



**DEVELOPMENT PERMIT NO. DP001256**

**6577 NANAIMO HOLDINGS LTD**  
**Owner(s) of Land (Permittee)**

**77 CHAPEL STREET**  
**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT A, SECTION 1, NANAIMO DISTRICT, PLAN EPP86703**  
**PID No. 030-613-809**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map**  
**Schedule B Site and Parking Plans**  
**Schedule C Building Elevations and Details**  
**Schedule D Landscape Plans and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

**PERMIT TERMS**

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.5.1 Projections Into Yards* – to reduce the minimum required setback for an underground parking structure from the front lot line (Chapel Street) from 1.8m to 0.0m.

**CONDITIONS OF PERMIT**

1. The subject property shall be developed in accordance with the Site and Parking Plans, prepared by dHK Architects, dated 2023-MAR-09, as shown on Schedule C.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by dHK Architects, dated 2023-MAR-09, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Murdoch de Greef Inc. Landscape Planning & Design, dated 2023-FEB-23, as shown on Schedule D.
4. Registration of a Statutory Right-of-Way (SRW) prior to building occupancy for the public plaza adjacent to Chapel Street, generally as shown on Schedule B.
5. Registration of a Statutory Right-of-Way (SRW) prior to building occupancy for the public plaza and walkway at the corner of Chapel Street and Skinner Street, generally as shown on Schedule B.
6. Registration of a Statutory Right-of-Way (SRW) prior to building occupancy to achieve a 3.0m wide sidewalk from the ultimate curb along the Chapel Street frontage, generally as shown on Schedule B.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 17TH DAY OF APRIL, 2023.

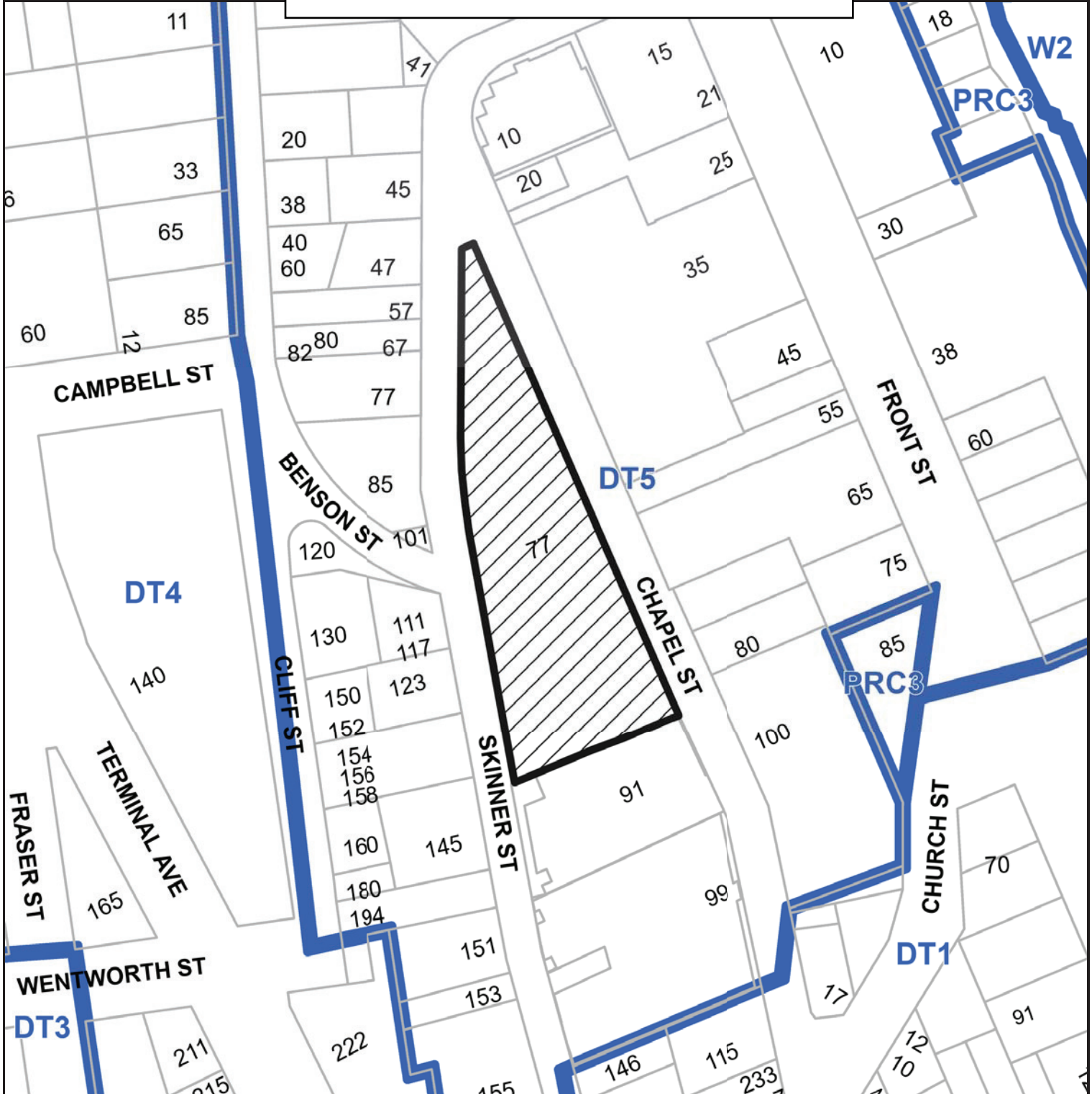
  
Corporate Officer

  
Date

GF/bb

Prospero attachment: DP001256

### SUBJECT PROPERTY MAP

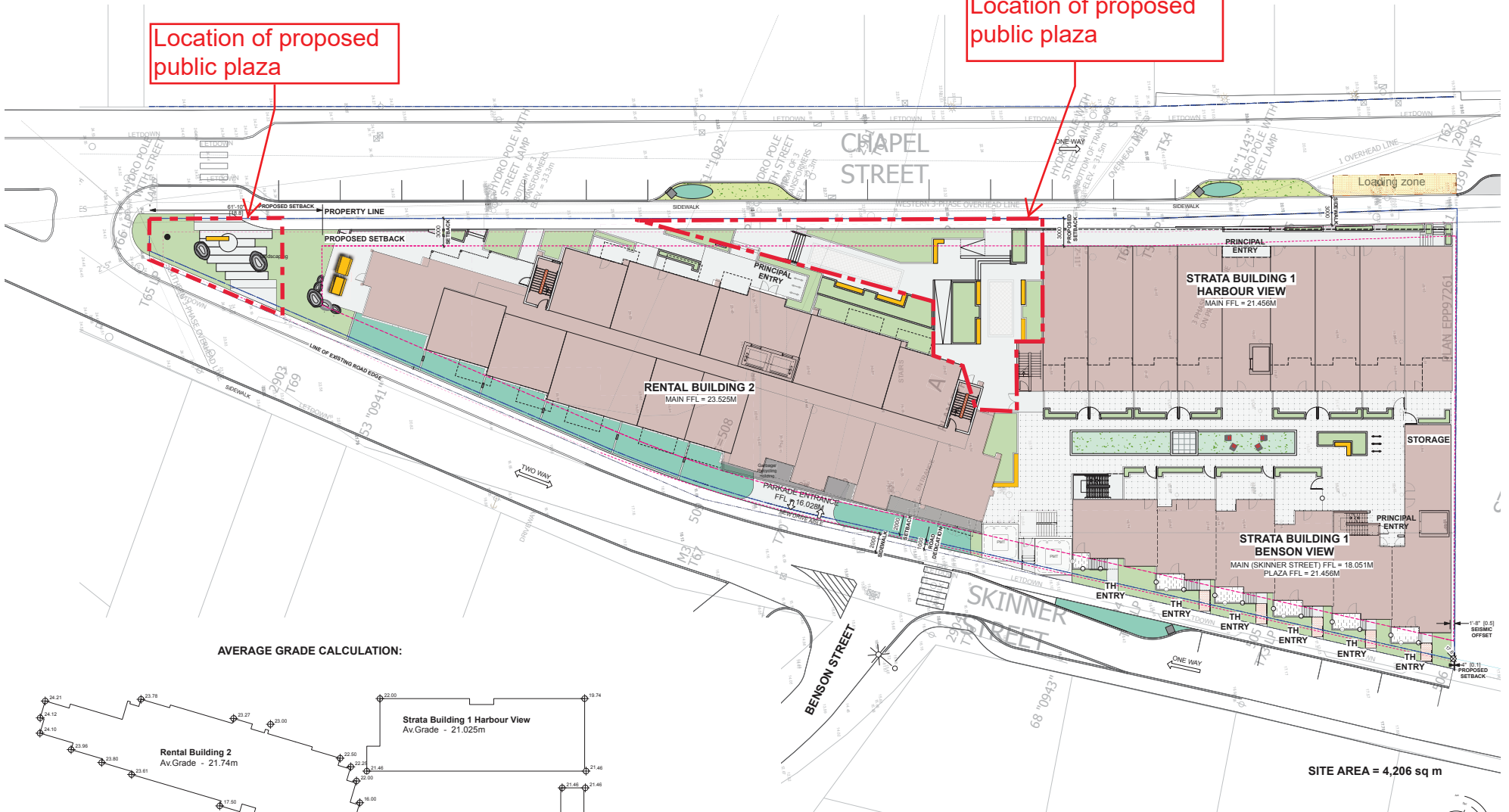


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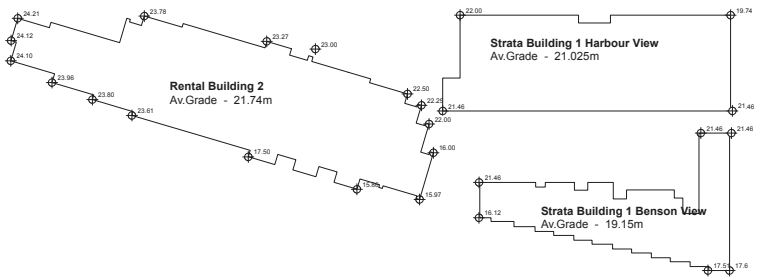
**SITE AND PARKING PLANS**

Location of proposed public plaza

Location of proposed public plaza



AVERAGE GRADE CALCULATION:



SITE AREA = 4,206 sq m



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**RESIDENTIAL PARKING :**

94 stalls required  
162 stalls provided

**STRATA BUILDING 1:**

Required:  
Downtown Area 5:  
1BDM 51x0.5 = 25.5  
2BDM 20x0.9 = 18.0  
Studio 2x0.45 = 0.9

**TOTAL (required) 44.4 STALLS**  
including:  
Accessible parking - 3 stalls  
Visitor parking - 2 stalls  
Electric vehicle 25% - 11 stalls

**Bicycle parking:**  
Short term - 7 (73units x 0.1space)  
Long term - 36.5 (73units x 0.5space)

**RENTAL BUILDING 2**

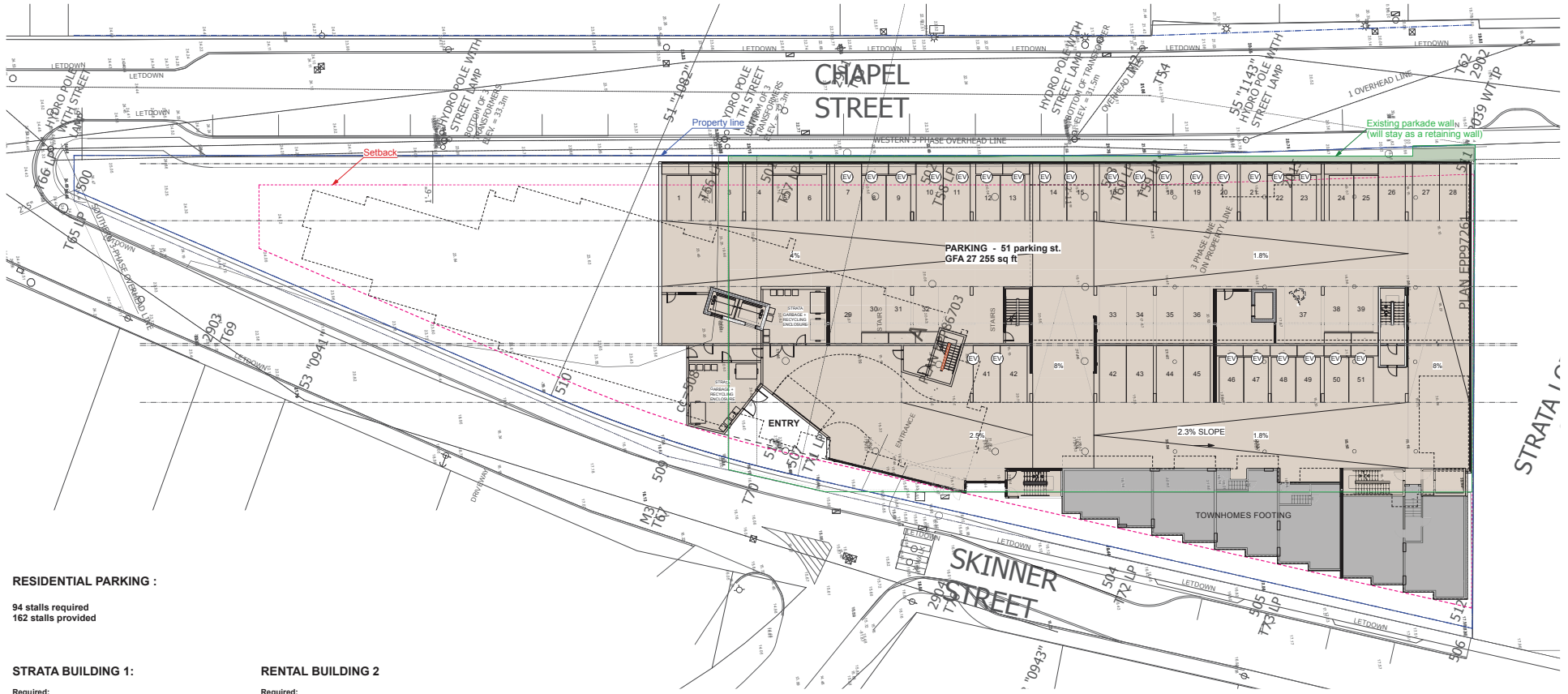
Required:  
Downtown Area 5:  
1BDM 51x0.5 = 25.5  
2BDM 21x0.9 = 18.9  
STUDIO 12x0.45 = 5.4

**TOTAL (required) 50 STALLS**  
including:  
Accessible parking - 3 stalls  
Visitor parking - 2 stalls  
Electric vehicle 25% - 13 stalls

**Bicycle parking:**  
Short term - 8 (84units x 0.1space)  
Long term - 42 (84units x 0.5space)



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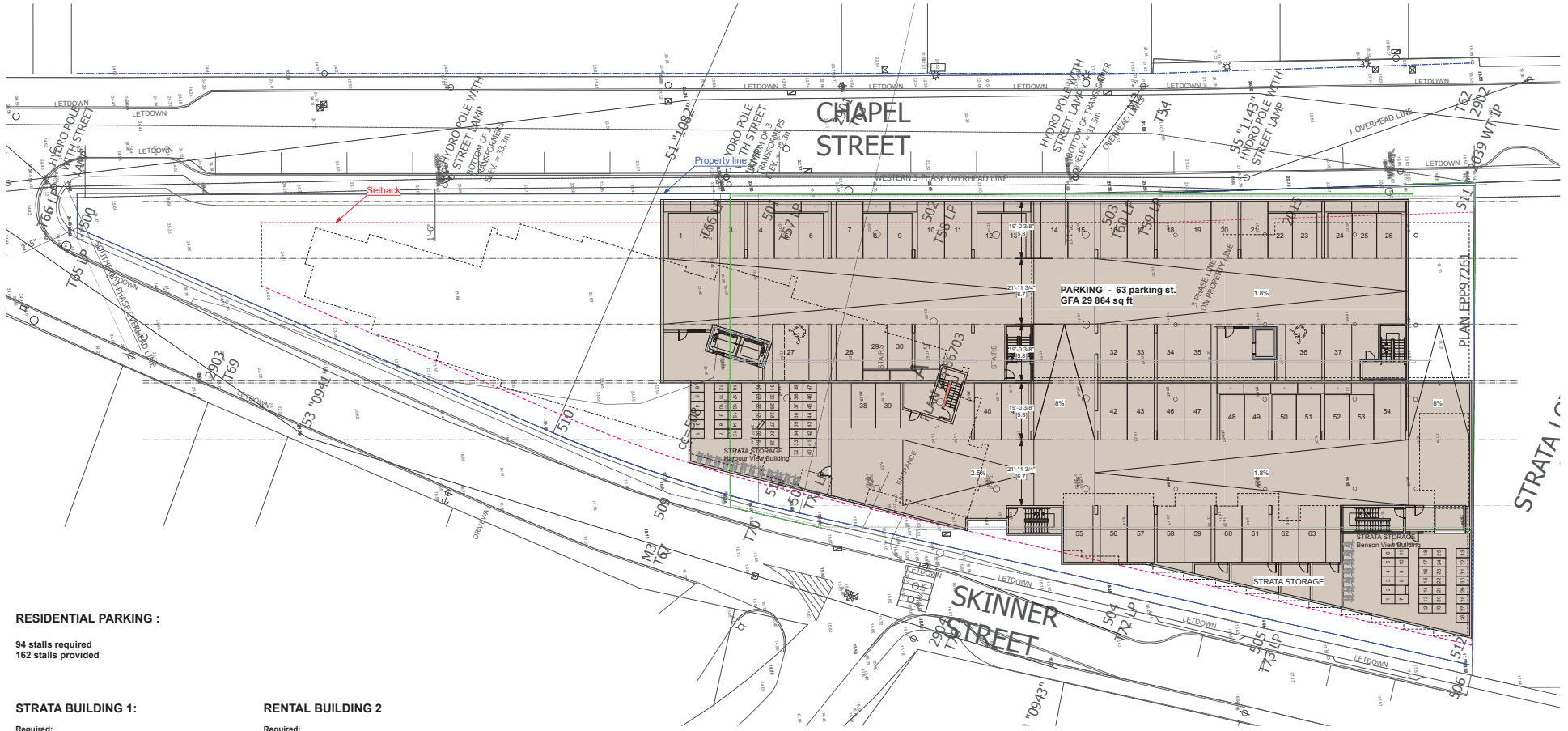
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Development Permit No. DP001256 Schedule C  
 77 Chapel Street  
**BUILDING ELEVATIONS AND DETAILS**



91 CHAPEL STREET MAIN ENTRY STRATA BUILDING HARBOUR VIEW CHAPEL STREET RENTAL BUILDING MAIN ENTRY

1 Chapel Street - Streetscape East Elevation  
 Scale: 1/16" = 1'-0"



RENTAL BUILDING PARKADE ENTRY SKINNER STREET STRATA BUILDING BENSEN VIEW 91 CHAPEL STREET

2 Skinner Street - Streetscape West Elevation  
 Scale: 1/16" = 1'-0"

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1 Strata Building - Harbour View - East Elevation (Facing Chapel St)  
Scale: 1/8" = 1'-0"

**GENERAL NOTES**

1. ALL WORK TO CONFORM TO THE BCBC 2018 BUILDING CODE.
2. ALL DRAWINGS TO BE READ IN CONSULTATION WITH EACH OTHER.
3. ALL EXISTING AND NEW DATUMS ARE GEODETIC AND SHOWN IN METERS. REFER TO SITE SURVEY AND CIVIL PACKAGES.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE. ARCHITECT TO BE CONTACTED REGARDING DISCREPANCIES.
5. PROVIDE GUARDRAIL AT RETAINING WALLS OVER 2'-0" IN HEIGHT.
6. ALL ILLUSTRATED SIGNAGE IS PLACEHOLDER. SIGNAGE WILL BE SUBMITTED THROUGH A FUTURE SIGN PERMIT APPLICATION.

**MATERIAL PALETTE**

- 1 LOW SLOPE MEMBRANE ROOF, IN DARK GREY TONES
- 2 FIBRE-CEMENT PANEL FASCIA, SMOOTH TEXTURE, IN 'IRON' GREY, WITH ALUMINIUM CAP FLASHING, IN CHARCOAL GREY
- 3 WOOD-LOOK METAL SOFFIT/SMOOTH 4" V-GROOVE VENTED SOFFIT, WOOD GRAIN FINISH, IN 'FR'
- 4 SOFFIT/VENTED ALUMINIUM SOFFIT, IN 'RUSTIC GRANITE' (DARK GREY TONES)
- 5 SOFFIT/VENTED FIBRE-CEMENT PANEL SOFFIT, SMOOTH TEXTURE, IN 'PEARL' GREY
- 6 FIBRE-CEMENT PANEL SIDING, SMOOTH TEXTURE, IN 'PEARL' GREY
- 7 FIBRE-CEMENT PANEL SIDING, SMOOTH TEXTURE, IN 'SLATE' GREY
- 8 FIBRE-CEMENT PANEL SIDING, SMOOTH TEXTURE, IN 'IRON' GREY
- 9 WOOD-LOOK METAL SIDING, SMOOTH 4" V-GROOVE PANEL SIDING, WOOD GRAIN FINISH, IN 'DARK CHERRY'
- 10 WOOD-LOOK METAL SIDING, SMOOTH 4" V-GROOVE PANEL SIDING, WOOD GRAIN FINISH, IN 'FR'
- 11 BRICK SIDING, IN 'VIGOR' AND 'TUMBUK' GREY WITH LIGHT GREY MORTAR
- 12 CAST-IN-PLACE CONCRETE WALL AND COLUMNS, SACK FINISHED, PAINT SEALED IN 'LIGHT' GREY TONES
- 13 CAST-IN-PLACE CONCRETE WALL, SACK FINISHED, PAINT SEALED IN 'CHARCOAL' GREY
- 14 INSULATED CONCRETE PANEL, 'DARK' GREY TONES
- 15 ALUMINIUM STORE FRONT GLAZING, IN 'RESENT' GREY
- 16 ALUMINIUM CURTAIN WALL GLAZING, IN 'RESENT' GREY
- 17 SPANDREL PANEL
- 18 ALUMINIUM STORE FRONT DOORS, IN 'RESENT' GREY, WITH CLEAR TEMPERED GLASS INFILL PANELS
- 19 ALUMINIUM STORE FRONT DOORS, IN 'CHARCOAL' GREY, WITH CLEAR TEMPERED GLASS INFILL PANELS
- 20 VINYL WINDOWS, IN 'RESENT' GREY
- 21 VINYL SLIDING GLASS DOORS, IN 'RESENT' GREY
- 22 VINYL SLIDING GLASS DOORS, IN 'CHARCOAL' GREY
- 23 VINYL SWING GLASS DOOR, IN 'RESENT' GREY
- 24 VINYL SWING DOOR, IN 'CHARCOAL' GREY, WITH TRANSBOM GLAZING ABOVE (ENTRY @ WALKWAY TBQ)
- 25 STEEL DOOR, IN 'CHARCOAL' GREY
- 26 STEEL DOOR, IN 'RESENT' GREY
- 27 GUARDRAIL HEIGHT PARAPET WALLS, WITH 1 FIBRE-CEMENT PANEL SIDING, IN 'IRON' GREY
- 28 ALUMINIUM RAILING AND GUARDRAILS, IN 'RESENT' GREY FINISH, WITH CLEAR TEMPERED GLASS PANELS
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- 33 BALCONIES WITH VINYL BEADING, IN LIGHT GREY
- 34 COURTYARD ELEVATED WALKWAYS WITH FAVER WALKING SURFACE, IN LIGHT GREY
- 35 EXTERIOR METAL STAIRS, IN 'RESENT' GREY FINISH, WITH CLEAR TEMPERED GLASS INFILL PANELS
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- 38 MECHANICAL SCREEN LOUVERS, METAL FRAME, IN 'BLACK'
- 39 CAST-IN-PLACE CONCRETE WALL, HORIZONTAL CEDAR LINER FINISHED, PAINT SEALED IN 'CHARCOAL' GREY
- 40 BARABE OH DOOR, OPEN PICKET STYLE, IN 'BLACK'
- 41 METAL PANEL SIDING IN 'SLATE' GREY

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1 Strata Building - Benson View - West Elevation (Facing Skinner St)  
Scale: 1/8" = 1'-0"

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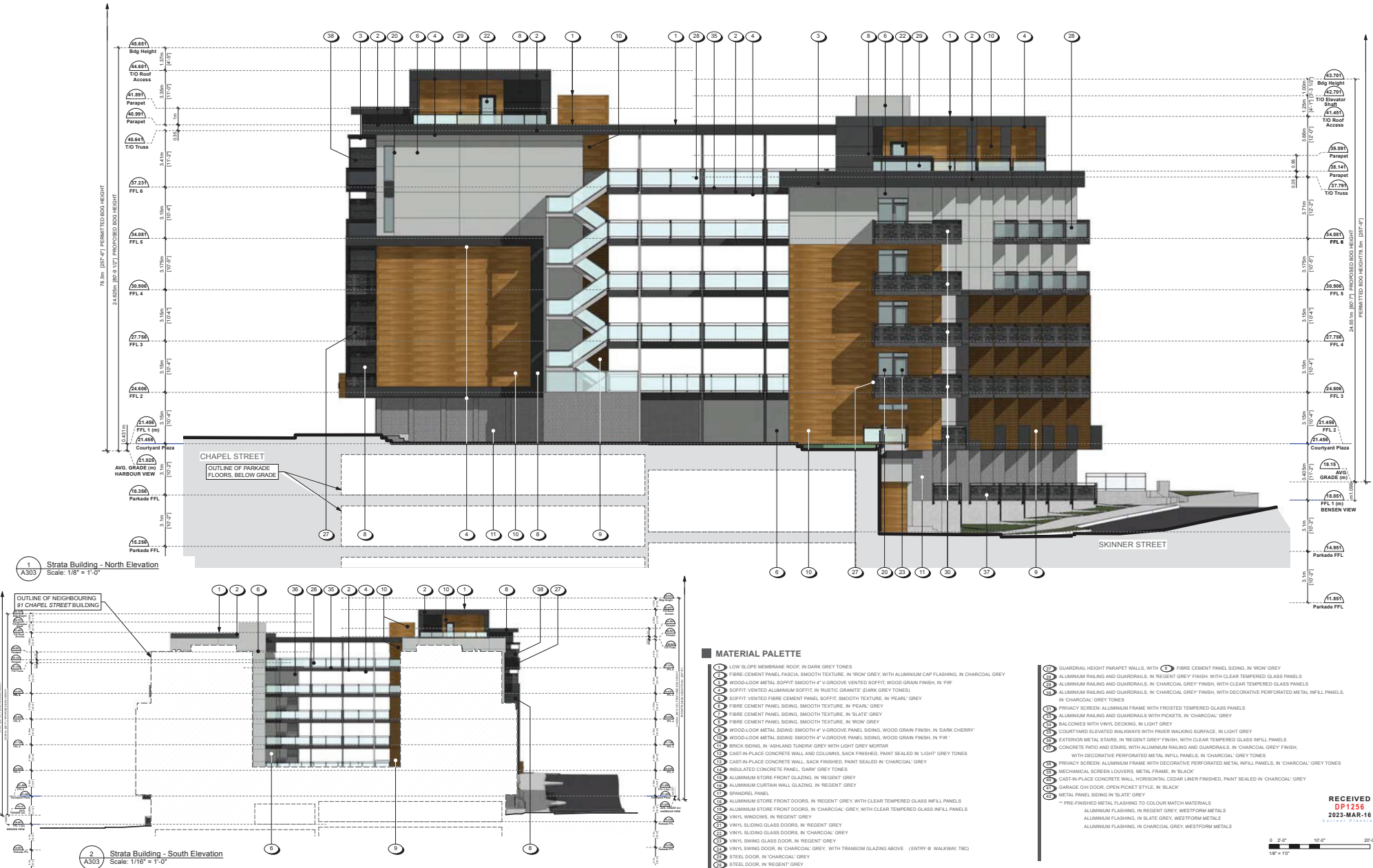
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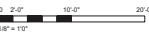
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Contract Planning



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1 Rental Building - East Elevation (Facing Chapel St)  
Scale: 1/8" = 1'-0"

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Current Planning



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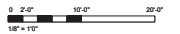
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- 5 SOFFIT, VENTED FIBRE-CEMENT PANEL SOFFIT, SMOOTH TEXTURE, IN 'PEARL' GREY
- 6 FIBRE-CEMENT PANEL SIDING, SMOOTH TEXTURE, IN 'PEARL' GREY
- 7 FIBRE-CEMENT PANEL SIDING, SMOOTH TEXTURE, IN 'SLATE' GREY
- 8 FIBRE-CEMENT PANEL SIDING, SMOOTH TEXTURE, IN 'IRON' GREY
- 9 WOOD-LOOK METAL SIDING, SMOOTH 4" V-GROOVE PANEL SIDING, WOOD GRAIN FINISH, IN 'DARK CHERRY'
- 10 WOOD-LOOK METAL SIDING, SMOOTH 4" V-GROOVE PANEL SIDING, WOOD GRAIN FINISH, IN 'FIR'
- 11 SIDING, SIDING, IN 'HIGHLAND TUBING' GREY WITH LIGHT GREY MORTAR
- 12 CAST-IN-PLACE CONCRETE WALL AND COLUMNS, BACK FINISHED, PAINT SEALED IN 'LIGHT' GREY TONES
- 13 INSULATED CONCRETE PANEL, 'DARK' GREY TONES
- 14 ALUMINIUM STORE FRONT GLAZING, IN 'REGENT' GREY
- 15 ALUMINIUM CURTAIN WALL GLAZING, IN 'REGENT' GREY
- 16 SPANDREL PANEL
- 17 ALUMINIUM STORE FRONT DOORS, IN 'REGENT' GREY, WITH CLEAR TEMPERED GLASS INFILL PANELS
- 18 ALUMINIUM STORE FRONT DOORS, IN 'CHARCOAL' GREY, WITH CLEAR TEMPERED GLASS INFILL PANELS
- 19 VINYL WINDOWS, IN 'REGENT' GREY
- 20 VINYL SLIDING GLASS DOORS, IN 'REGENT' GREY
- 21 VINYL SLIDING GLASS DOORS, IN 'CHARCOAL' GREY
- 22 VINYL SWING GLASS DOOR, IN 'REGENT' GREY
- 23 VINYL SWING DOOR, IN 'CHARCOAL' GREY, WITH TRANSBOM GLAZING ABOVE (ENTRY @ WALKWAY, TBC)
- 24 STEEL DOOR, IN 'CHARCOAL' GREY
- 25 STEEL DOOR, IN 'REGENT' GREY

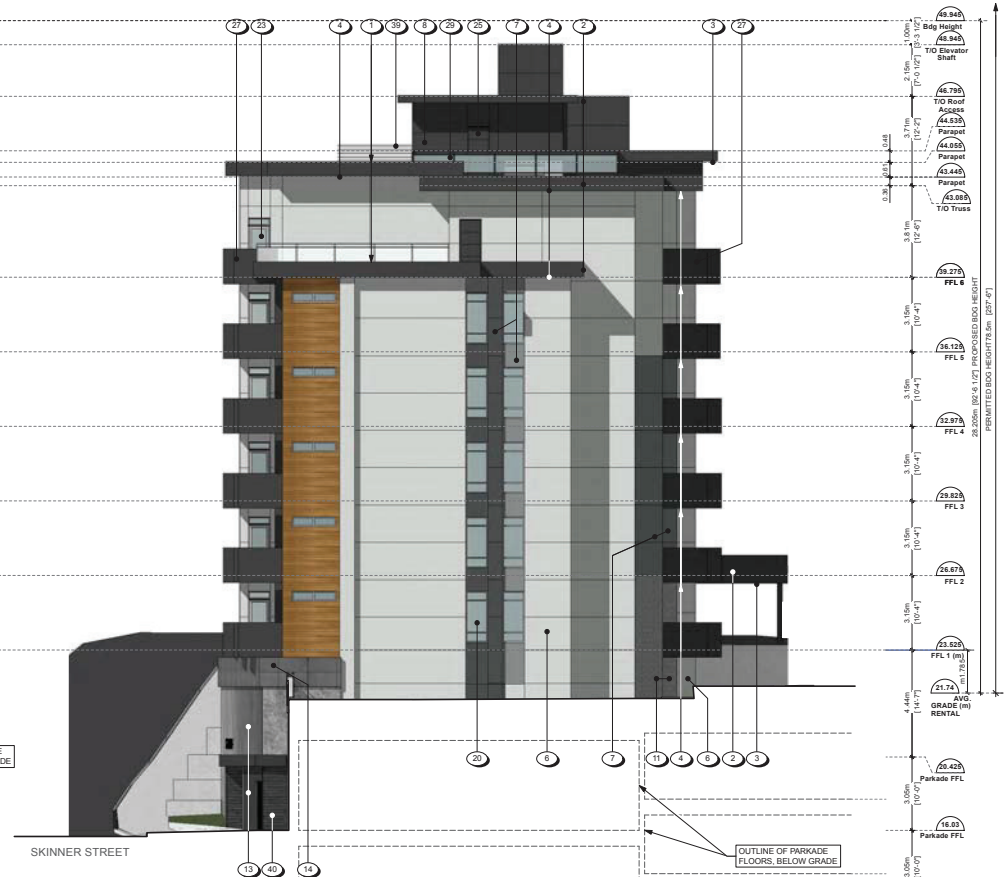
- 26 GUARDRAIL HEIGHT PARAPET WALLS, WITH 1 FIBRE-CEMENT PANEL SIDING, IN 'IRON' GREY
  - 27 ALUMINIUM RAILING AND GUARDRAILS, IN 'REGENT' GREY FINISH, WITH CLEAR TEMPERED GLASS PANELS
  - 28 ALUMINIUM RAILING AND GUARDRAILS, IN 'CHARCOAL' GREY FINISH, WITH CLEAR TEMPERED GLASS PANELS
  - 29 ALUMINIUM RAILING AND GUARDRAILS, IN 'CHARCOAL' GREY FINISH, WITH DECORATIVE PERFORATED METAL INFILL PANELS, IN 'CHARCOAL' GREY TONES
  - 30 PRIVACY SCREEN, ALUMINIUM FRAME WITH FROSTED TEMPERED GLASS PANELS
  - 31 ALUMINIUM RAILING AND GUARDRAILS WITH PICKETS, IN 'CHARCOAL' GREY
  - 32 BALCONIES WITH VINYL SIDING, IN LIGHT GREY
  - 33 COURTYARD ELEVATED WALKWAYS WITH PAVER WALKING SURFACE, IN LIGHT GREY
  - 34 EXTERIOR METAL STAIRS, IN 'REGENT' GREY FINISH, WITH CLEAR TEMPERED GLASS INFILL PANELS
  - 35 CONCRETE PATIO AND STAIRS, WITH ALUMINIUM RAILING AND GUARDRAILS, IN 'CHARCOAL' GREY FINISH, WITH DECORATIVE PERFORATED METAL INFILL PANELS, IN 'CHARCOAL' GREY TONES
  - 36 PRIVACY SCREEN, ALUMINIUM FRAME WITH DECORATIVE PERFORATED METAL INFILL PANELS, IN 'CHARCOAL' GREY TONES
  - 37 MECHANICAL SCREEN LOUVERS, METAL FRAME, IN 'BLACK'
  - 38 CAST-IN-PLACE CONCRETE WALL, HORIZONTAL CEDAR LINER FINISHED, PAINT SEALED IN 'CHARCOAL' GREY
  - 39 GARAGE CH DOOR, OPEN PICKET STYLE, IN 'BLACK'
  - 40 METAL PANEL SIDING IN 'SLATE' GREY
- \* PRE-FINISHED METAL FLASHING TO COLOUR MATCH MATERIALS  
ALUMINIUM FLASHING, IN 'REGENT' GREY, WESTFORM METALS  
ALUMINIUM FLASHING, IN 'SLATE' GREY, WESTFORM METALS  
ALUMINIUM FLASHING, IN 'CHARCOAL' GREY, WESTFORM METALS



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DP1256  
2023-MAR-16



1 Rental Building - North Elevation  
Scale: 1/8" = 1'-0"



2 Rental Building - South Elevation  
Scale: 1/8" = 1'-0"

**GENERAL NOTES**

1. ALL WORK TO CONFORM TO THE BCBC 2018 BUILDING CODE.
2. ALL DRAWINGS TO BE READ IN CONJUNCTION WITH EACH OTHER.
3. ALL EXISTING AND NEW DATUMS ARE GEODETIC AND SHOWN IN METERS. REFER TO SITE SURVEY AND CIVIL PACKAGES.
4. CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONFIRM SAME ON SITE. ARCHITECT TO BE CONTACTED REGARDING DISCREPANCIES.
5. PROVIDE GUARDRAIL AT RETAINING WALLS OVER 2'-0" IN HEIGHT.
6. ALL ILLUSTRATED SIGNAGE IS PLACEHOLDER. SIGNAGE WILL BE SUBMITTED THROUGH A FUTURE SIGN PERMIT APPLICATION.

**MATERIAL PALETTE**

- 1 LOW SLOPE MEMBRANE ROOF, IN DARK GREY TONES
- 2 FIBRE-CEMENT PANEL FASCIA, SMOOTH TEXTURE, IN 'IRON' GREY, WITH ALUMINUM CAP FLASHING, IN CHARCOAL GREY
- 3 WOOD-LOOK METAL SOFFIT, SMOOTH 4" V-GROOVE VENTED SOFFIT, WOOD GRAIN FINISH, IN 'FIR'
- 4 SOFFIT, VENTED ALUMINUM SOFFIT, IN 'RUSTIC GRANITE' (DARK GREY TONES)
- 5 SOFFIT, VENTED FIBRE-CEMENT PANEL SOFFIT, SMOOTH TEXTURE, IN 'PEARL' GREY
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- 9 WOOD-LOOK METAL SIDING, SMOOTH 4" V-GROOVE PANEL SIDING, WOOD GRAIN FINISH, IN 'DARK CHERRY'
- 10 WOOD-LOOK METAL SIDING, SMOOTH 4" V-GROOVE PANEL SIDING, IN 'SLATE' GREY
- 11 BRICK SIDING, IN 'HIGHLAND TUMBER GREY WITH LIGHT GREY MORTAR'
- 12 CAST-IN-PLACE CONCRETE WALL AND COLUMNS, SACK FINISHED, PAINT SEALED, IN 'LIGHT' GREY TONES
- 13 CAST-IN-PLACE CONCRETE WALL, SACK FINISHED, PAINT SEALED IN 'CHARCOAL' GREY
- 14 INSULATED CONCRETE PANEL, 'DARK' GREY TONES
- 15 ALUMINUM STORE FRONT GLAZING, IN 'RESENT' GREY
- 16 ALUMINUM CURTAIN WALL GLAZING, IN 'RESENT' GREY
- 17 SPANDREL PANEL
- 18 ALUMINUM STORE FRONT DOORS, IN 'RESENT' GREY, WITH CLEAR TEMPERED GLASS INFILL PANELS
- 19 ALUMINUM STORE FRONT DOORS, IN 'CHARCOAL' GREY, WITH CLEAR TEMPERED GLASS INFILL PANELS
- 20 VINYL WINDOWS, IN 'RESENT' GREY
- 21 VINYL SLIDING GLASS DOORS, IN 'RESENT' GREY
- 22 VINYL SLIDING GLASS DOORS, IN 'CHARCOAL' GREY
- 23 VINYL SWING GLASS DOOR, IN 'RESENT' GREY
- 24 VINYL SWING DOOR, IN 'CHARCOAL' GREY, WITH TRANSBOM GLAZING ABOVE (ENTRY @ WALKWAY, T&C)
- 25 STEEL DOOR, IN 'CHARCOAL' GREY
- 26 STEEL DOOR, IN 'RESENT' GREY

- 27 GUARDRAIL HEIGHT PARAPET WALLS, WITH 1 FIBRE-CEMENT PANEL SIDING, IN 'IRON' GREY
  - 28 ALUMINUM RAILING AND GUARDRAILS, IN 'RESENT' GREY FINISH, WITH CLEAR TEMPERED GLASS PANELS
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  - 41 METAL PANEL SIDING IN 'SLATE' GREY
- \* PRE-FINISHED METAL FLASHING TO COLOUR MATCH MATERIALS  
ALUMINUM FLASHING, IN 'RESENT' GREY, WESTFORM METALS  
ALUMINUM FLASHING, IN 'SLATE' GREY, WESTFORM METALS  
ALUMINUM FLASHING, IN 'CHARCOAL' GREY, WESTFORM METALS



RECEIVED  
DP1256  
2023-MAR-16

Development Permit No. DP001256 Schedule D  
 77 Chapel Street  
**LANDSCAPE PLANS AND DETAILS**

Westmark Construction Ltd  
**77 Chapel**  
 Nanaimo, British Columbia

Sheet No.	Sheet Title
L0.00	Cover
L0.01	General Information
L0.02	Stormwater Management
L1.01	Landscape Materials
L1.02	Landscape Materials
L1.03	Landscape Materials - Roof
L2.01	Landscape Grading & Drainage
L2.02	Landscape Grading & Drainage
L2.03	Landscape Elevations
L3.01	Planting Plan
L3.02	Planting Plan

**KEY PLAN**



rev no	description	date
4	DP Resubmission	2023-02-23
3	DP Resubmission	2023-01-26
2	DP Resubmission	2022-11-08
1	DP	11/19/2021

**Murdoch de Greeff** INC  
 Landscape Planning & Design  
 200-554 Columbia Road Nanaimo, BC V9Z 1K7 Phone: 250-493-8961 Fax: 250-493-8962

**Professional Engineer**  
 Scott Murdoch  
 341  
 21254 167 St  
 2023-02-23

client  
**Westmark Construction Ltd.**  
 #1-2535 McCullough Road  
 Nanaimo, BC

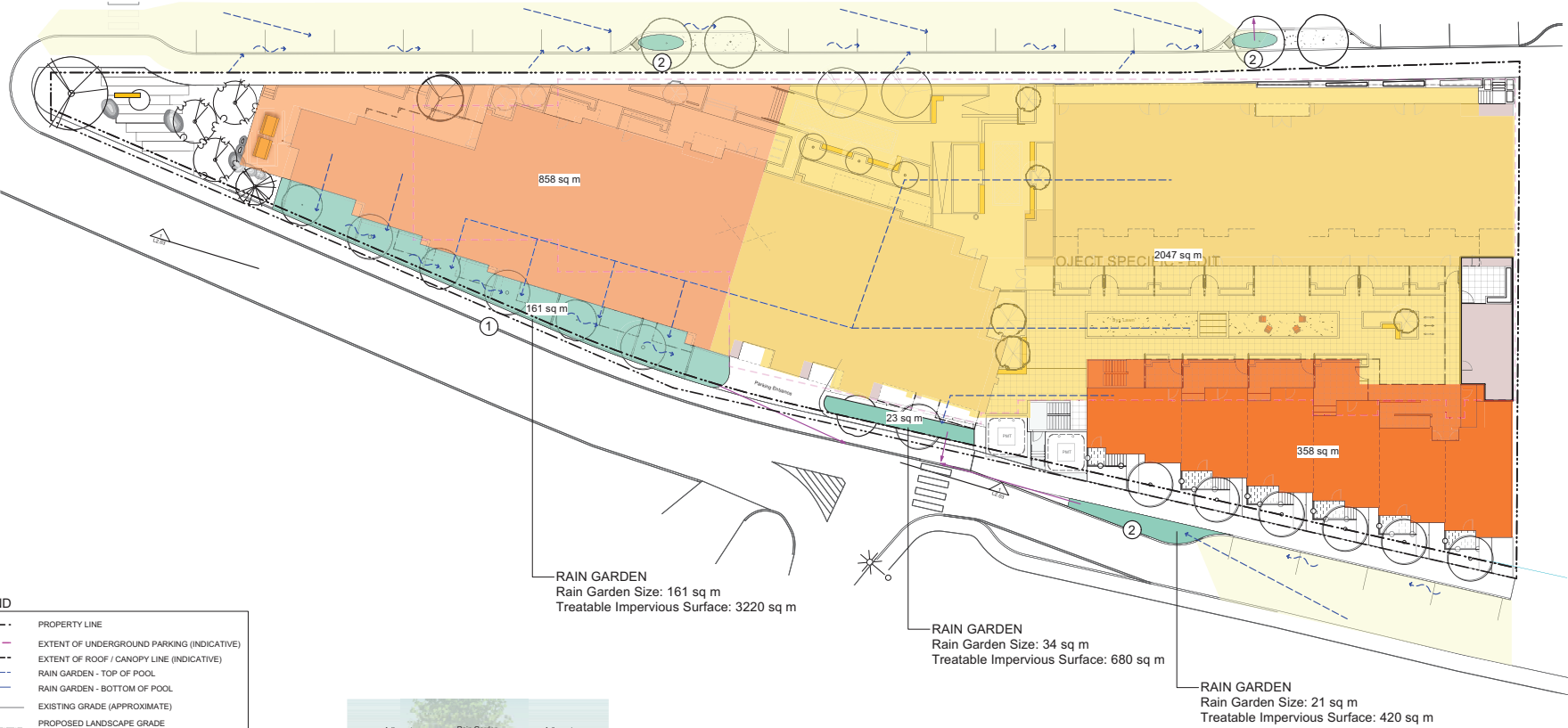
project  
 77 Chapel  
 77 Chapel  
 Nanaimo, BC

sheet title  
**Cover**

project no.	121.34
scale	1:200 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
	<b>L0.00</b>







**LEGEND**

- PROPERTY LINE
- EXTENT OF UNDERGROUND PARKING (INDICATIVE)
- EXTENT OF ROOF / CANOPY LINE (INDICATIVE)
- RAIN GARDEN - TOP OF POOL
- RAIN GARDEN - BOTTOM OF POOL
- EXISTING GRADE (APPROXIMATE)
- PROPOSED LANDSCAPE GRADE
- TP TOP OF POOL
- BP BOTTOM OF POOL
- DIRECTION OF FLOW
- RAIN GARDEN ON GRADE

**IMPERVIOUS AREAS**

- ROOF DRAINS TO RAIN GARDEN
- ROAD / HARDSCAPE DRAINS TO RAIN GARDEN

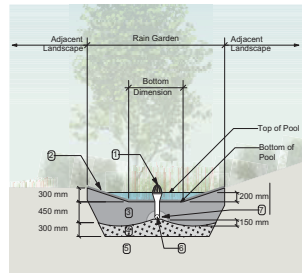
**RAIN WATER MANAGEMENT NOTES**

Water collected from road areas, building roofs, flow to the rain gardens located throughout the site.

Rain gardens are integrated building landscapes and landscape bulges within streetscape areas and are designed to capture, slow flows, and treat runoff from roadways.

Rain gardens will be designed with underdrains and a high-capacity overflow drain that will be connected to the onsite piped drainage system.

The rain gardens are sized such that the bottom of the rain garden is 5% of the impervious area.



**RAIN GARDEN MATERIALS**

1. Overflow drain, 200 mm domed grate + adapter
2. Composted mulch, 50-70 mm depth
3. Bio-retention growing medium, 450 mm depth
4. Scarified/tilled subgrade, 300 mm depth
5. Existing subgrade/native material
6. 100 mm diameter (min) perforated pipe
7. 25 mm diameter drain rock, 100 mm depth

**1 Typical Rain Garden**  
Scale: 1:50



1. Terraced rain gardens along building.



2. Street surface runoff collection into rain garden.

4	DP Resubmission	2023-02-23
3	DP Resubmission	2023-01-26
2	DP Resubmission	2022-11-08
1	DP	11/19/2021
rev no	description	date

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Fax: 250-692-8962

**Scott Murdoch**  
REGISTERED MEMBER  
341  
21/23/24/25  
2023-02-23

client  
**Westmark Construction Ltd.**  
#1-2535 McCullough Road  
Nanaimo, BC

project  
77 Chapel  
77 Chapel  
Nanaimo, BC

sheet title  
**Stormwater Management**

project no.	121.34
scale	1:200 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.

**L0.02**





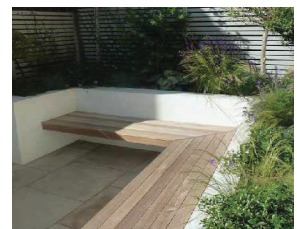
- LINE TYPE LEGEND**
- Property line
  - - - Right of Way
  - - - Extent of Roof, above
  - - - Extent of Parkade, below
  - - - Rain garden - TOP OF POOL
  - - - Rain garden - BOTTOM OF POOL
  - - - Proposed Contour Line, 0.5m interval
  - - - Existing Contour Line, 0.5m interval

- MATERIALS LEGEND**
- Cast in Place Concrete  
Light broom finish, sealed control joints.
  - Cast in Place Concrete with Decorative Sawcuts  
Light broom finish, sealed control joints.
  - Unit Paving - On Slab  
Architect Premium Slab, 488mm x 488mm x 20mm, Dover Grey.  
Stacked Bond. Supplier: Abbotsford Concrete.
  - Aggregate Surfacing
  - Rain Garden Area
  - Planting Area
  - Synthetic Lawn (Inner Courtyard)
  - Grass Area  
City Green Soil Cells or approved equivalent.
  - Metal Guardrail  
Ruler to Architectural Scale
  - Privacy Screen  
Ruler to Architectural Scale
  - Handrail
  - Concrete Retaining Wall
  - Trees

- SITE FURNISHINGS LEGEND**
- Bicycle Rack, 6 Bicycle capacity  
Duro Hoop Rack, powder coated black.
  - Lounge Chair
  - Bench (Wood)
  - Picnic Table
  - Metal Planter
  - Wood Vegetable Garden Box
  - Landscape Boulder (To be sourced on site)
  - Existing Hydro Pole
  - Garbage Receptacle



Synthetic Community Lawn



Wood Bench Seating Embedded Along Concrete Planters

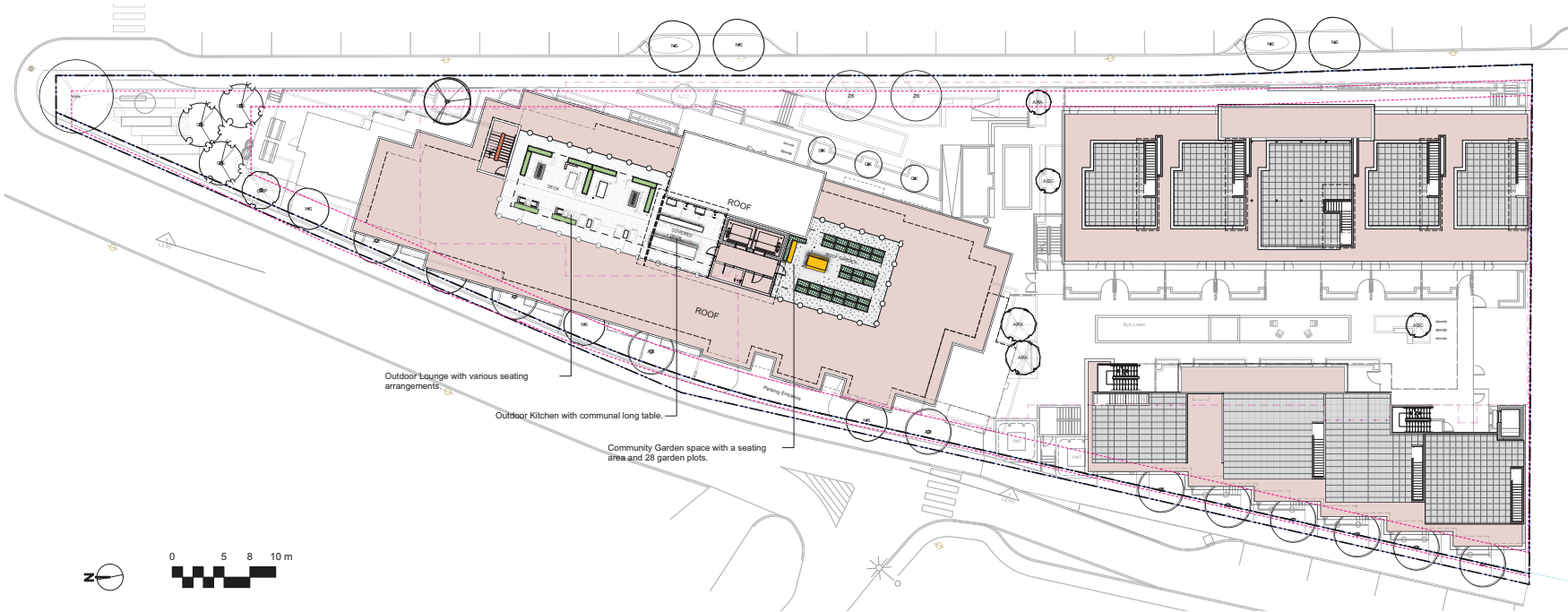
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3	DP Resubmission	2023-01-26		
2	DP Resubmission	2022-11-08		
1	DP	11/19/2021		
rev no	description	date		

**Murdoch de Greeff**  
Landscape Planning & Design  
200 - 554 Columbia Street, Nanaimo BC V9T 1G7  
Phone: 250-430-9961 Fax: 250-430-9962

**Scott Murdoch**  
REGISTERED PROFESSIONAL ENGINEER  
341  
2023-02-23

client	Westmark Construction Ltd. #1-2535 McCullough Road Nanaimo, BC
project	77 Chapel 77 Chapel Nanaimo, BC
sheet title	<b>Landscape Materials</b>

project no.	121.34
scale	1:100 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
	<b>L1.02</b>



Outdoor Lounge with various seating arrangements

Outdoor Kitchen with communal long table.

Community Garden space with a seating area and 28 garden plots.

**LINE TYPE LEGEND**

- Property line
- Right of Way
- Extent of Roof, above
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Proposed Contour Line, 0.5m interval
- Existing Contour Line, 0.5m interval

**MATERIALS LEGEND**

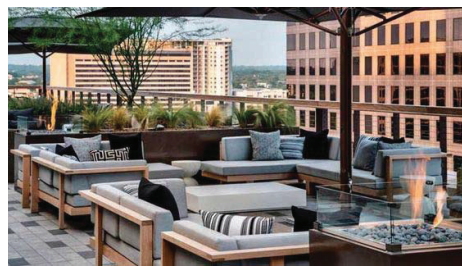
- Cast in Place Concrete  
Light broom finish, locked control joints.
- Cast in Place Concrete with Decorative Sawcuts  
Light broom finish, locked control joints.
- Unit Paving - On Slab  
Anisotropic Porcelain Slab, 498mm x 498mm x 20mm, Dover Grey.  
Standard Bed: Supplier: Adhesedbed Concrete.
- Aggregate Surfacing
- Rain Garden Area
- Planting Area
- Synthetic Lawn (Inner Courtyard)
- Grass Area
- Soil Cells  
City Green Soil Cells or approved equivalent.
- Metal Guardrail  
Refer to Architecture
- Privacy Screen  
Refer to Architecture
- Handrail
- Concrete Retaining Wall
- Trees

**SITE FURNISHINGS LEGEND**

- Bicycle Rack, 6 Bicycle capacity  
Dark hoop rack, powder coated black.
- Lounge Chair
- Bench (Wood)
- Picnic Table
- Metal Planter
- Wood Vegetable Garden Box
- Landscape Boulder (To be sourced on site)
- Existing Hydro Pole
- Garbage Receptacle



Garden Space with Raised Vegetable Planters



Rooftop Patio Gathering Space with Seating

rev no	description	date
4	DP Resubmission	2023-02-23
3	DP Resubmission	2023-01-26
2	DP Resubmission	2022-11-08
1	DP	11/19/2021

**Murdoch de Greeff** INC  
Landscape Planning & Design  
200 - 554 Columbia Road  
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Fax: 250-610-9962



client  
**Westmark Construction Ltd.**  
#1-2535 McCullough Road  
Nanaimo, BC

project  
77 Chapel  
77 Chapel  
Nanaimo, BC

sheet title  
**Landscape Materials - Roof**

project no.	121.34
scale	1:200 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.

**L1.03**



**LEGEND**

- Property line
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Proposed Contour Line, 0.2m interval, typ.
- Existing Contour Line
- Existing Landscape Grade
- Civil Grade, provided for reference only
- Architectural grade, provided for reference only
- Proposed Landscape Grade
  - TW Top of Wall
  - BW Bottom of Wall
  - TCC Top of Curb
  - BC Bottom of Curb
  - TP Top of Pool
  - BP Bottom of Pool
  - TS Top of Stairs
  - BS Bottom of Stairs
  - HP High Point
  - LP Low Point
  - TB Top of Bench

LANDSCAPE INFRASTRUCTURE		
	Swale	2 L4.06
	Flow Dissipator at RWL/Scupper	2 L4.03
	Rain Garden Overflow Drain	3 L4.07
	Landscape Area Drain 8" Square drain with ductile iron grate.	N/A
	Clean Out	3 L4.04
	Perforated Underdrain	5 L4.06
	Sched 40 PVC	N/A
	Trench Drain Aco K100 Trench Drain, Load Class 'A'	See Mech. Drgs
	Irrigation Point of Connection Proposed Irrigation Point of Connection. Provides water service and electrical service from irrigation controller to valves.	See Mech. and Elec. Drgs
	Irrigation Sleeve Schedule 40 PVC, dia. shall be min 3x main line diameter, or 2x lateral line diameter. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.	N/A
DRAINS BY OTHERS		
	Mechanical Drains (For reference only)	See Mech. Drgs

4 Landscape Plan  
Scale: 1:100

1 Landscape Plan  
Scale: 1:100

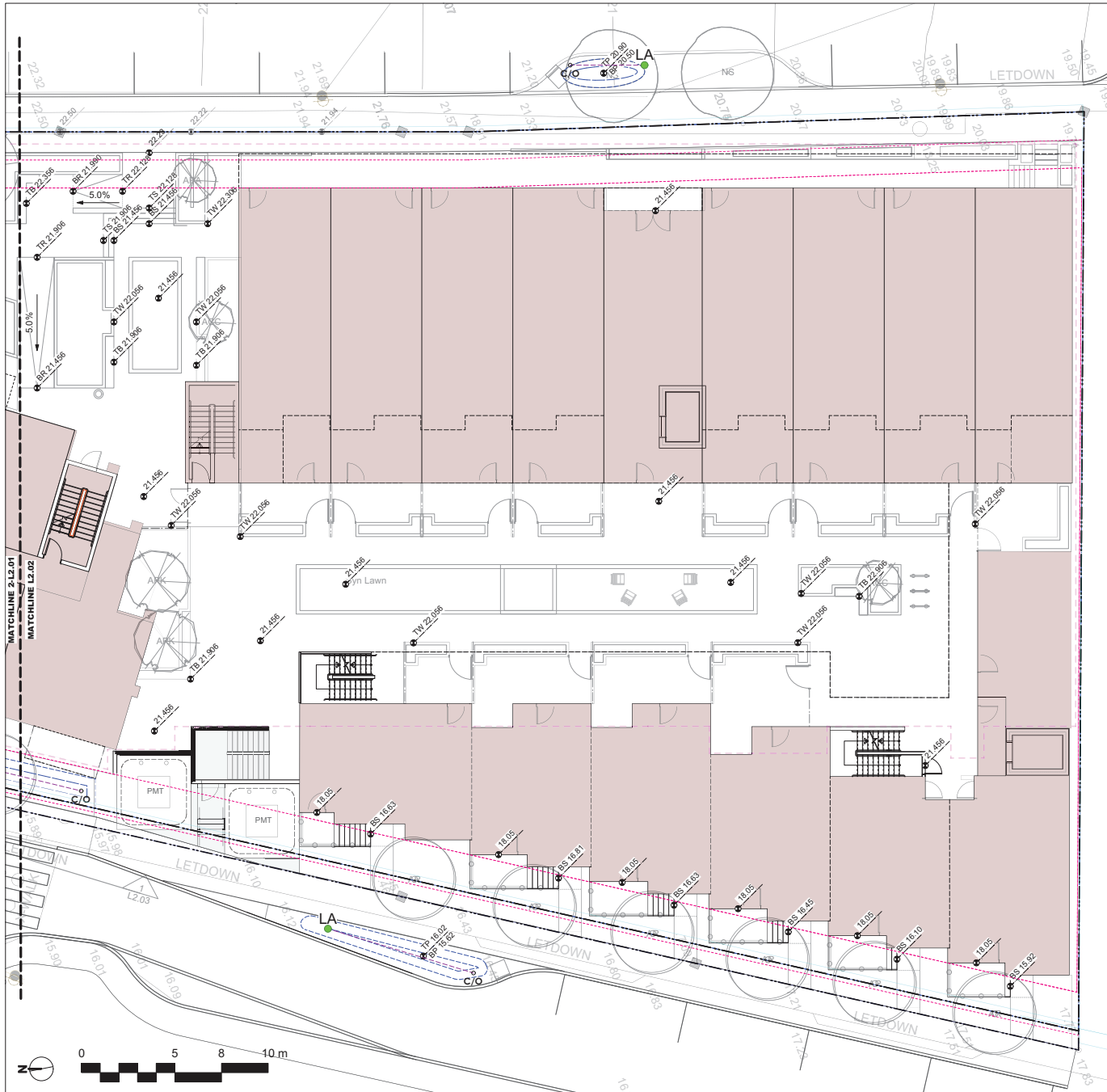
4	DP Resubmission	2023-02-23	
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2	DP Resubmission	2022-11-08	
1	DP	11/19/2021	
rev	no	description	date

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MEMBER  
Scott Murdoch  
341  
2023-02-23

client	Westmark Construction Ltd. #1-2535 McCullough Road Nanaimo, BC
project	77 Chapel 77 Chapel Nanaimo, BC
sheet title	Landscape Grading & Drainage
project no.	121.34
scale	1:100 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
	<b>L2.01</b>

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DP1256  
2023-FEB-23  
Current Planning



**LEGEND**

- Property line
- Extent of Parkade, below
- Rain garden - TOP OF POOL
- Rain garden - BOTTOM OF POOL
- Proposed Contour Line, 0.2m interval, typ.
- Existing Contour Line
- Existing Landscape Grade
- Civil Grade, provided for reference only
- Architectural grade, provided for reference only
- Proposed Landscape Grade
  - TW Top of Wall
  - EW Bottom of Wall
  - TCC Top of Curb
  - BC Bottom of Curb
  - TP Top of Pool
  - BP Bottom of Pool
  - TS Top of Stairs
  - BS Bottom of Stairs
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  - LP Low Point
  - TB Top of Bench

LANDSCAPE INFRASTRUCTURE		
	Swale	2 L4.06
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	Rain Garden Overflow Drain	3 L4.07
	Landscape Area Drain 8" Square drain with ductile iron grate.	N/A
	Clean Out	3 L4.04
	Perforated Underdrain	5 L4.06
	Sched 40 PVC	N/A
	Trench Drain Aco K100 Trench Drain, Load Class 'A'	See Mtr. Drgs
	Irrigation Point of Connection Proposed Irrigation Point of Connection. Provide water service and electrical service from irrigation controller to valves.	See Mech and Elec. Drgs
	Irrigation Sleeve Schedule 40 PVC, dia. shall be min 3x main line diameter, or 2x lateral line diameter. Install irrigation wiring in separate 2" electrical conduit. Extend sleeve 300 mm past edge of hard surface or walls.	N/A
DRAINS BY OTHERS		
	Mechanical Drains (For reference only)	See Mech Drgs

rev	no	description	date
4	DP Resubmission	2023-02-23	
3	DP Resubmission	2023-01-26	
2	DP Resubmission	2022-11-08	
1	DP	11/19/2021	

**Murdoch de Greeff INC**  
Landscape Planning & Design

341  
Scott Murdoch  
2023-02-23

client  
**Westmark Construction Ltd.**  
#1-2535 McCullough Road  
Nanaimo, BC

project  
77 Chapel  
77 Chapel  
Nanaimo, BC

sheet title  
**Landscape Grading & Drainage**

project no.	121.34
scale	1:100 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.
	<b>L2.02</b>





3 Landscape Plan  
Scale: 1:100



1 Landscape Plan  
Scale: 1:100



Sym	Qty	Botanical Name	Common Name	Sched. Size / Plant Spacing
<b>TREES:</b>				
ACC	5	Acer drincatum	Vine Maple	2.4 m ht, 1.5 width
APA	1	Acer palmatum	Japanese Maple	4cm cal. b&b, multi-stem, 2.4m ht, multi-clim (3 trunk)
APK	2	Acer palmatum 'Katsura'	Japanese Maple	4cm cal. b&b
AR	10	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	6.0m cal. b&b
CJ	1	Cercidiphyllum japonicum	Katsura Tree	5.0m cal. b&b
CNP	1	Chamaecyparis nootkatensis 'Pendula'	Nootka False Cypress	2.0 m ht
CK	3	Cornus kousa 'Milky Way'	Milky Way Kousa Dogwood	multi-stem, 1.5 m ht, b&b
MdSo	1	Magnolia x soulangeana	Saucer Magnolia	#1 pot
NS	8	Nyssa sylvatica 'Widder'	Tupelo	5.0m cal. b&b
OG	3	Quercus garryana	Garry Oak	4.0m cal. b&b
ZS	2	Zelkova serrata	Japanese Zelkova	6.0m cal. b&b
<b>SHRUBS/PERENNIALS/VINES:</b>				
Ace	60	Acer rosea-anglica	New England Aster	Sp3
AF	13	Athyrium filix-femina var. cyclosorum	Northwestern Lady Fern	#1 pot
Brg	22	Brachyglottis greyi	Daisy Bush	Sp3, 30cm o.c.
Brs	17	Brachyglottis 'sunshine'	Brachyglottis 'sunshine'	#1 pot
Csa	22	Cistus salvifolius	Sage Leaf Rock Rose	#1 pot
Ep	82	Echinacea purpurea	Purple Coneflower	#1 pot
Epr	123	Epidendrum nigrum	Bananasert	#1 pot
End	41	Escallonia 'Newport Dwarf'	Newport Dwarf Escallonia	#1 pot
Hb	60	Hebe topiaria	Topiary's hebe	#1 pot
Lav	10	Lavandula x intermedia 'White Spark'	White Spark Lavander	#1 pot
Lim	30	Liriodie muscari	Lily turf	#1 pot
Lp	63	Lonicera pileata	Pileat Honeysuckle	#2 pot
Ma	26	Mahonia aquifolium	Oregon Grape	#2 pot
Mar	43	Mahonia repens	Prostrate Oregon Grape	#1 pot
Maa	13	Miscanthus sinensis 'Adagio'	Adagio Maiden Grass	#1 pot
Nep	73	Nepeta x fasseni	Catmint	Sp3
Pat	43	Perovskia atriplicifolia	Russian Sage	#1 pot
PeLS	31	Perovskia 'Little Spire'	Dwarf Russian Sage	Sp3
Phn	60	Polystichum munium	Sword Fern	#1 pot
Rha	2	Rhododendron macrophyllum	Pacific Rhododendron	#3 pot
Ris	11	Ribes sanguinum	Red Flowering Currant	#3 pot
Rrs	18	Rosa rugosa 'Sensation'	Snow Flamingo Rose	#2 pot
Rf	65	Rutbeckia fulgida	Black-Eyed Susan	#1 pot
Tbr	72	Taxus baccata 'Repandens'	English Weeping Yew	#1 pot
Vo	69	Vaccinium ovatum 'Thunderbird'	Evergreen Huckleberry	#3 pot
<b>RAIN GARDEN PLANTS:</b>				
Co	387	Carex obovata	Slough Sedge	#1 pot
Jog	354	Juncus Carreri's Grey'	Salt Common Rush	Sp3
Lc	87	Lobelia cardinalis	Cardinal Flower	#2 pot



1. Raingardens with mixed shrub and perennial plantings and trees.



2. Significant flowering tree to be the focal point and celebration of this corner.



3. Naturally planted landscape with embedded boulders.

4	DP Resubmission	2023-02-23
3	DP Resubmission	2023-01-26
2	DP Resubmission	2022-11-08
1	DP	11/19/2021
rev no	description	date

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client  
**Westmark Construction Ltd.**  
#1-2535 McCullough Road  
Nanaimo, BC

project  
77 Chapel  
77 Chapel  
Nanaimo, BC

sheet title  
**Planting Plan**

project no.	121.34
scale	1:100 @ 24"x36"
drawn by	MDI
checked by	SM
revision no.	sheet no.

**L3.01**



