK	10	EXPOSED CONCRETE - SEALED	14	LANDSCAPE RETAINING WALL - REFER TO LANDSCAPE	18	METAL PIPE GUARD - BLACK	22	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 STORM CLOUD GRAY	2	2	2	2
3	HORIZONTAL CORRUGATED METAL SIDING - GALVALUME	7	NOT USED	11	HOOD POST 4 BEAM - CLEAR STAIN	15	METAL HANDRAIL - BLACK	19	PAINTED METAL DOOR - LIGHT GRAY	23	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 GRAY HORSE	3	3	3	3
4	CERACLAD CLADDING - MODERN STRIPE - CHARCOAL	8	GLAZED VINYL DOOR - BLACK	12	PICKET ALUMINUM GUARD - BLACK	16	PAINTED CONCRETE BLOCK - BLACK	20	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 TUSCANY GREEN	24	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 PINKSHINE	4	4	4	4

**5915 METRAL DRIVE
NORTH ELEVATIONS**

NANAIMO, BC

SCALE: AS NOTED 2019-08



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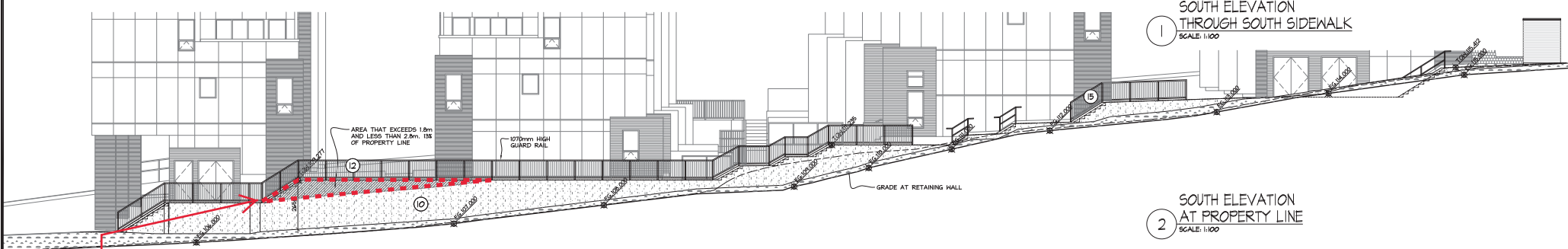
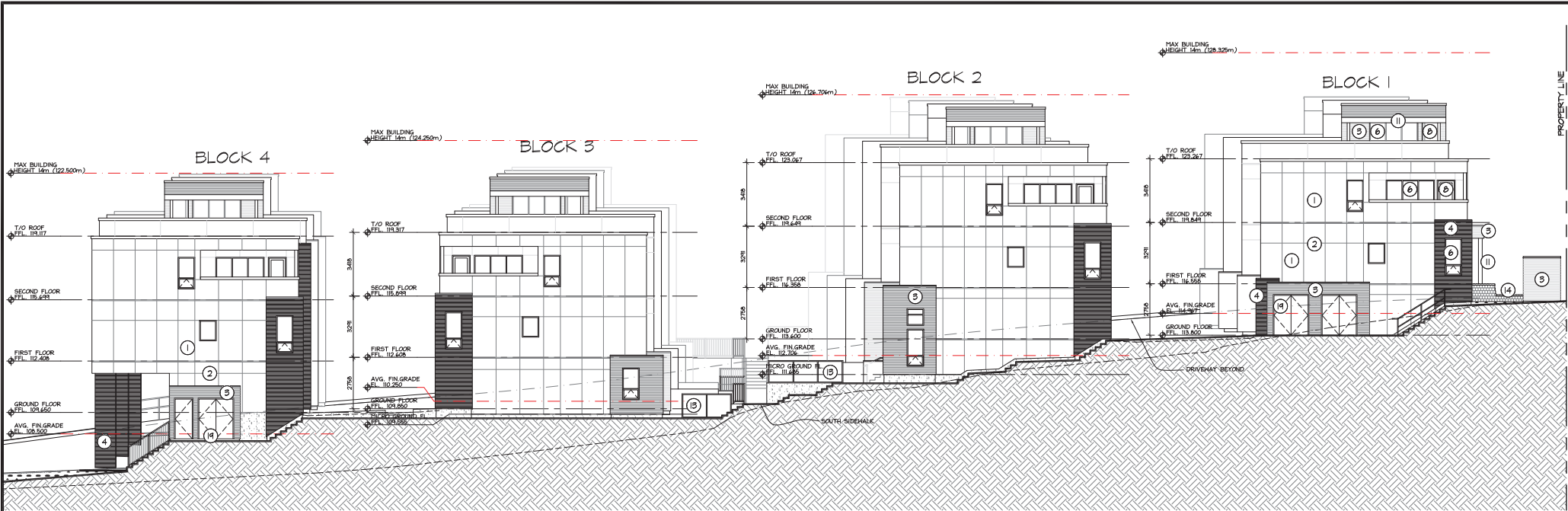


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Proposed fence height variance

MATERIAL SCHEDULE		MATERIAL SCHEDULE		MATERIAL SCHEDULE		MATERIAL SCHEDULE		MATERIAL SCHEDULE			
SYMBOL	MATERIAL	SYMBOL	MATERIAL	SYMBOL	MATERIAL	SYMBOL	MATERIAL	SYMBOL	MATERIAL		
①	HARDIE PANEL - ARCTIC WHITE	⑤	HORIZONTAL CEDAR CLADDING - CLEAR COAT	④	OVERHEAD DOOR - LIGHT GRAY	⑮	PRIVACY SCREEN - BLACK ALUMINUM FRAME W/ CEDAR INFILL (CLEAR COAT)	⑰	HOOD GATE - CLEAR COAT	⑳	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 DARK OLIVE
②	PREFINISHED METAL REVEALS (MATCH ARCTIC WHITE)	⑥	VINYL WINDOW - BLACK	⑩	EXPOSED CONCRETE - SEALED	⑭	LANDSCAPE RETAINING WALL - REFER TO LANDSCAPE	⑱	METAL PIPE GUARD - BLACK	㉑	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 STORM CLOUD GRAY
③	HORIZONTAL CORRUGATED METAL SIDING - GALVALUME	⑦	NOT USED	⑪	HOOD POST 4 BEAM - CLEAR STAIN	⑯	METAL HANDRAIL - BLACK	⑲	PAINTED METAL DOOR - LIGHT GRAY	㉒	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 GRAY HORSE
④	CERACLAD CLADDING - MODERN STRIPE - CHARCOAL	⑧	GLAZED VINYL DOOR - BLACK	⑫	PICKET ALUMINUM GUARD - BLACK	⑯	PAINTED CONCRETE BLOCK - BLACK	⑳	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 TUSCANY GREEN	㉓	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 TOONHORN

5915 METRAL DRIVE SOUTH ELEVATIONS

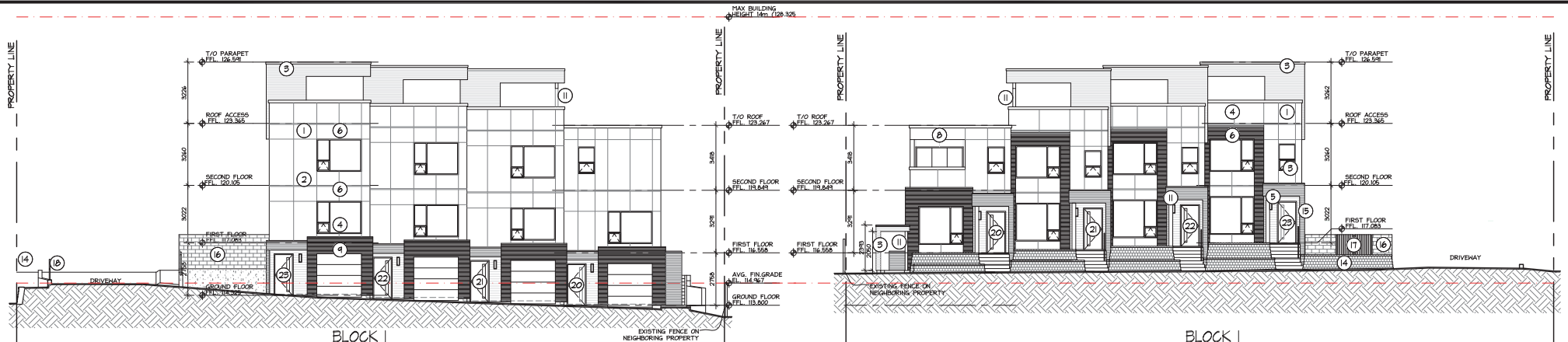
NANAIMO, BC SCALE: AS NOTED 2019-08

RE-ISSUED FOR D.P. JAN 23, 2023

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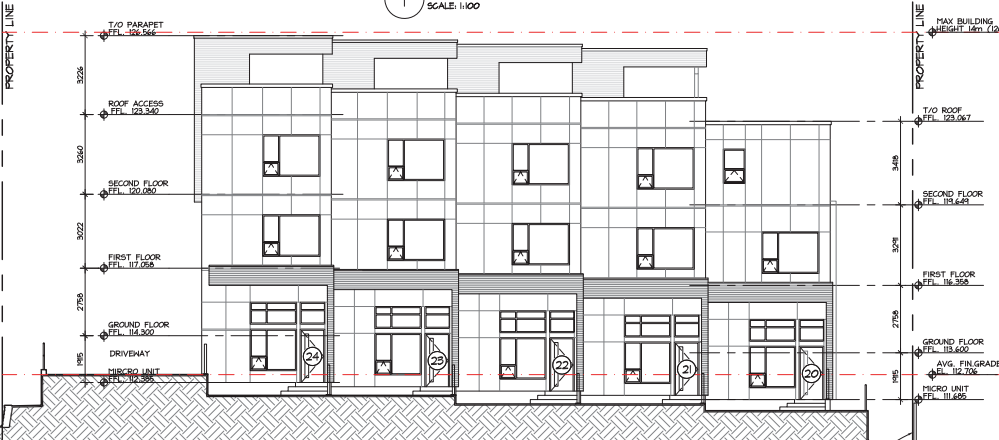
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1 BLOCK 1 WEST ELEVATION SCALE: 1:100

2 BLOCK 1 EAST ELEVATION Facing Metral Drive SCALE: 1:100



3 BLOCK 2 WEST ELEVATION SCALE: 1:100

4 BLOCK 2 EAST ELEVATION SCALE: 1:100

MATERIAL SCHEDULE

SYMBOL	MATERIAL	SYMBOL	MATERIAL	SYMBOL	MATERIAL	SYMBOL	MATERIAL	SYMBOL	MATERIAL
1	HARDIE PANEL - ARCTIC WHITE	5	HORIZONTAL CEDAR CLADDING - CLEAR COAT	9	OVERHEAD DOOR - LIGHT GRAY	13	PRIVACY SCREEN - BLACK ALUMINUM FRAME W/ CEDAR INFILL (CLEAR COAT)	17	HOOD GATE - CLEAR COAT
2	PREFINISHED METAL REVEALS (MATCH ARCTIC WHITE)	6	VINYL WINDOW - BLACK	10	EXPOSED CONCRETE - SEALED	14	LANDSCAPE RETAINING WALL - REFER TO LANDSCAPE	18	METAL PIPE GUARD - BLACK
3	HORIZONTAL CORRUGATED METAL SIDING - GALVALUME	7	NOT USED	11	HOOD POST 4 BEAM - CLEAR STAIN	15	METAL HANDRAIL - BLACK	19	PAINTED METAL DOOR - LIGHT GRAY
4	CERACLAD CLADDING - MODERN STRIPE - CHARCOAL	8	GLAZED VINYL DOOR - BLACK	12	PICKET ALUMINUM GUARD - BLACK	16	PAINTED CONCRETE BLOCK - BLACK	20	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 TUSCANT GREEN
								21	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 DARK OLIVE
								22	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 STORM CLOUD GRAY
								23	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 GRAY HORSE
								24	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 TROUSERSHINE

5915 METRAL DRIVE BLOCKS 1 & 2 EAST & WEST ELEVATIONS

NANAIMO, BC

SCALE: AS NOTED 2019-08



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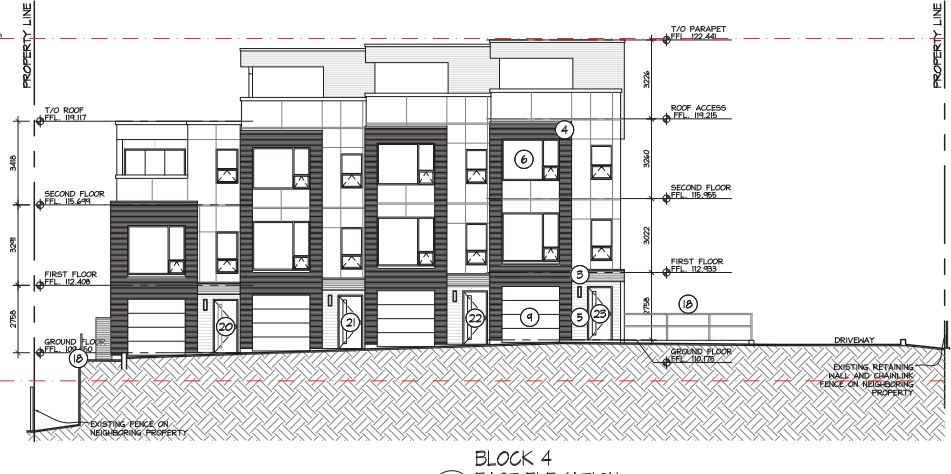
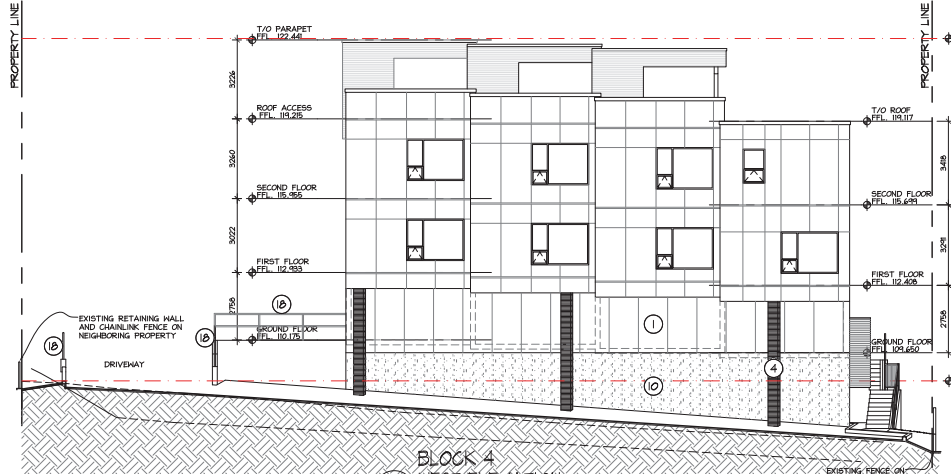
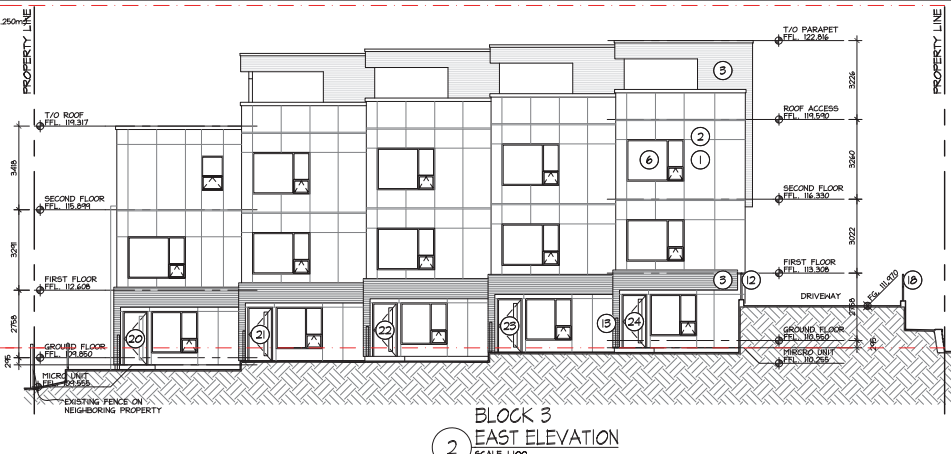
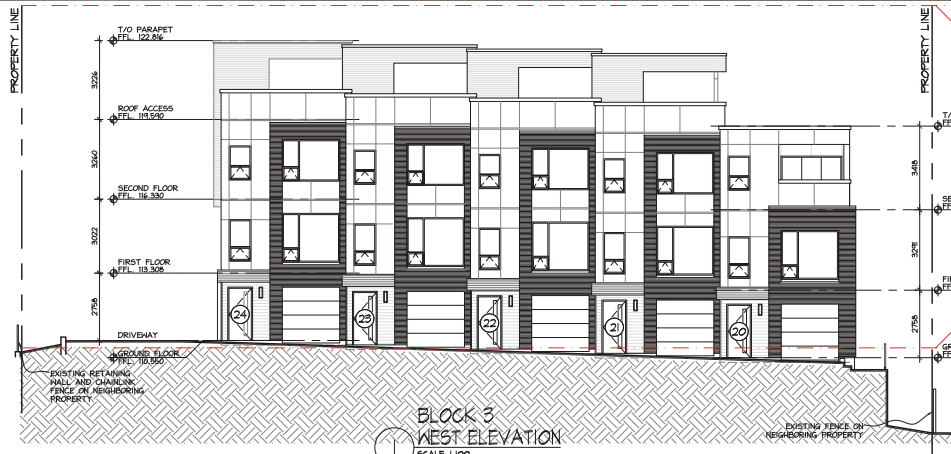


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MATERIAL SCHEDULE			
SYMBOL	MATERIAL	SYMBOL	MATERIAL
①	HARDIE PANEL - ARCTIC WHITE	⑤	HORIZONTAL CEDAR CLADDING - CLEAR COAT
②	PREFINISHED METAL REVEALS (MATCH ARCTIC WHITE)	⑥	VINYL WINDOW - BLACK
③	HORIZONTAL CORRUGATED METAL SIDING - GALVALUME	⑦	NOT USED
④	CERACLAD CLADDING - MODERN STRIPE - CHARCOAL	⑧	GLAZED VINYL DOOR - BLACK
		⑨	OVERHEAD DOOR - LIGHT GRAY
		⑩	EXPOSED CONCRETE - SEALED
		⑪	WOOD POST & BEAM - CLEAR STAIN
		⑫	PICKET ALUMINUM GUARD - BLACK
		⑬	PRIVACY SCREEN - BLACK ALUMINUM FRAME W/ CEDAR INFILL (CLEAR COAT)
		⑭	LANDSCAPE RETAINING WALL - REFER TO LANDSCAPE
		⑮	METAL HANDRAIL - BLACK
		⑯	PAINTED CONCRETE BLOCK - BLACK
		⑰	HOOD GATE - CLEAR COAT
		⑱	PAINTED METAL DOOR - LIGHT GRAY
		⑲	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 DARK OLIVE
		⑲	METAL PIPE GUARD - BLACK
		⑲	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 STORM CLOUD GRAY
		⑲	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 GRAY HORSE
		⑲	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 TUSCAN GREEN
		⑲	GLAZED FIBREGLASS DOOR - PAINTED BENJAMIN MOORE 2140-20 TOOKSHIRE

5915 METRAL DRIVE BLOCKS 3 & 4 EAST & WEST ELEVATIONS

NANAIMO, BC SCALE: AS NOTED 2019-08



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1. Hardie Panel—Arctic White
2. Prefinished Metal Reveals (match Arctic White)
3. Horizontal Corrugated Metal Siding—Galvalume
4. Ceraclad Cladding—Modern Stripe—Charcoal
5. Horizontal Cedar Cladding—Clear Coat
6. Vinyl Window—Black
7. Glazed Fibreglass Door—Painted as follows:
 - 2140-60 Moonshine
 - 2140-50 Gray Horse
 - 2140-40 Storm Cloud Gray
 - 2140-30 Dark Olive (Shown)
 - 2140-20 Tuscan Green
8. Glazed Vinyl Door—Black
9. Overhead Door—Light Grey to match BM2124-30 Deep Silver
10. Exposed Concrete—Sealed
11. Wood Post and Beam—Clear Stain
12. Picket Aluminium Guard—Black
13. Privacy Screen—Black Aluminium Frame with Cedar infill—Clear Coat
14. Landscape Retaining Wall—Pisa II or similar
15. Metal Handrail—Black
16. Not used
17. Painted Concrete Block—Black MG 2118-10 Universal Black
18. Wood Gate—Black Aluminium Frame with Cedar infill—Clear Coat
19. Metal Pipe Guard—Black
20. Painted Metal Door—Light Grey—BM 2124-30 Deep Silver



Flashings, Gutters, RWL: Dark Brown, Polar White, or Galvalume to match adjacent cladding.

Paint Colours:



BM OC-67 Ice Mist BM 2124-30 Deep Silver BM 2118-10 Universal Black

5915 METRAL DRIVE EXTERIOR MATERIALS BOARD

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Dec 19, 2022



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2022-DEC-14
Current Planning

Recommended Plant List

Trees

ID	Quantity	Botanical Name	Common Name	Size
AcROG	1	Acer rubrum 'October Glory'	October Glory Red Maple	6cm cal.
AmGr	4	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Serviceberry	6cm cal.
CaBFF	2	Carpinus betulus 'Frans Fontaine'	Columnar Hornbeam	6cm cal.
CaCa	5	Carpinus Caroliniana	Pink Perfection Cherry American Homb	6cm cal.
AcOs	2	Cercidiphyllum japonicum	Katsura Tree	6cm Cal.
CrDo	1	Crataegus douglasii	Black Hawthorn	6cm cal.
PICo	17	Picea omorika	Serbian Spruce	2.0m ht.

Large Shrubs

Total: 36

Botanical Name	Common Name	Size
Ceanothus thyrsiflorus 'Victoria'	Victoria Ceanothus	#5 pot
Cornus sericea	Red-osier Dogwood	#3 pot
Philadelphus lewisii	Wild Mock Orange	1.0m ht.

Medium Shrubs

Total: 96

Botanical Name	Common Name	Size
Mahonia aquifolium	Tall Oregon Grape	#3 pot
Ribes sanguineum	Red Flowering Currant	#3 pot
Symphoricarpos albus	Snowberry	#3 pot

Small Shrubs

Total: 392

Botanical Name	Common Name	Size
Azalea japonica 'Herbert'	Herbert Evergreen Azalea	#3 pot
Berberis thunbergii f. atropurpurea 'Bagatelle'	Dwf Purpleleaf Japanese Barberry	#1 pot
Gaultheria shallon	Salal	#1 pot
Lavandula stoechas 'Otto Quast'	Spanish Lavender	#1 pot
Mahonia nervosa	Low Oregon Grape	#1 pot
Nandina domestica	Heavenly Bamboo	#3 pot
Nandina domestica 'Fire Power'	Fire Power Heavenly Bamboo	#1 pot
Sarcococca hookeriana	Sweet Box	#1 pot
Spiraea 'Goldflame'	Goldflame Spirea	#1 pot

Perennials, Annuals and Ferns

Total: 406

Botanical Name	Common Name	Size
Blechnum spicant	Deer Fern	#1 pot
Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
Helictotrichon sempervirens	Blue Oat Grass	#1 pot
Polystichum munitum	Sword Fern	#1 pot
Sarcococca hookeriana	Sweet Box	#1 pot
Stipa tenuissima	Mexican Feather Grass	#1 pot

Groundcovers

Total: 276

Botanical Name	Common Name	Size
Fragaria chiloensis	Coastal Strawberry	#1 pot

Notes:

1. All work to be completed to current CSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system

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 CURRENT PLANNING

Proposed landscape buffer variance

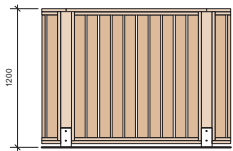
Proposed landscape buffer variance

Proposed landscape buffer variance

Proposed landscape buffer variance

NEIGHBOURING PROPERTY (R8)

NEIGHBOURING PROPERTY (R1)



1 1.2m (4ft) Timber Divider Fence NTS



2 1200mm (4ft) high Decorative Metal Fence NTS



3 Bicycle Rack NTS

5915 Metral Drive - Landscape Layout Plan

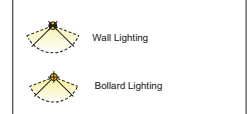


Project No: 1966 30 March 2020

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LIGHTING LEGEND



Revision 6: Dec. 22/2022
Revision 5: Dec. 14/2022
Revision 4: Oct. 4/2022
Revision 3: Feb. 17/2022
Revision 2: Dec. 2/2021
Revision 1: Oct. 29/2020