



**DEVELOPMENT PERMIT NO. DP001255**

**PACIFICGOLD HOMES LTD.**  
Name of Owner(s) of Land (Permittee)

**1985 MOUNTAIN VISTA DRIVE**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 1, SECTION 18, RANGES 6 AND 7, MOUNTAIN DISTRICT, PLAN EPP112354**

**PID No. 032-161-735**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map**  
**Schedule B Site and Parking Plans**  
**Schedule C Building Elevations and Details**  
**Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit, nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

### TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.10.2 Fence Height* – to increase the maximum permitted combined height of a retaining wall and fence within the west side yard setback from 2.4m up to 3.1m as shown on Schedule B.
2. *Section 7.6.1 Size of Buildings* – to increase the maximum permitted height of a principal building with a sloped roof for Blocks 5 through 12 from 9.0m up to 9.5m as shown on Schedule B & C.

### CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site and Parking Plans, prepared by Victoria Design Group, dated 2023-DEC-23 & 2023-APR-14, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Victoria Design Group, dated 2023-APR-14 & 2024-JAN-04, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Calid Services Ltd., dated 2023-MAR-08, as shown on Schedule D.

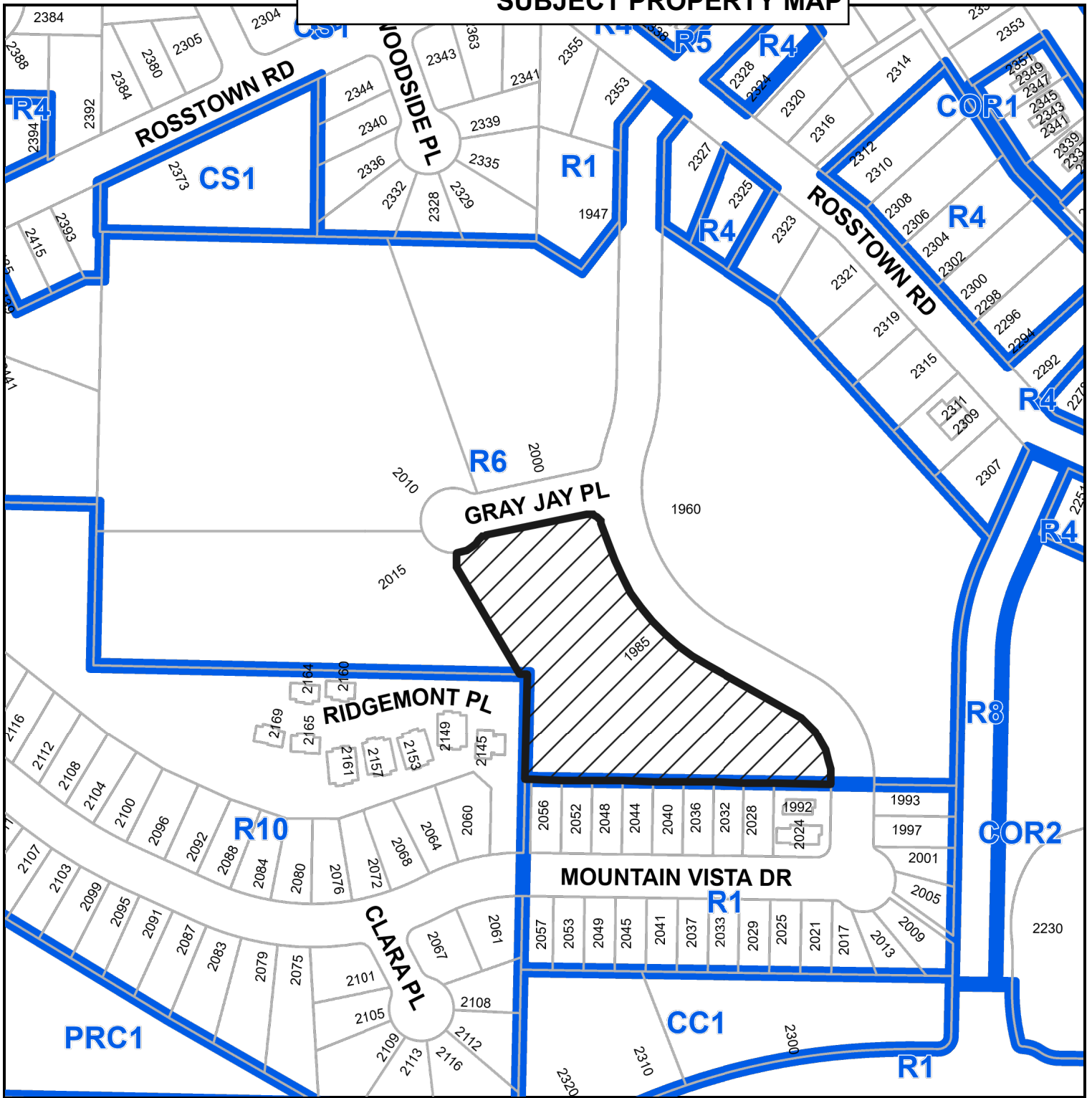
REVIEWED AND APPROVED ON


2024-May-06.  
Date

  
J. Holm, Director of Planning & Development  
**Planning & Development**  
Pursuant to Section 154 (1)(b) of the Community Charter

KM/bm  
Prospero attachment: DP001255

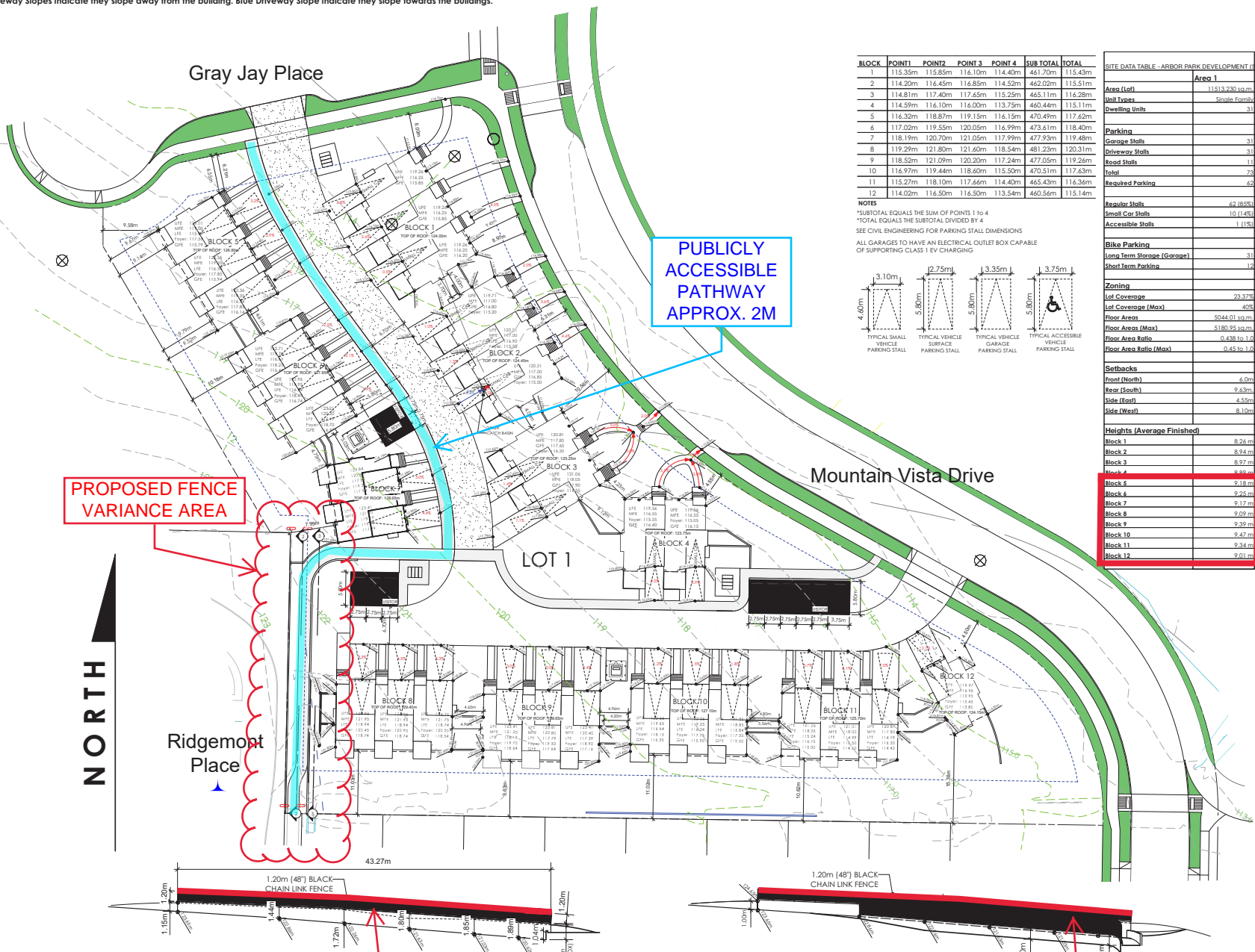
**SUBJECT PROPERTY MAP**



 1985 Mountain Vista Drive

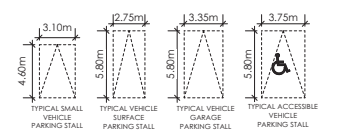
Development Permit No. DP001255 Schedule B  
 1985 Mountain Vista Drive  
**SITE AND PARKING PLANS**

1). All Required Parking is being counted within the driveways and garages of the building, all street parking is for visitors to the development.  
 2). Red Driveway Slopes indicate they slope away from the building. Blue Driveway Slope indicate they slope towards the buildings.



BLOCK	POINT1	POINT2	POINT 3	POINT 4	SUB TOTAL	TOTAL
1	115.35m	115.85m	116.10m	114.40m	461.70m	115.43m
2	114.20m	116.45m	116.85m	114.52m	462.02m	115.51m
3	114.81m	117.40m	117.65m	115.25m	465.11m	116.29m
4	114.59m	116.10m	116.00m	113.75m	460.44m	115.11m
5	116.32m	118.87m	119.15m	116.15m	470.49m	117.42m
6	117.02m	119.55m	120.05m	116.99m	473.61m	118.40m
7	118.19m	120.70m	121.05m	117.99m	477.93m	119.48m
8	119.29m	121.80m	121.60m	118.54m	481.23m	120.31m
9	118.52m	121.09m	120.20m	117.24m	477.05m	119.26m
10	116.97m	119.44m	118.60m	115.50m	470.51m	117.63m
11	115.27m	118.10m	117.66m	114.40m	465.43m	116.36m
12	114.02m	116.50m	116.50m	113.54m	460.56m	115.14m

NOTES  
 \*SUBTOTAL EQUALS THE SUM OF POINTS 1 to 4  
 \*TOTAL EQUALS THE SUBTOTAL DIVIDED BY 4  
 SEE CIVIL ENGINEERING FOR PARKING STALL DIMENSIONS  
 ALL GARAGES TO HAVE AN ELECTRICAL OUTLET BOX CAPABLE OF SUPPORTING CLASS 1 EV CHARGING



SITE DATA TABLE - ARBOR PARK DEVELOPMENT (S)	
Area 1	
Area (Lot)	11513.230 sq.m
Unit Types	Single Family
Dwelling Units	31
Parking	
Garage Stalls	31
Driveway Stalls	31
Road Stalls	11
Total	73
Required Parking	62
Regular Stalls	62 (82%)
Small Car Stalls	10 (14%)
Accessible Stalls	1 (1%)
Bike Parking	
Long Term Storage (Garage)	31
Short Term Parking	12
Zoning	
Lot Coverage	23.37%
Lot Coverage (Max)	40%
Floor Area	5044.01 sq.m
Floor Area (Max)	5180.95 sq.m
Floor Area Ratio	0.438 to 1.0
Floor Area Ratio (Max)	0.45 to 1.0
Setbacks	
Front (North)	4.0m
Rear (South)	9.65m
Side (East)	4.55m
Side (West)	8.10m
Heights (Average Finished)	
Block 1	8.26m
Block 2	8.24m
Block 3	8.97m
Block 4	8.88m
Block 5	9.18m
Block 6	9.25m
Block 7	9.17m
Block 8	9.09m
Block 9	9.39m
Block 10	9.47m
Block 11	9.34m
Block 12	9.01m



- 1 July 09, 2020 Issued for Review
- 2 July 08, 2021 Issued for Pre-DP Meeting
- 3 Aug 10, 2021 Issued for Review
- 4 Sep 22, 2021 Issued for Pre Submission Review
- 5 Oct 13, 2021 Issued for DP Submission
- 6 Jan 04, 2022 Street Reconfiguration
- 7 Feb 24, 2022 Revisions to DP Submission
- 8 Mar 04, 2022 Revisions to DP Submission
- 9 Jan 09, 2023 Revisions to DP Submission
- 10 Mar 07, 2023 Revisions to DP Submission
- 11 Mar 15, 2023 Revisions to DP Submission
- 12 Dec 21, 2023 Revisions to DP Submission

**HEIGHT VARIANCE TABLE**

Block	Height
Block 1	8.26m
Block 2	8.24m
Block 3	8.97m
Block 4	8.88m
Block 5	9.18m
Block 6	9.25m
Block 7	9.17m
Block 8	9.09m
Block 9	9.39m
Block 10	9.47m
Block 11	9.34m
Block 12	9.01m

vg | victoria design group  
 103 - 891 Athlree Avenue Victoria, B. C. V9B 0A6  
 P. 250.382.7374 F. 250.382.7364 www.victoriadesigngroup.ca

DATE: Dec 23, 2023 DRAWING #: 8009  
 DRAWN BY: M.D.K. REVIEWED BY: N.B.

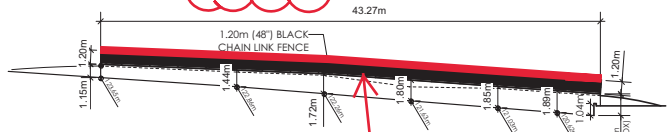
arbor PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1  
 Nanaimo B.C.  
**A001**

PROPOSED FENCE VARIANCE AREA

PUBLICLY ACCESSIBLE PATHWAY APPROX. 2M

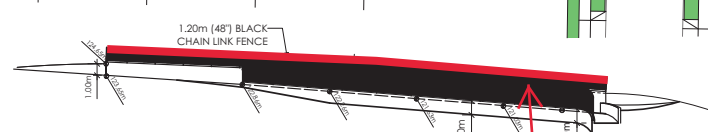
NORTH

2 Retaining Wall Elevation Scale: 1:200



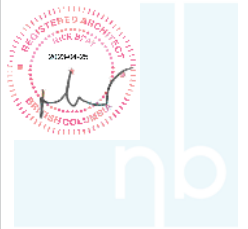
Proposed Fence Height Variance (up to 0.7m)

3 Retaining Wall Elevation Scale: 1:200

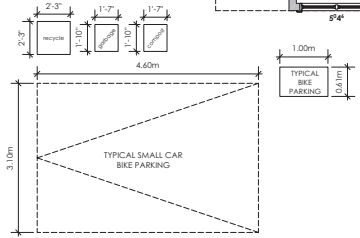
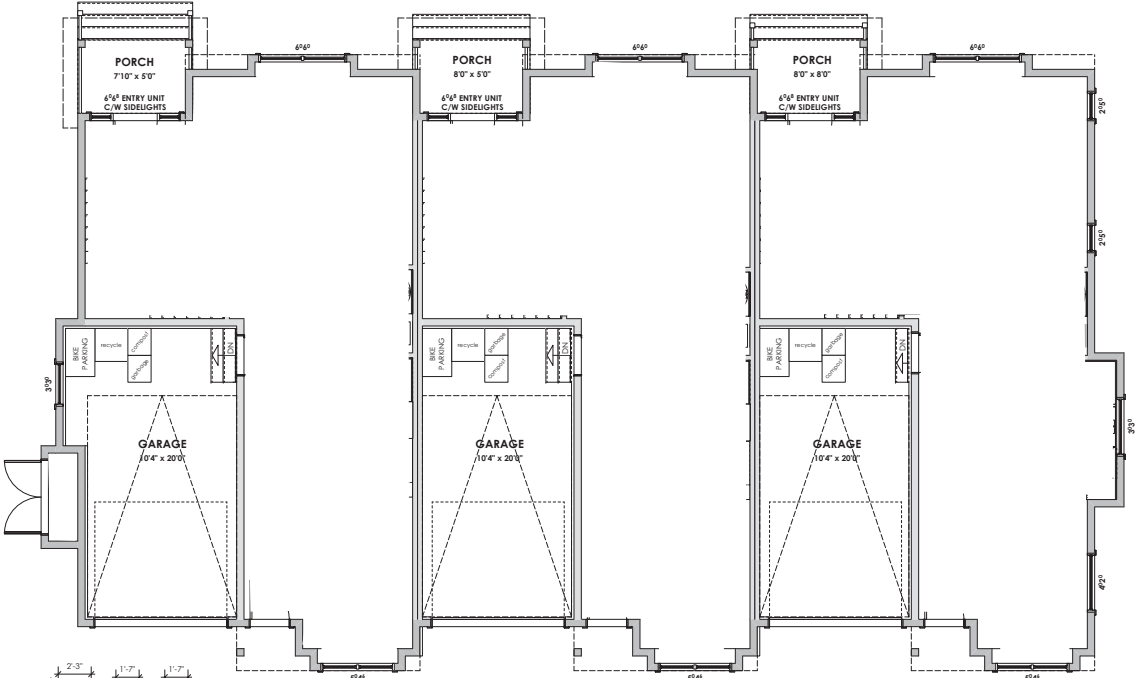


Proposed Fence Height Variance (up to 0.7m)

RECEIVED DP1255 2023-DEC-22



"BLOCK 1"



**1** Main Floor Plan  
Scale: 1/4" = 1'-0"

Unit 1: 420.58 sq.ft. [57.65 sq.m.]	Garage: 234.33 sq.ft. [21.77 sq.m.]
Unit 2: 425.08 sq.ft. [58.07 sq.m.]	Garage: 228.92 sq.ft. [21.27 sq.m.]
Unit 3: 632.75 sq.ft. [58.78 sq.m.]	Garage: 228.92 sq.ft. [21.27 sq.m.]
<b>Total: 1878.41 sq.ft. [174.51 sq.m.]</b>	<b>Total: 692.17 sq.ft. [64.30 sq.m.]</b>

SPRINKLER: 15.75 sq.ft. [1.46 sq.m.]  
ALL GARAGES TO HAVE AN ELECTRICAL OUTLET BOX CAPABLE OF SUPPORTING CLASS 1 EV CHARGING.  
ALL BICYCLE PARKING STALLS TO HAVE AN ELECTRICAL OUTLET CAPABLE OF BEING USED FOR CHARGING INSTALLED NEARBY

ISSUED/REVISED

NO	DATE	DESCRIPTION
1	July 9, 2020	Issued for Review
2	July 6, 2021	Issued for Pre-DP Application
3	Sep 22, 2021	Issued for Pre-Submission Review
4	Oct 13, 2021	Issued for DP Submission
5	Feb 24, 2022	Revisions to DP Submission
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7	Mar 07, 2023	Revisions to DP Submission
8	Mar 15, 2023	Revisions to DP Submission

General Contractor and/or Owner to verify and thoroughly review all aspects of this and any required consultants' plans, prior to commencement and setting out of all work. Any discrepancies are to be reported to Victoria Design Group or Nick Bray Architecture immediately. VDG is not liable for plan modifications or discrepancies not reported.

BCL and/or Contractor to verify placement and siting of all structures on the lot. VDG is not responsible for encroachments of any kind with regard to siting or placement of structures on lots.



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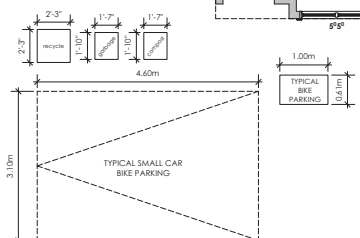
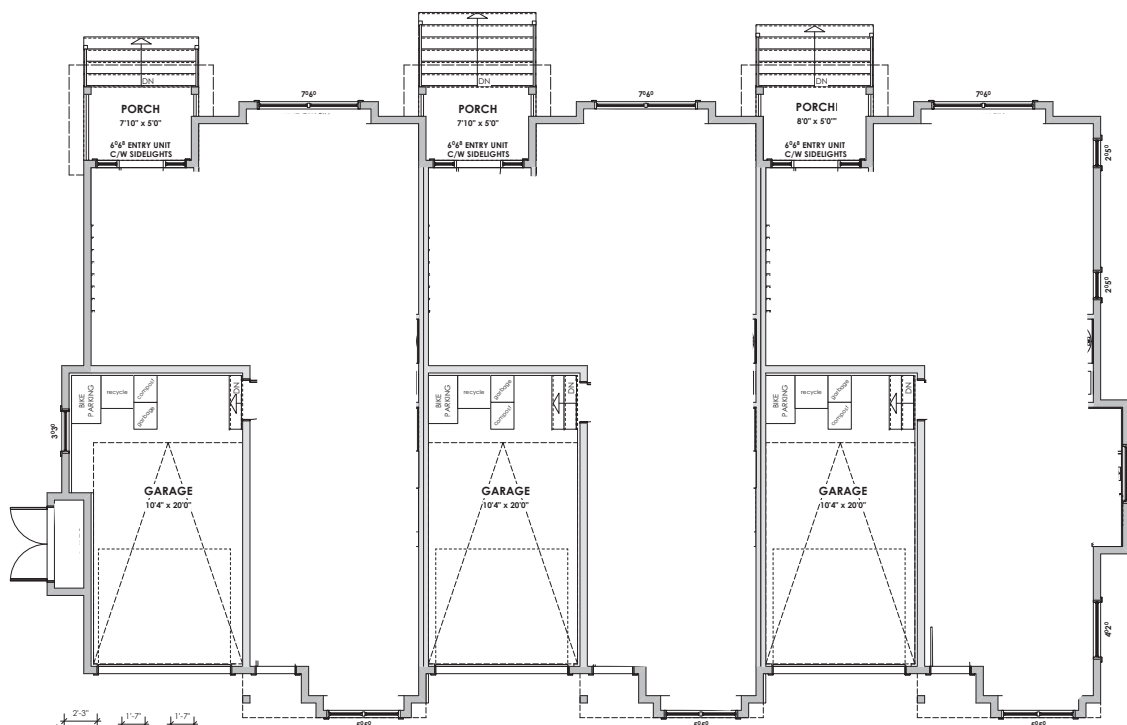
DATE	Apr 14, 2023	DWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

**arbor**  
PARK  
Development Permit Drawings For:  
Proposed Townhouse Development  
Pacific Gold Homes  
2229 Boxwood Road  
Lot 1, Block 1 (TYPE A2)  
Nanaimo B.C.

RECEIVED  
DP1255  
2023-APR-27

SHEET # **1-A101**

"BLOCK 2"



1 Main Floor Plan  
2-A102 Scale: 1/4" = 1'-0"

Unit 1: 422.58 sq.ft. [57.84 sq.m.] Garage: 234.33 sq.ft. [21.77 sq.m.]  
 Unit 2: 427.08 sq.ft. [58.24 sq.m.] Garage: 228.92 sq.ft. [21.27 sq.m.]  
 Unit 3: 634.75 sq.ft. [58.97 sq.m.] Garage: 228.92 sq.ft. [21.27 sq.m.]  
 Total: 1884.41 sq.ft. [175.07 sq.m.] Total: 692.17 sq.ft. [64.30 sq.m.]

SPRINKLER: 15.75 sq.ft. [1.46 sq.m.]  
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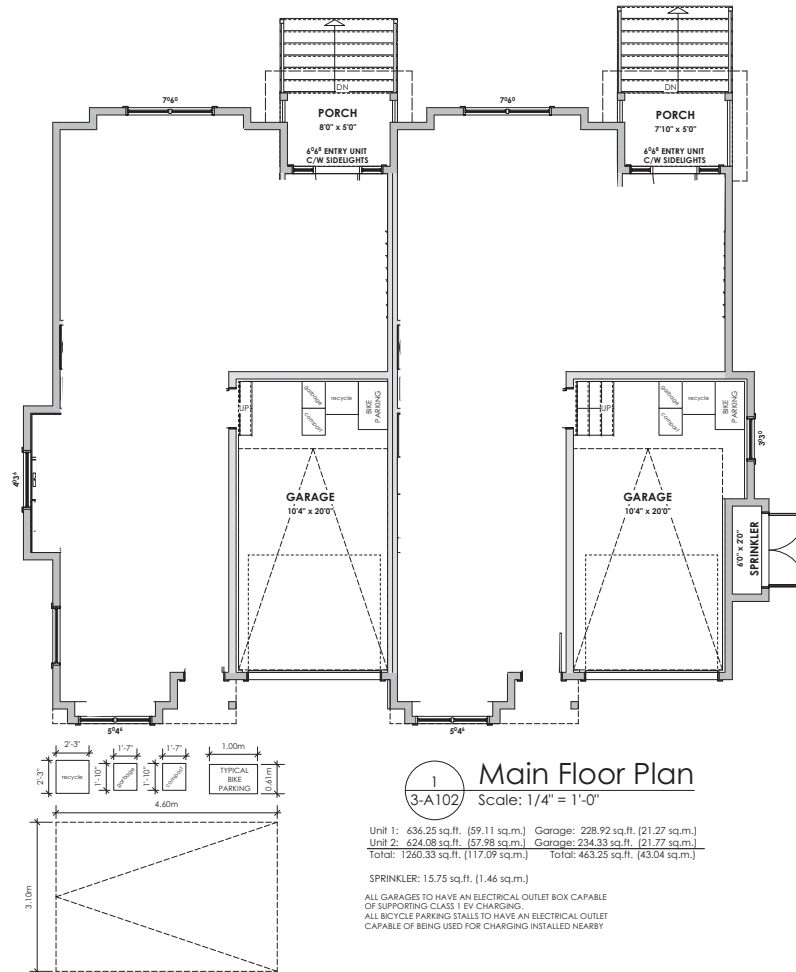
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**arbor**  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 2 (TYPE A1)  
 Nanaimo B.C.

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 2023-APR-27  
 Current Planning

SHEET # **2-A102**

"BLOCK 3"



NO	DATE	DESCRIPTION
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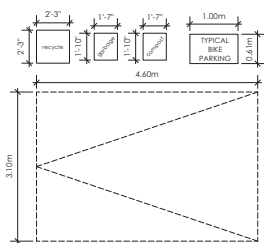
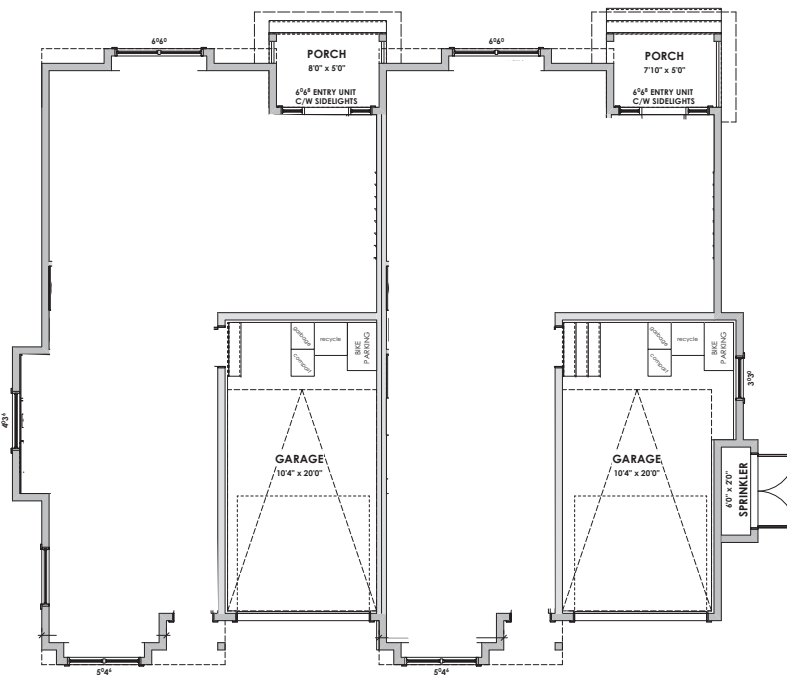
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 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 3 (TYPE A3)  
 Nanaimo B.C.

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 2023-APR-27

SHEET #  
**3-A102**

"BLOCK 4"



1 Main Floor Plan  
4-A102 Scale: 1/4" = 1'-0"

Unit 1: 632.75 sq.ft. (58.78 sq.m.) Garage: 228.92 sq.ft. (21.27 sq.m.)  
Unit 2: 620.58 sq.ft. (57.65 sq.m.) Garage: 234.33 sq.ft. (21.77 sq.m.)  
Total: 1253.33 sq.ft. (116.44 sq.m.) Total: 463.25 sq.ft. (43.04 sq.m.)

SPRINKLER: 15.75 sq.ft. (1.46 sq.m.)

ALL GARAGES TO HAVE AN ELECTRICAL OUTLET BOX CAPABLE OF SUPPORTING CLASS 1 EV CHARGING.  
ALL BICYCLE PARKING STALLS TO HAVE AN ELECTRICAL OUTLET CAPABLE OF BEING USED FOR CHARGING INSTALLED NEARBY



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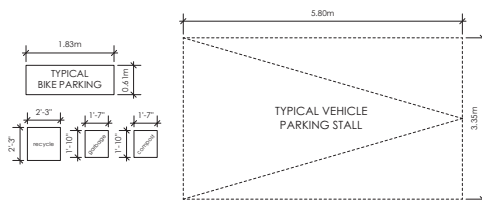
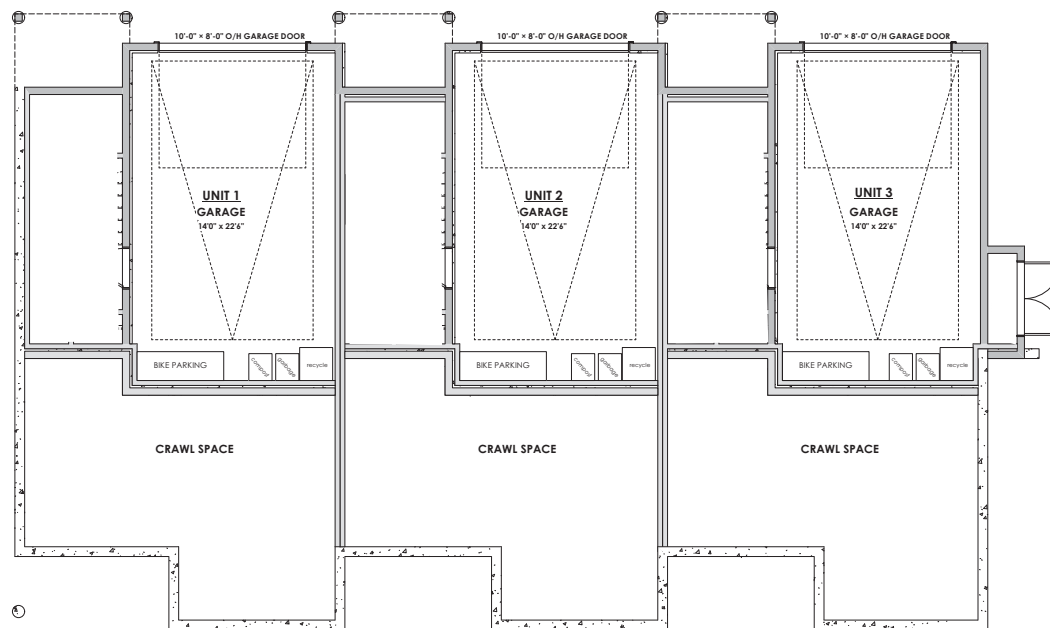
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Development Permit Drawings For:  
Proposed Townhouse Development  
Pacific Gold Homes  
2229 Boxwood Road  
Lot 1, Block 4 (TYPE A3)  
Nanaimo B.C.

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2023-APR-27

SHEET # 4-A102



"BLOCK 5"



1 Lower Floor Plan  
 5-A101 Scale: 1/4" = 1'-0"

Unit 1:	66.74 sq.ft. (6.20 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 2:	73.24 sq.ft. (6.80 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 3:	73.24 sq.ft. (6.80 sq.m.)	Garage:	330.17 sq.ft. (30.67 sq.m.)
Total:	213.22 sq.ft. (19.80 sq.m.)	Total:	999.23 sq.ft. (92.83 sq.m.)

SPRINKLER ROOM: 14.95 sq.ft. (1.39 sq.m.)  
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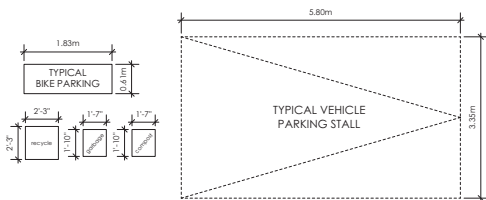
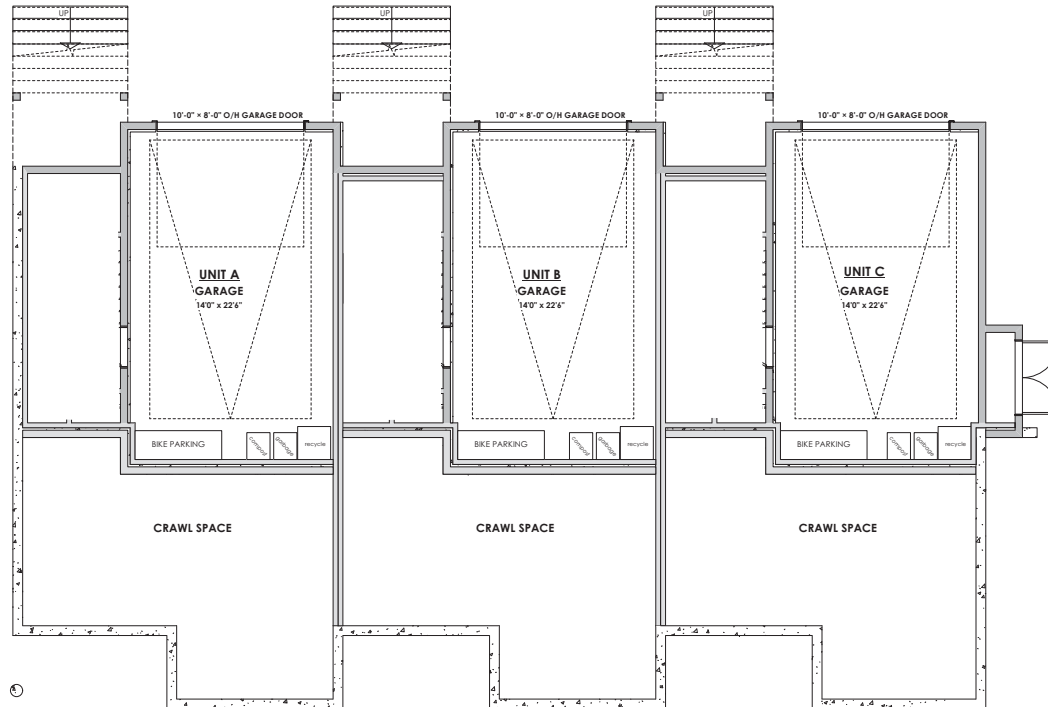
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 PARK  
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 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 5 (TYPE B1)  
 Nanaimo B.C.

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 2023-APR-27

SHEET #  
**5-A101**

"BLOCK 6"



1 Lower Floor Plan  
 6-A101 Scale: 1/4" = 1'-0"

Unit 1:	66.74 sq.ft. (6.20 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 2:	73.24 sq.ft. (6.80 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 3:	73.24 sq.ft. (6.80 sq.m.)	Garage:	330.17 sq.ft. (30.67 sq.m.)
Total:	213.22 sq.ft. (19.80 sq.m.)	Total:	999.23 sq.ft. (92.83 sq.m.)

SPRINKLER ROOM: 14.95 sq.ft. (1.39 sq.m.)  
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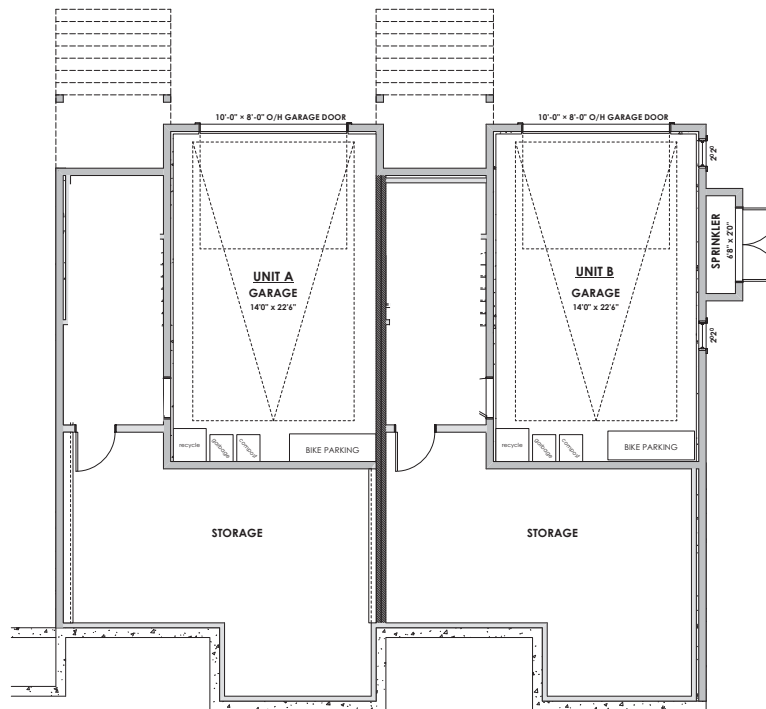


Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 6 (TYPE B1)  
 Nanaimo B.C.

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 DP1255  
 2023-APR-27

SHEET #  
**6-A101**

"BLOCK 7"



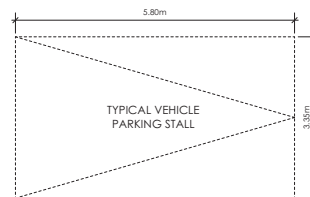
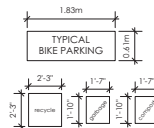
1  
7-A101

Lower Floor Plan

Scale: 1/4" = 1'-0"

Unit A: 383.08 sq.ft. (35.59 sq.m.) Garage: 331.25 sq.ft. (30.77 sq.m.)  
Unit B: 388.14 sq.ft. (35.86 sq.m.) Garage: 326.42 sq.ft. (30.33 sq.m.)  
Total: 771.22 sq.ft. (71.65 sq.m.) Total: 657.67 sq.ft. (61.10 sq.m.)

SPRINKLER ROOM: 15.00 sq.ft. (1.40 sq.m.)  
ALL GARAGES TO HAVE AN ELECTRICAL OUTLET BOX CAPABLE OF SUPPORTING CLASS 1 EV CHARGING.  
ALL BICYCLE PARKING STALLS TO HAVE AN ELECTRICAL OUTLET CAPABLE OF BEING USED FOR CHARGING INSTALLED NEARBY



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1	July 9, 2020	Issued for Review
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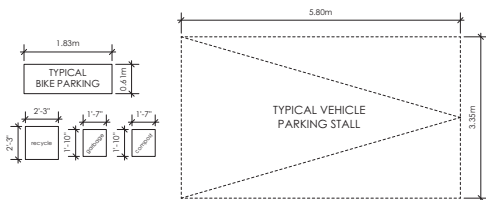
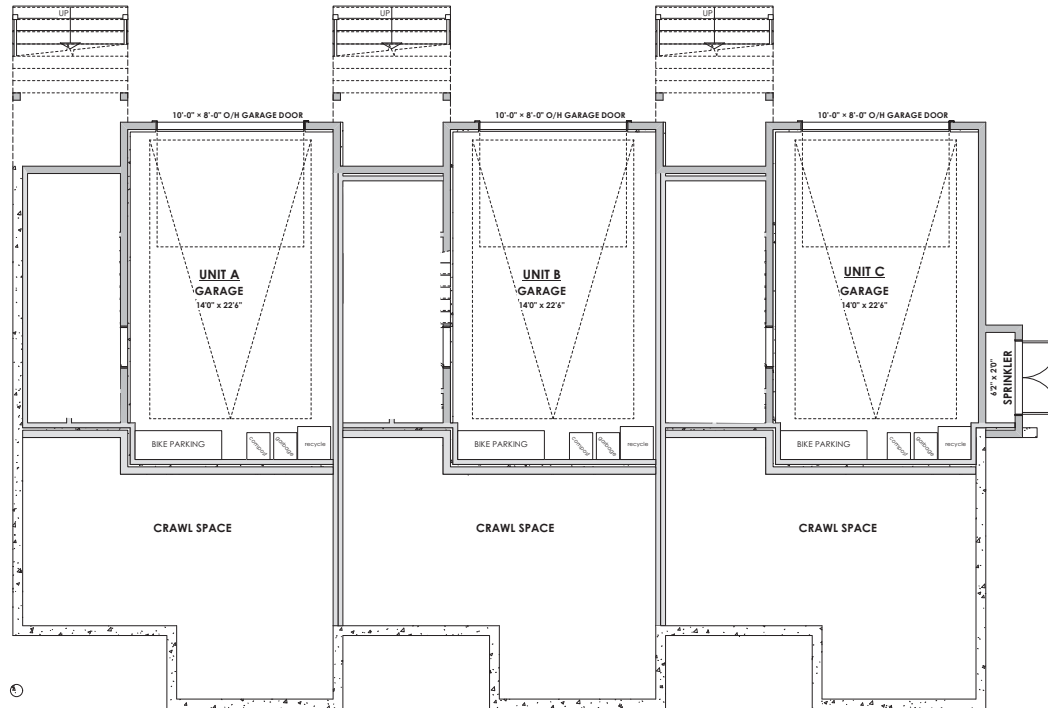
DATE: Apr 14, 2023 DRAWING #: 8009  
DRAWN BY: M.D.K. REVIEWED BY: N.B.

Arbor Park logo with a stylized tree icon. Text: arbor PARK Development Permit Drawings For: Proposed Townhouse Development Pacific Gold Homes 2229 Boxwood Road Lot 1, Block 7 (TYPE B2) Nanaimo B.C.

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DP# 255  
2023-APR-27  
Current Planning

SHEET # 7-A101

"BLOCK 8"



1 Lower Floor Plan  
 6-A101 Scale: 1/4" = 1'-0"

Unit 1:	66.74 sq.ft. (6.20 sq.m.)	Garage: 334.53 sq.ft. (31.08 sq.m.)
Unit 2:	73.24 sq.ft. (6.80 sq.m.)	Garage: 334.53 sq.ft. (31.08 sq.m.)
Unit 3:	73.24 sq.ft. (6.80 sq.m.)	Garage: 330.17 sq.ft. (30.67 sq.m.)
Total:	213.22 sq.ft. (19.80 sq.m.)	Total: 999.23 sq.ft. (92.83 sq.m.)

SPRINKLER ROOM: 14.95 sq.ft. (1.39 sq.m.)  
 ALL GARAGES TO HAVE AN ELECTRICAL OUTLET BOX CAPABLE OF SUPPORTING CLASS 1 EV CHARGING.  
 ALL BICYCLE PARKING STALLS TO HAVE AN ELECTRICAL OUTLET CAPABLE OF BEING USED FOR CHARGING INSTALLED NEARBY

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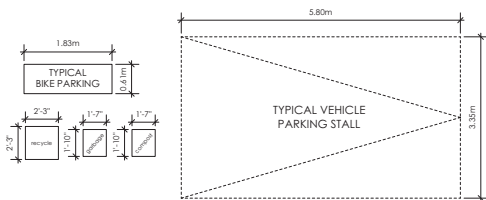
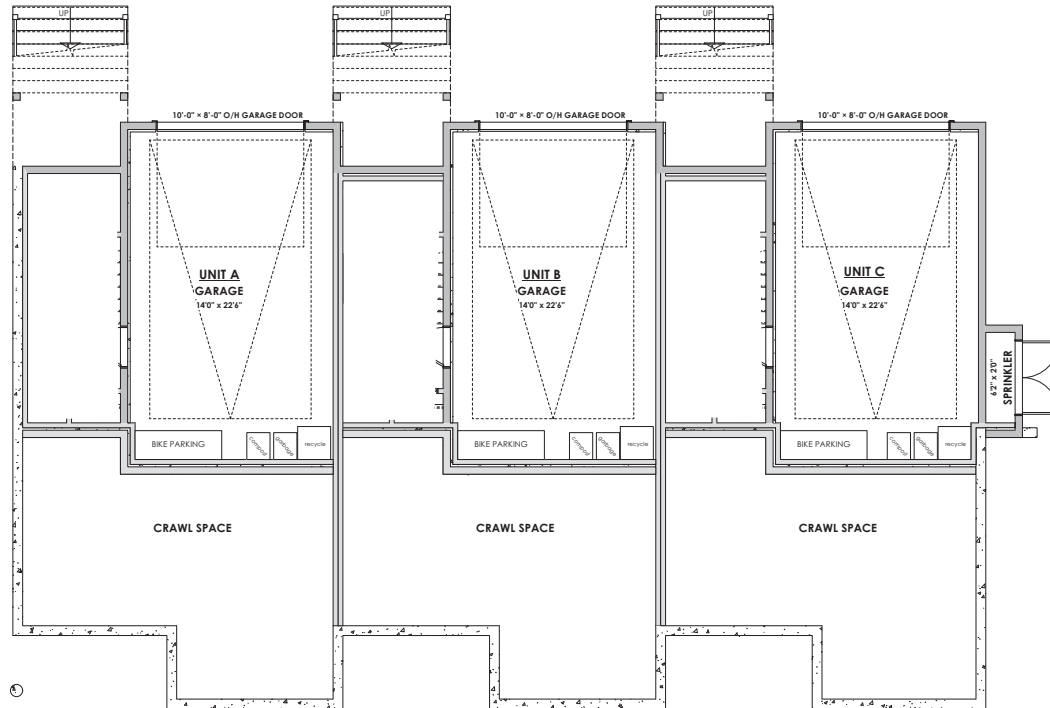
DATE	Apr 14, 2023	DWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

arbor  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 8 (TYPE B1)  
 Nanaimo B.C.

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 DP1255  
 2023-APR-27

SHEET #  
**8-A101**

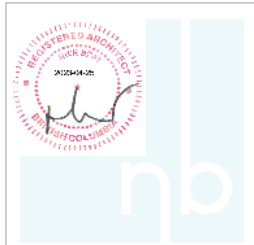
"BLOCK 9"



**1**  
**6-A101**  
**Lower Floor Plan**  
 Scale: 1/4" = 1'-0"

Unit 1:	66.74 sq.ft. (6.20 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 2:	73.24 sq.ft. (6.80 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 3:	73.24 sq.ft. (6.80 sq.m.)	Garage:	330.17 sq.ft. (30.67 sq.m.)
<b>Total:</b>	<b>213.22 sq.ft. (19.80 sq.m.)</b>	<b>Total:</b>	<b>999.23 sq.ft. (92.83 sq.m.)</b>

SPRINKLER ROOM: 14.95 sq.ft. (1.39 sq.m.)  
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**ISSUED/REVISED**

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DATE	Apr 14, 2023	DWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

**arbor**  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 9 (TYPE B1)  
 Nanaimo B.C.

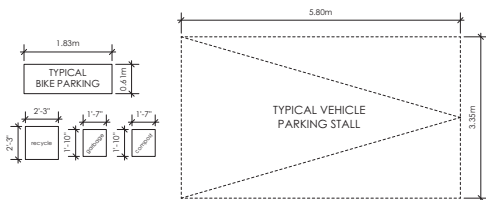
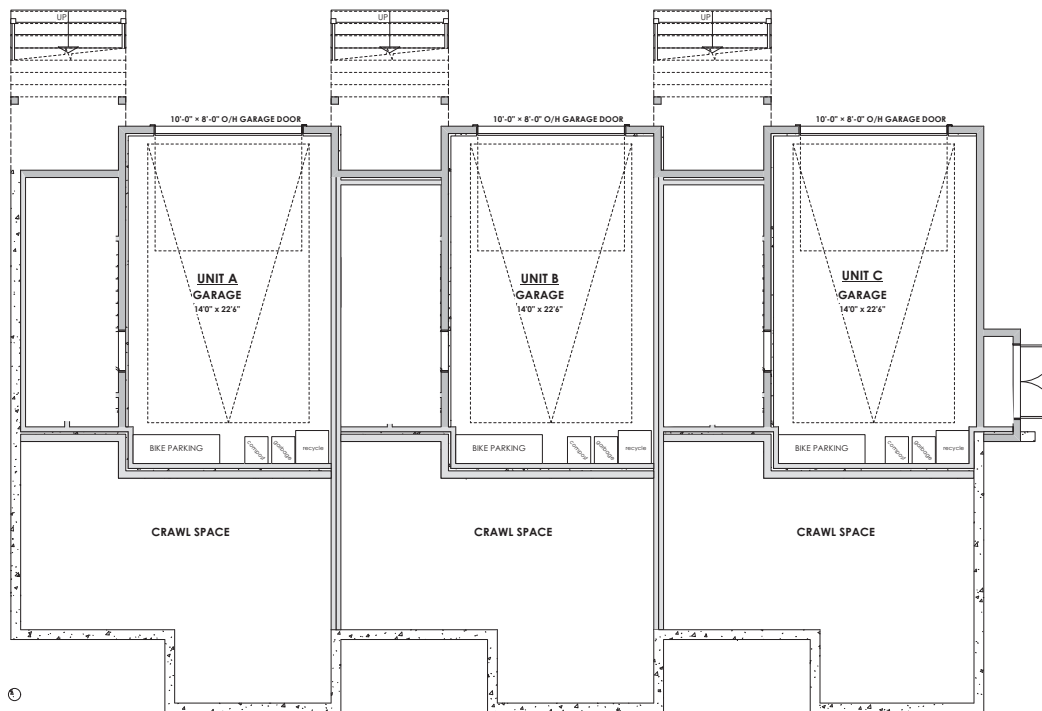
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 DP1256  
 2023-APR-27

SHEET #  
**9-A101**

# "BLOCK 10"

nick bray | architecture

T +1 604 900 8238 | E nick@nickbray.ca | W www.nickbray.ca  
355-485 8th Avenue, Vancouver, BC, V6Y 3Z5



## Lower Floor Plan

Scale: 1/4" = 1'-0"

Unit 1:	66.74 sq.ft. (6.20 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 2:	73.24 sq.ft. (6.80 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 3:	73.24 sq.ft. (6.80 sq.m.)	Garage:	330.17 sq.ft. (30.67 sq.m.)
<b>Total:</b>	<b>213.22 sq.ft. (19.80 sq.m.)</b>	<b>Total:</b>	<b>999.23 sq.ft. (92.83 sq.m.)</b>

SPRINKLER ROOM: 14.95 sq.ft. (1.39 sq.m.)  
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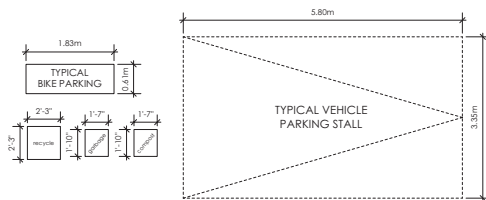
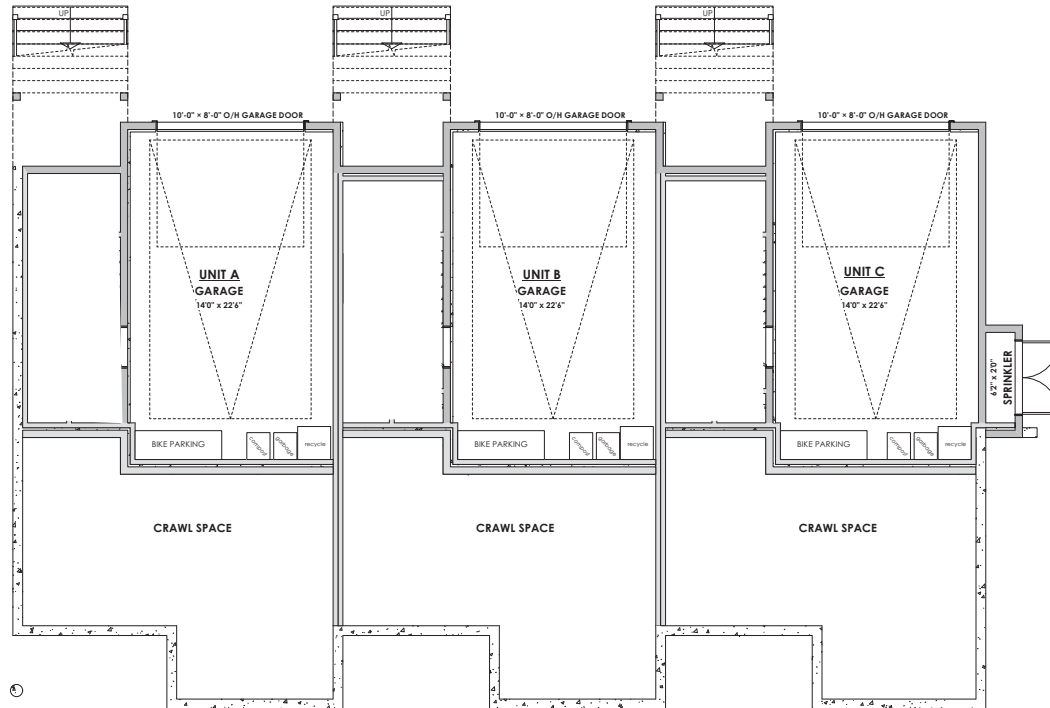
DATE	Apr 14, 2023	DWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

arbor  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 10 (TYPE B1)  
 Nanaimo B.C.

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 DP 1255  
 2023-APR-27

SHEET #  
**10-A101**

"BLOCK 11"



1 Lower Floor Plan  
 6-A101 Scale: 1/4" = 1'-0"

Unit 1:	66.74 sq.ft. (6.20 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 2:	73.24 sq.ft. (6.80 sq.m.)	Garage:	334.53 sq.ft. (31.08 sq.m.)
Unit 3:	73.24 sq.ft. (6.80 sq.m.)	Garage:	330.17 sq.ft. (30.67 sq.m.)
Total:	213.22 sq.ft. (19.80 sq.m.)	Total:	999.23 sq.ft. (92.83 sq.m.)

SPRINKLER ROOM: 14.95 sq.ft. (1.39 sq.m.)  
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 Victoria, B. C. F. 250.382.7364  
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DATE	Apr 14, 2023	DWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

arbor  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 11 (TYPE B1)  
 Nanaimo B.C.

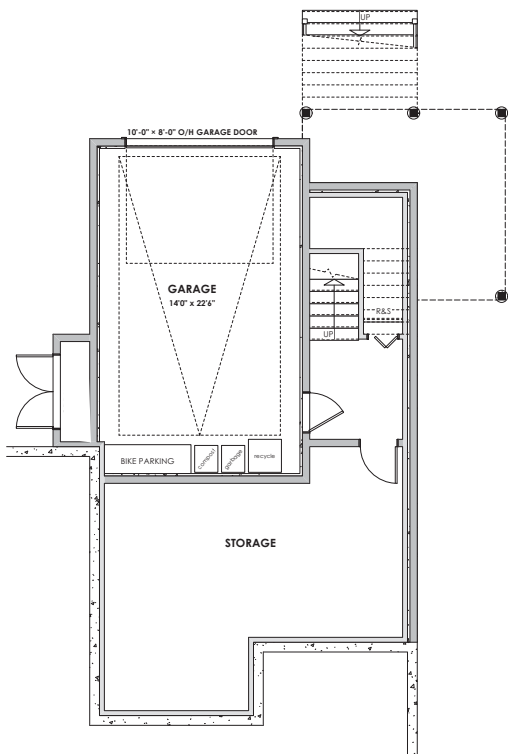
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 DP1255  
 2023-APR-27

SHEET # 11-A101

# "BLOCK 12"

nick bray | architecture

T +1 604 900 8238 | E nick@nickbray.ca | W www.nickbray.ca  
355-485 8th Avenue, Vancouver, BC, V6Y 3Z5

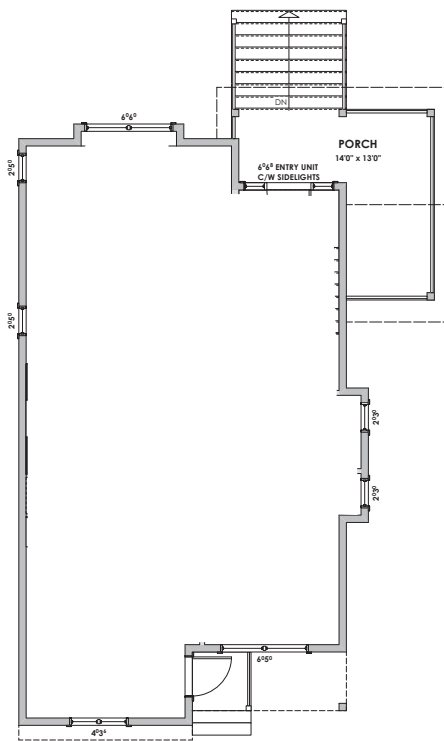
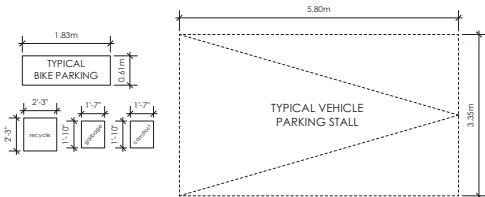


**1** Lower Floor Plan

Scale: 1/4" = 1'-0"

366.11 sq.ft. (34.01 sq.m.)  
Garage 333.25 sq.ft. (30.96 sq.m.)

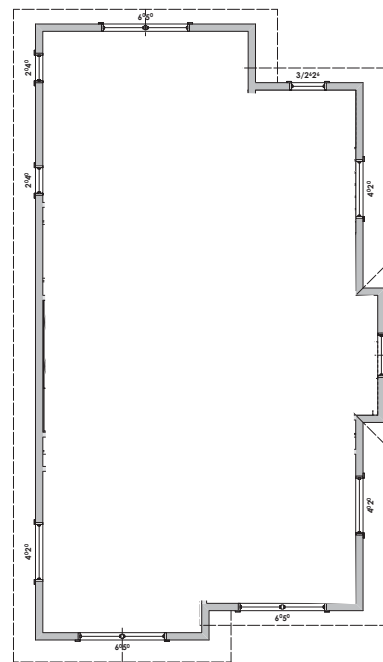
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**2** Main Floor Plan

Scale: 1/4" = 1'-0"

776.25 sq.ft. (72.12 sq.m.)



**3** Upper Floor Plan

Scale: 1/4" = 1'-0"

827.53 sq.ft. (76.88 sq.m.)

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V9B 0A6 www.victoriadesigngroup.ca

DATE	DRWG #
Apr 14, 2023	8009
DRAWN BY	REVIEWED BY
M.D.K	N.B



**arbor**  
PARK  
Development Permit Drawings For:  
Proposed Townhouse Development  
Pacific Gold Homes  
2229 Boxwood Road  
Lot 1, Block 12 (TYPE B3)  
Nanaimo B.C.

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DP 1255  
2023-APR-27

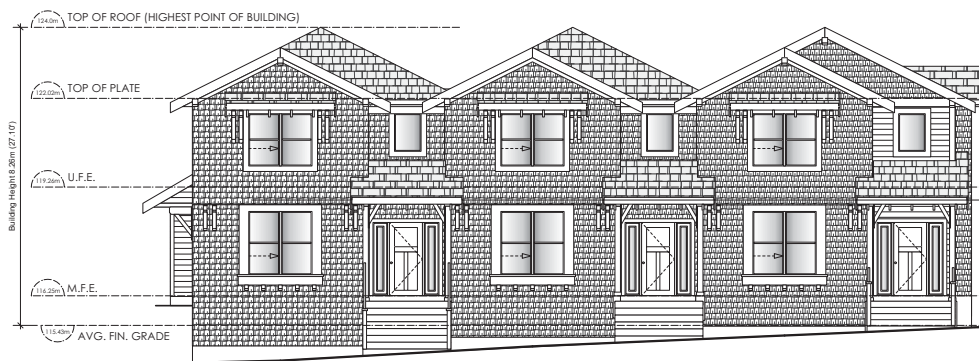
SHEET #  
**12-A101**



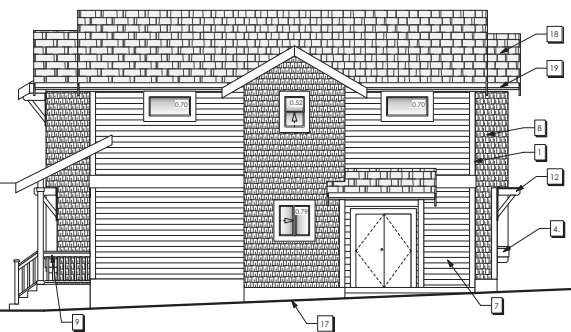
Development Permit No. DP001255 Schedule C  
 1985 Mountain Vista Drive  
**BUILDING ELEVATIONS AND DETAILS**



"BLOCK 1"



1 Front Elevation  
 1-A-200 Scale: 3/16" = 1'-0"

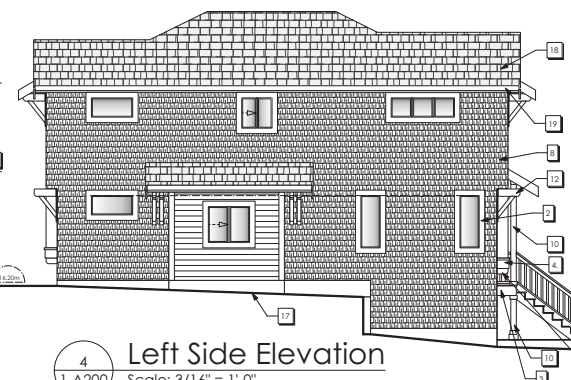


2 Right Side Elevation  
 1-A-200 Scale: 3/16" = 1'-0"

Living Distance	2.0	m.
Exposed Building Face	61.90	sq.m.
Allowable Opening	8.0	%
Allowable Opening Area	4.95	sq.m.
Proposed Opening	2.71	sq.m.



3 Rear Elevation  
 1-A-200 Scale: 3/16" = 1'-0"



4 Left Side Elevation  
 1-A-200 Scale: 3/16" = 1'-0"

Exterior Finish Schedule			
1	1x6 CORNER TRIM	14	CLADDING ON 6x6 WOOD POST (B&B FINISHED)
2	1x6 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)	15	DECORATIVE BLOCKING
3	VINYL DECKING DRIP EDGE ON 2x12 FASCIA TRIM	16	DECORATIVE KNEE BRACE
4	METAL FLASHING ON ZATKO BARGE BOARD	17	RAFTER TAILS
5	METAL FLASHING ON 2x6 FASCIA TRIM	18	ENTRY UNIT (SEE FLOOR PLAN)
6	CONC. FIBRE LAP SIDING	19	VINYL WINDOW
7	CONC. FIBRE SHINGLE PANELS	20	OVERHEAD GARAGE DOOR
8	42" FIN. MT. GUARD COMPLY W/ B.C. BLDG CODE 9.8.B	21	FINISHED GRADE
		22	LAMINATED ASPHALT SHINGLES
		23	PRE-FIN ALUM. CUTTER ON 2x8 FASCIA TRIM

ISSUED/REVISED

NO.	DATE	DESCRIPTION
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DATE: Jan 4, 2024 DWG #: 8009  
 DRAWN BY: MDK REVIEWED BY: AM

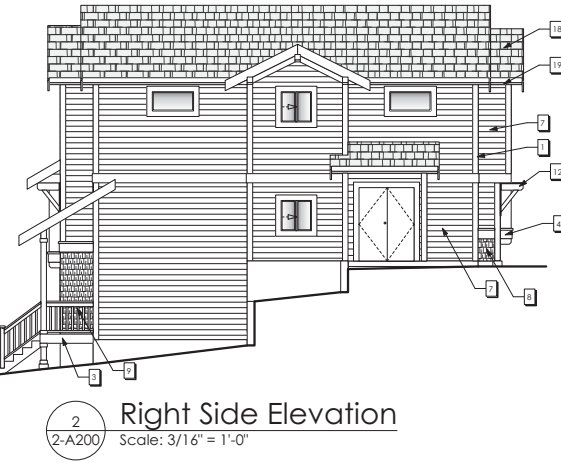


Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 1 (TYPE A2)  
 Nanaimo B.C.

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 2024-JAN-04

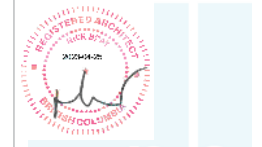
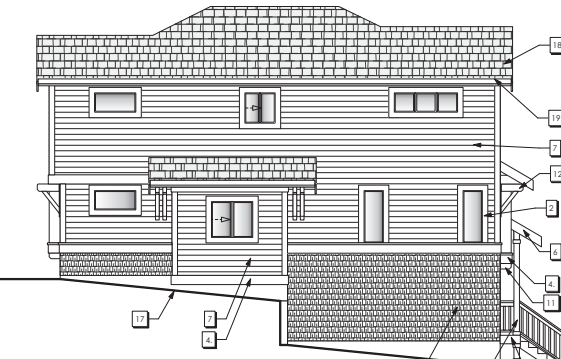
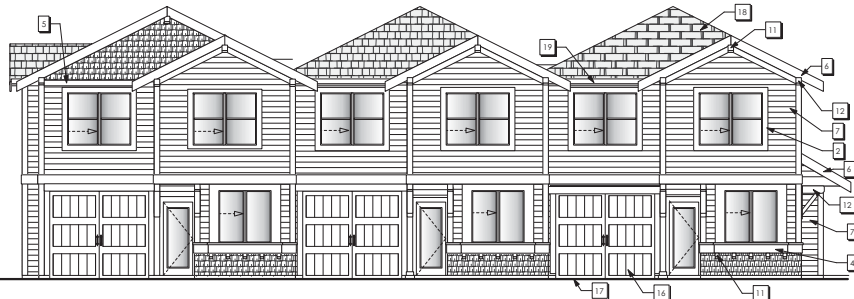
SHEET # 1-A-200

"BLOCK 2"



Exterior Finish Schedule

- 1 1x6 CORNER TRIM
- 2 1x6 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 3 VINYL DECKING DRIP EDGE ON 2x12 FACIA TRIM
- 4 METAL FLASHING ON 2x10 FASCIA TRIM
- 5 METAL FLASHING ON 2x4 FASCIA TRIM
- 6 2x10 BARGE BOARD
- 7 CONC. FIBRE LAF SIDING
- 8 CONC. FIBRE SHINGLE PANELS
- 9 42" FN. HT. GUARD (CONCRETE W/ S.C. BLDG CODE P.8.8)
- 10 CLADDING ON 6x6 WOOD POST (8x8 FINISHED)
- 11 DECORATIVE BLOCKING
- 12 DECORATIVE KNEE BRACE
- 13 RAFTER TAILS
- 14 ENTRY UNIT (SEE FLOOR PLAN) (DW4470 WATERSCAPE)
- 15 VINYL WINDOW
- 16 OVERHEAD GARAGE DOOR
- 17 FINISHED GRADE
- 18 LAMINATED ASPHALT SHINGLES
- 19 PRE-FIN ALUMIN. GUTTER ON 2x8 FACIA TRIM



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**vd | victoria design group**

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 Victoria, B. C. F. 250.382.7364  
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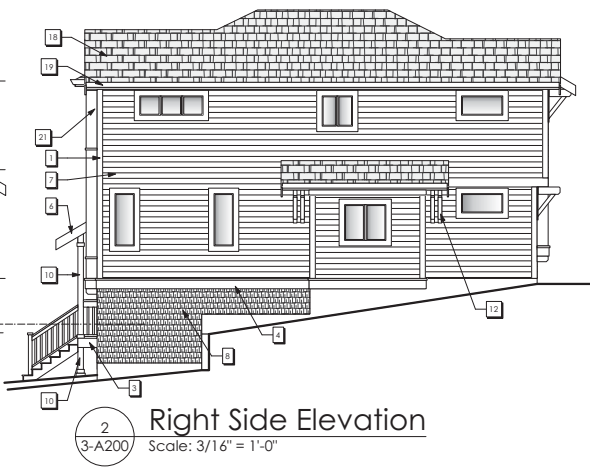
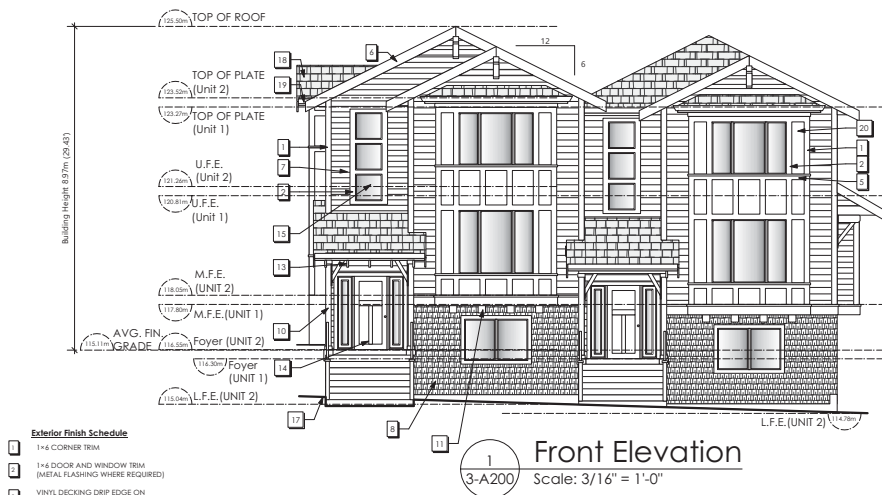
DATE	Apr 14, 2023	DWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

**arbor**  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 2 (TYPE A1)  
 Nanaimo B.C.

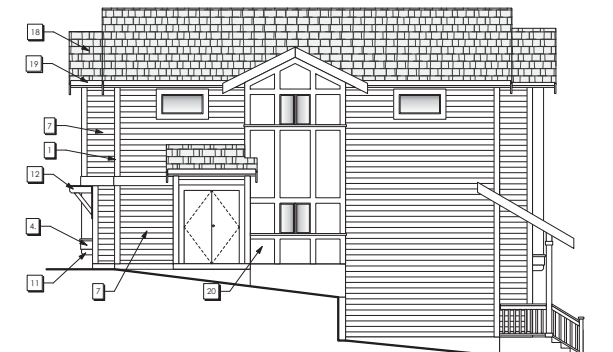
RECEIVED  
 DP1255  
 2023-APR-27

SHEET #  
**2-A200**

"BLOCK 3"



- Exterior Finish Schedule**
- 1 1x6 CORNER TRIM
  - 2 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
  - 3 VINYL DECKING DRIP EDGE ON 2x12 FACIA TRIM
  - 4 METAL FLASHING ON 2x10 FASCIA TRIM
  - 5 METAL FLASHING ON 2x6 FASCIA TRIM
  - 6 2x10 BARGE BOARD
  - 7 CONC. FIBRE LAP SIDING
  - 8 CONC. FIBRE SHINGLE PANELS
  - 9 42" RN. H1. GUARD COMPLY W/ B.C. BLDG CODE 9.8.8
  - 10 CLADDING ON 6x4 WOOD POST (8x8 FINISHED)
  - 11 DECORATIVE BLOCKING
  - 12 DECORATIVE KNEE BRACE
  - 13 RAFTER TAILS
  - 14 ENTRY UNIT (SEE FLOOR PLAN) (DVI166 VIKETIAN YELLOW)
  - 15 VINYL WINDOW
  - 16 OVERHEAD GARAGE DOOR
  - 17 FINISHED GRADE
  - 18 LAMINATED ASPHALT SHINGLES
  - 19 PRE-FIN ALUMN. GUTTER ON 2x8 FASCIA TRIM
  - 20 CONCRETE FIBRE PANEL SIDING
  - 21 1X12 CORNER TRIM



**ISSUED/REVISED**

NO	DATE	DESCRIPTION
1	July 9, 2020	Issued for Review
2	July 6, 2021	Issued for Pre-DP Meeting
3	Sept 22, 2021	Issued for Pre-Submission Review
4	Oct 13, 2021	Issued for DP Submission
5	Feb 24, 2022	Revisions to DP Submission
6	Jan 09, 2023	Revisions to DP Submission
7	Mar 07, 2023	Revisions to DP Submission
8	Mar 15, 2023	Revisions to DP Submission

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103 - 891 Altree Avenue P. 250.382.7374  
Victoria, B. C. F. 250.382.7364  
V9B 0A6 www.victoriadesigngroup.ca

DATE	APR 14, 2023	DWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

**arbor**  
PARK  
Development Permit Drawings For:  
Proposed Townhouse Development  
Pacific Gold Homes  
2229 Boxwood Road  
Lot 1, Block 3 (TYPE A3)  
Nanaimo B.C.

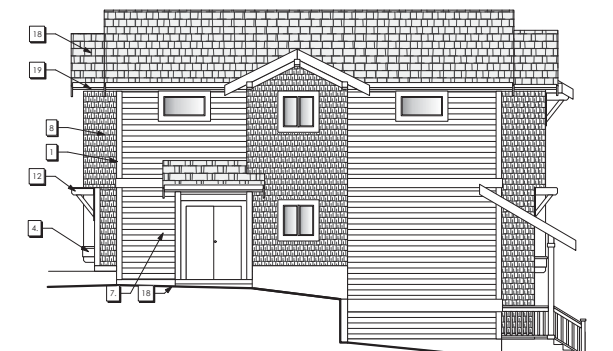
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DP1255  
2023-APR-27

SHEET # **3-A200**

"BLOCK 4"



- Exterior Finish Schedule**
- 1 1x6 CORNER TRIM
  - 2 1x6 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
  - 3 VINYL DECOR DRAIN EDGE ON 2x12 FASCIA TRIM
  - 4 METAL FLASHING ON 2x10 FASCIA TRIM
  - 5 METAL FLASHING ON 2x6 FASCIA TRIM
  - 6 ZK10 BARGE BOARD
  - 7 CONC. FIBRE LAP SIDING
  - 8 CONC. FIBRE SHINGLE PANELS
  - 9 42" RN. H1. GUARD COMPLY W/ B.C. BLDG CODE 9.8.8
  - 10 CLADDING ON 6x4 WOOD POST (8x8 FINISHED)
  - 11 DECORATIVE BLOCKING
  - 12 DECORATIVE KNEE BRACE
  - 13 RAFTER TAILS
  - 14 ENTRY UNIT (SEE FLOOR PLAN) (DINKSLEY SCALITA)
  - 15 VINYL WINDOW
  - 16 OVERHEAD GARAGE DOOR
  - 17 FINISHED GRADE
  - 18 LAMINATED ASPHALT SHINGLES
  - 19 PRE-FIN ALUMN. GUTTER ON 2x8 FASCIA TRIM



NO	DATE	DESCRIPTION
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**ISSUED/REVISED**

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**vdg | victoria design group**

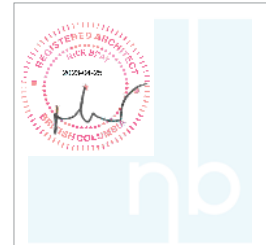
103 - 891 Altree Avenue P. 250.382.7374  
 Victoria, B. C. F. 250.382.7364  
 V9B 0A6 www.victoriadesigngroup.ca

DATE	APR 14, 2023	DWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

**arbor**  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 4 (TYPE A3)  
 Nanaimo B.C.

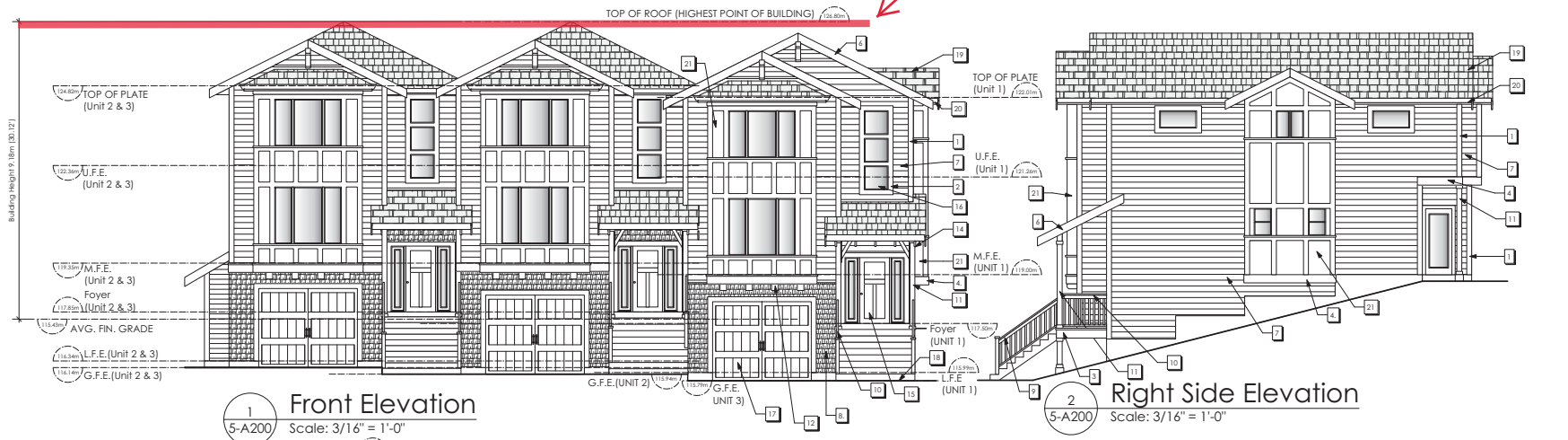
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 DP1255  
 2023-APR-27

SHEET #  
**4-A200**



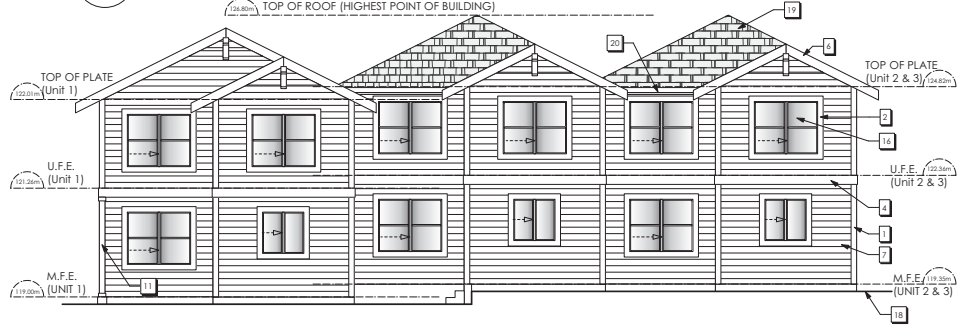
"BLOCK 5"

**PROPOSED HEIGHT VARIANCE 0.18m**

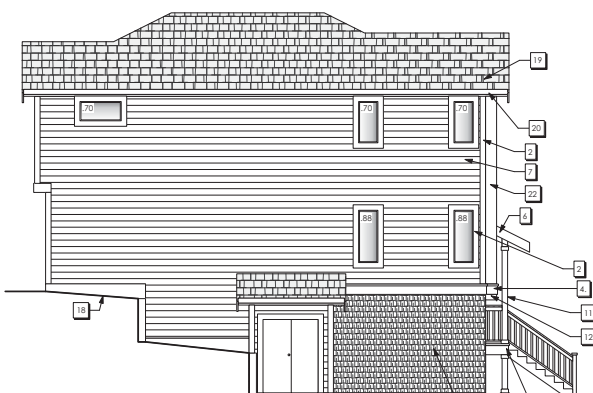


**1 Front Elevation**  
5-A200 Scale: 3/16" = 1'-0"

**2 Right Side Elevation**  
5-A200 Scale: 3/16" = 1'-0"



**3 Rear Elevation**  
5-A200 Scale: 3/16" = 1'-0"



**4 Left Side Elevation**  
5-A200 Scale: 3/16" = 1'-0"

Exterior Finish Schedule	
1	1x6 CORNER TRIM
2	1x6 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
3	VINYL DECKING DRIP EDGE ON 2x12 FASCIA TRIM
4	METAL FLASHING ON 2X10 FASCIA TRIM
5	METAL FLASHING ON 2x6 FASCIA TRIM
6	2X10 BARGE BOARD
7	CONC. FIBRE HORIZONTAL LAP SIDING
8	CONC. FIBRE SHINGLE PANELS
9	3x6 FIN. HT. RAILING (BCBC 9.8.7)
10	4x7 FIN. HT. GUARD COMPLY W/ B.C. BLDG CODE 9.8.8
11	CLADDING ON 4x6 WOOD POST (B&B FINISHED)
12	DECORATIVE BLOCKING
13	DECORATIVE KNEE BRACE
14	RAFTER TAILS
15	ENTRY UNIT (SEE FLOOR PLAN)
16	VINYL WINDOW
17	OVERHEAD GARAGE DOOR
18	FINISHED GRADE
19	LAMINATED ASPHALT SHINGLES
20	PRE-FIN ALLUMIN. GUTTER ON 2x8 FASCIA TRIM
21	CONCRETE FIBRE PANEL SIDING
22	1x12 CORNER TRIM

Limiting Distance	2.92	m.
Exposed Building Face	85.60	sq.m.
Allowable Openings	8.0	%
Allowable Opening Area	4.85	sq.m.
Proposed Openings	3.86	sq.m.

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DATE	APR 14, 2023	DWG #	8009
CREATED BY	M.D.K	REVIEWED BY	N.B

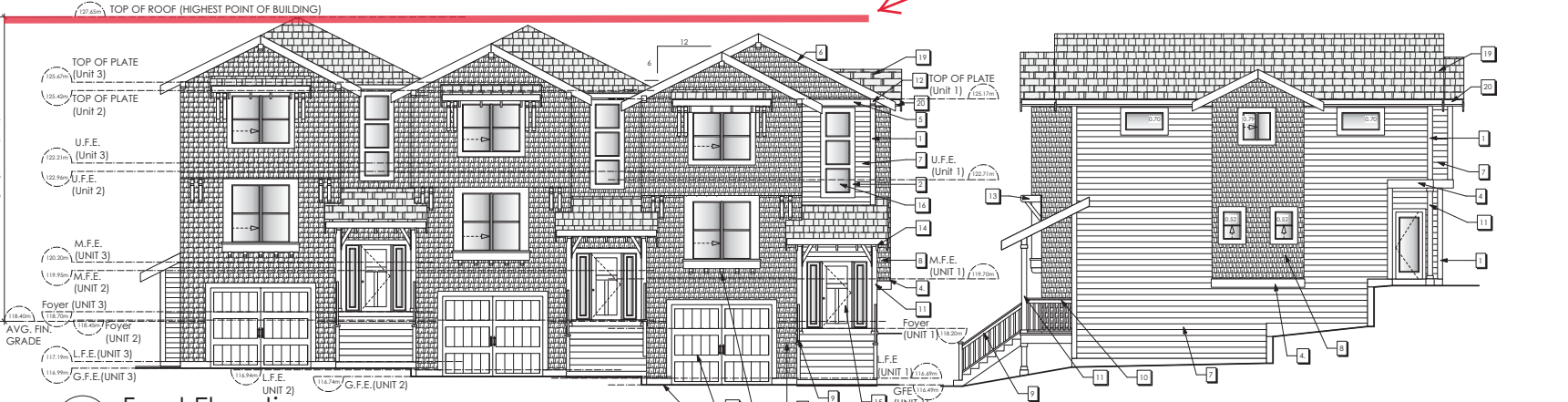
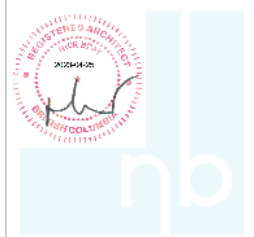
**arbor**  
PARK  
Development Permit Drawings For:  
Proposed Townhouse Development  
Pacific Gold Homes  
2229 Boxwood Road  
Lot 1, Block 5 (TYPE B1)  
Nanaimo B.C.

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2023-APR-27  
CITY OF NANAIMO

SHEET #  
**5-A200**

# "BLOCK 6"

**PROPOSED HEIGHT VARIANCE 0.25m**

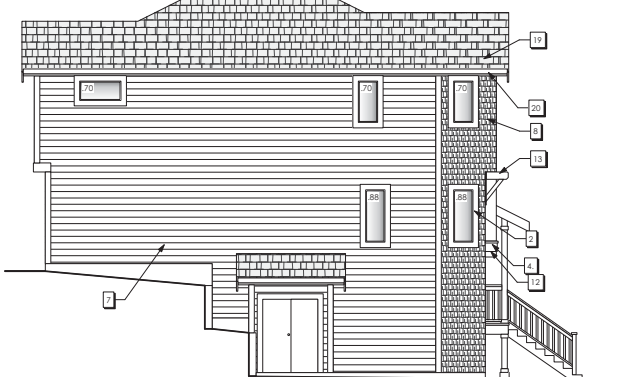


1 Front Elevation  
6-A200 Scale: 3/16" = 1'-0"

2 Right Side Elevation  
6-A200 Scale: 3/16" = 1'-0"



3 Rear Elevation  
6-A200 Scale: 3/16" = 1'-0"



4 Left Side Elevation  
6-A200 Scale: 3/16" = 1'-0"

**Exterior Finish Schedule**

1	1x4 CORNER TRIM	14	42" FN. HT. GUARD COMPLY W/ B.C. BLDG CODE 9.8.8
2	1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)	15	CLADDING ON 6x6 WOOD POST (B&B FINISHED)
3	VINYL DECKING DRIP EDGE ON 2x12 FACIA TRIM	16	DECORATIVE BLOCKING
4	METAL FLASHING ON 2x10 FACIA TRIM	17	DECORATIVE KNEE BRACE
5	METAL FLASHING ON 2x4 FACIA TRIM	18	RAFTER TAILS
6	2X10 BARGE BOARD	19	ENTRY UNIT (SEE FLOOR PLAN)
7	CONC. FIBRE HORIZONTAL LAP SIDING	20	VINYL WINDOW
8	CONC. FIBRE SHINGLE PANELS	21	OVERHEAD GARAGE DOOR
9	36" FN. HT. RAILING (B&C/B 9.8.7)	22	FINISHED GRADE
		23	LAMINATED ASPHALT SHINGLES
		24	PRE-FIN ALUM. GUTTER ON 2x8 FACIA TRIM

**ISSUED/REVISED**

NO	DATE	DESCRIPTION
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Victoria, B. C. F. 250.382.7364  
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DATE	DRWG #
Apr 14, 2023	8009
DESIGNED BY M.D.K	REVIEWED BY N.B

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2023-APR-27

**arbor**  
PARK  
Development Permit Drawings For:  
Proposed Townhouse Development  
Pacific Gold Homes  
2229 Boxwood Road  
Lot 1, Block 6 (TYPE B1)  
Nanaimo B.C.

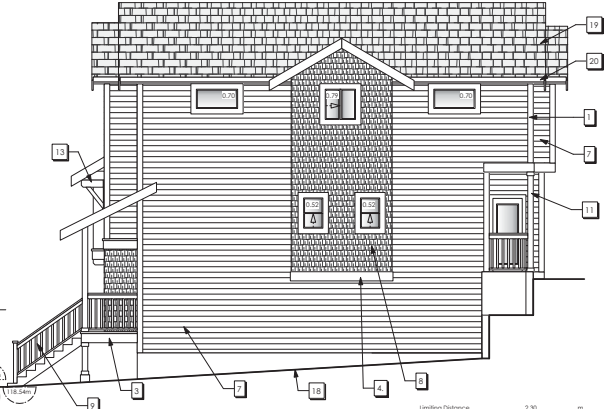
SHEET #  
**6-A200**

"BLOCK 7"

**PROPOSED HEIGHT  
 VARIANCE 0.17m**



1 Front Elevation  
 7-A200 Scale: 3/16" = 1'-0"

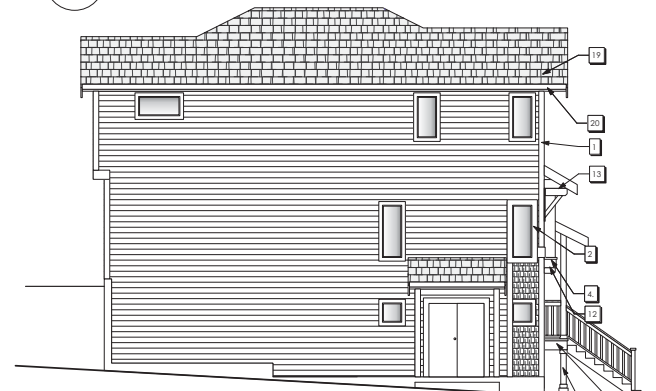


2 Right Side Elevation  
 7-A200 Scale: 3/16" = 1'-0"

Limiting Distance	2.30	m.
Exposed Building Face	46.94	sq.m.
Allowable Opening	8.5	S.
Allowable Opening Area	5.35	sq.m.
Proposed Opening	3.23	sq.m.



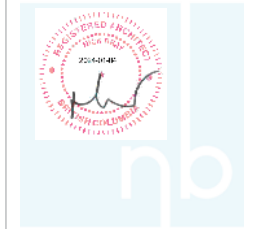
3 Rear Elevation  
 7-A200 Scale: 3/16" = 1'-0"



4 Left Side Elevation  
 7-A200 Scale: 3/16" = 1'-0"

**Exterior Finish Schedule**

1	1x6 CORNER TRIM
2	1x6 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
3	VINYL DECKING DRIP EDGE ON 2X12 FASCIA TRIM
4	METAL FLASHING ON 2X10 FASCIA TRIM
5	METAL FLASHING ON 2x4 FASCIA TRIM
6	2X10 BARGE BOARD
7	CONC. FIBRE HORIZONTAL LAP SIDING
8	CONC. FIBRE SHINGLE PANELS
9	36" FN. HT. RAILING (BCBC 9.8.7)
10	42" FN. HT. GUARD COMPLY W/ B.C. BLDG CODE 9.8.8
11	CLADDING ON 6x6 WOOD POST (8x8 FINISHED)
12	DECORATIVE BLOCKING
13	DECORATIVE KNEE BRACE
14	RAFTER TAILS
15	ENTRY UNIT (SEE FLOOR PLAN) (5Wx70P GLERUL)
16	VINYL WINDOW
17	OVERHEAD GARAGE DOOR
18	FINISHED GRADE
19	LAMINATED ASPHALT SHINGLES
20	PRE-FIN ALUMIN. GUTTER ON 2x8 FASCIA TRIM



**ISSUED/REVISED**

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8	Jan 04, 2024	Revisions to DP Submission

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 Victoria, B. C. F. 250.382.7364  
 V9B 0A6 www.victoriadesigngroup.ca

DATE: Jan 4, 2024 DWG #: 8009  
 DRAWN BY: MDK REVIEWED BY: N.B.

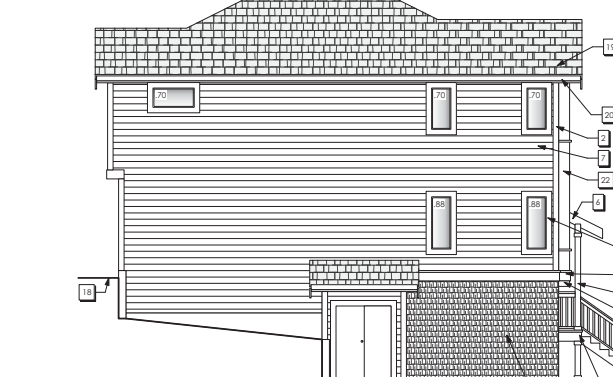
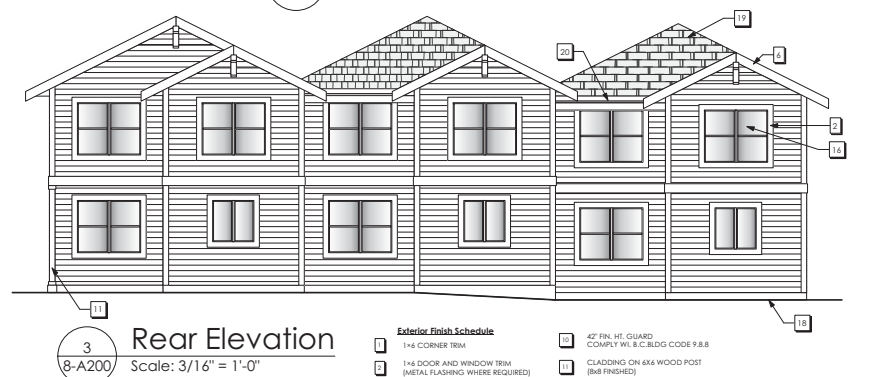
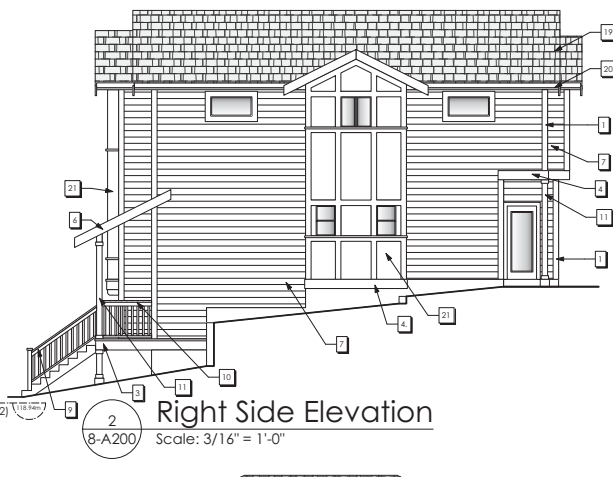
**arbor**  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 7 (TYPE B2)  
 Nanaimo B.C.

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 DP1255  
 2024-JAN-04

SHEET # **7-A200**

"BLOCK 8"

**PROPOSED HEIGHT  
 VARIANCE 0.09m**



**Exterior Finish Schedule**

1	1x6 CORNER TRIM	19	42" FIN. HT. GUARD COMPLY W/ 8.C.BLDG CODE 9.8.8
2	1x6 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)	20	CLADDING ON 6x6 WOOD POST (B&B FINISHED)
3	VINYL DECKING DRIP EDGE ON 2x12 FASCIA TRIM	21	DECORATIVE BLOCKING
4	METAL FLASHING ON 2X10 FASCIA TRIM	22	DECORATIVE KNEE BRACE
5	METAL FLASHING ON 2x6 FASCIA TRIM	23	RAFTER TAILS
6	2X10 BARGE BOARD	24	ENTRY UNIT (SEE FLOOR PLAN) (5W47D WATERSCAPE)
7	CONC. FIBRE HORIZONTAL LAP SIDING	25	VINYL WINDOW
8	CONC. FIBRE SHINGLE PANELS	26	OVERHEAD GARAGE DOOR
9	36" FIN. HT. RAILING (BCBC 9.8.7)	27	FINISHED GRADE
10		28	LAMINATED ASPHALT SHINGLES
11		29	PRE-FIN ALLUM. GUTTER ON 2X8 FASCIA TRIM
12		30	CONCRETE FIBRE PANEL SIDING
13		31	1x12 CORNER TRIM



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 V9B 0A6 www.victoriadesigngroup.ca

DATE	Apr 14, 2023	DWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

**arbor**  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 8 (TYPE B1)  
 Nanaimo B.C.

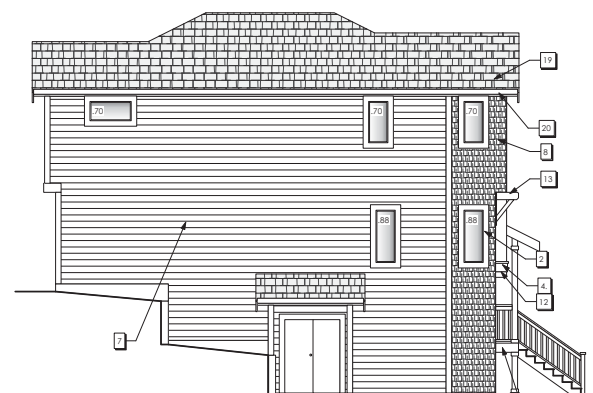
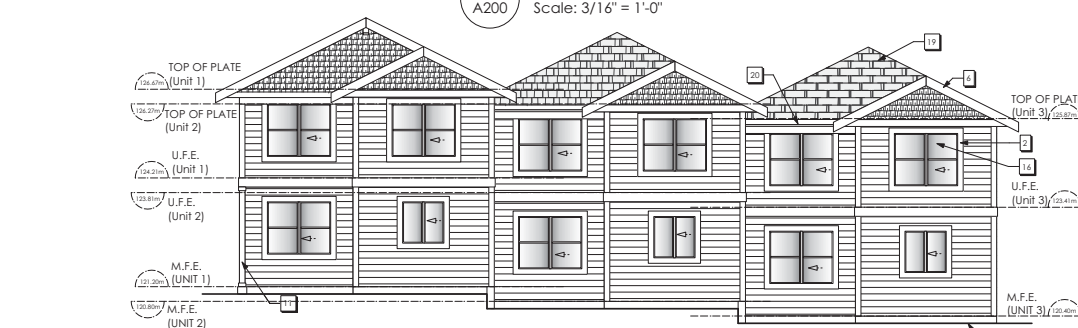
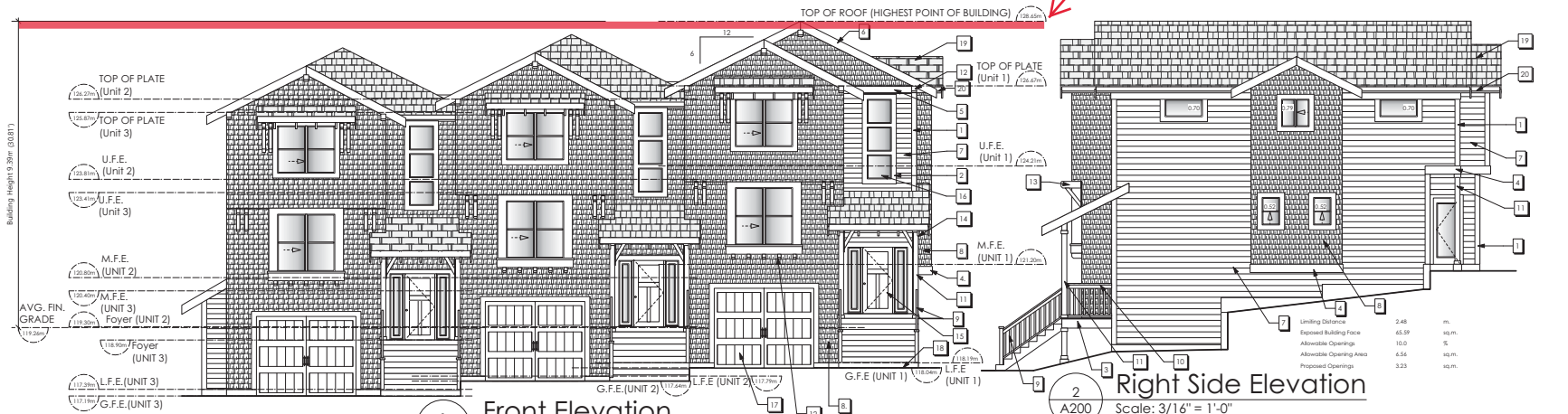
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 DP 1255  
 2023-APR-27  
 CULPIT PLANNING

SHEET #  
**8-A200**



"BLOCK 9"

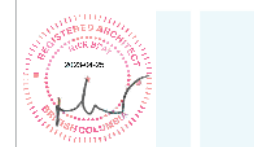
**PROPOSED HEIGHT VARIANCE 0.39m**



**3 Rear Elevation**  
A200 Scale: 3/16" = 1'-0"

**4 Left Side Elevation**  
A200 Scale: 3/16" = 1'-0"

- Exterior Finish Schedule**
- 1 1x4 CORNER TRIM
  - 2 1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
  - 3 VINYL DECKING DRIP EDGE ON 2x12 FASCIA TRIM
  - 4 METAL FLASHING ON 2x10 FASCIA TRIM
  - 5 METAL FLASHING ON 2x4 FASCIA TRIM
  - 6 2X10 BARGE BOARD
  - 7 CONC. FIBRE HORIZONTAL LAP SIDING
  - 8 CONC. FIBRE SHINGLE PANELS
  - 9 3/8" FIN. HT. RAILING (BCRC 9.8.7)
  - 10 42" FIN. HT. GUARD CONCRETE W/ B.C. BLDG CODE 9.8.8
  - 11 CLADDING ON 6x6 WOOD POST (B&B FINISHED)
  - 12 DECORATIVE BLOCKING
  - 13 DECORATIVE KNEE BRACE
  - 14 RAFTER TAILS
  - 15 ENTRY UNIT (SEE FLOOR PLAN)
  - 16 VINYL WINDOW
  - 17 OVERHEAD GARAGE DOOR
  - 18 FINISHED GRADE
  - 19 LAMINATED ASPHALT SHINGLES
  - 20 PRE-FIN ALUMN. GUTTER ON 2x8 FASCIA TRIM



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Victoria, B. C. F. 250.382.7364  
V9B 0A6 www.victoriadesigngroup.ca

DATE: Apr 14, 2023 DRAWING #: 8009  
CREATED BY: M.D.K. REVIEWED BY: N.B.

**arbor**  
PARK  
Development Permit Drawings For:  
Proposed Townhouse Development  
Pacific Gold Homes  
2229 Boxwood Road  
Lot 1, Block 9 (TYPE B1)  
Nanaimo B.C.

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2023-APR-27

9-A200



NO	DATE	DESCRIPTION
1	July 9, 2020	Issued for Review
2	July 6, 2021	Issued for Pre-DP Meeting
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**ISSUED/REVISED**

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DATE	DRAW #
Apr 14, 2023	8009

DRAWN BY	REVIEWED BY
M.D.K	N.B

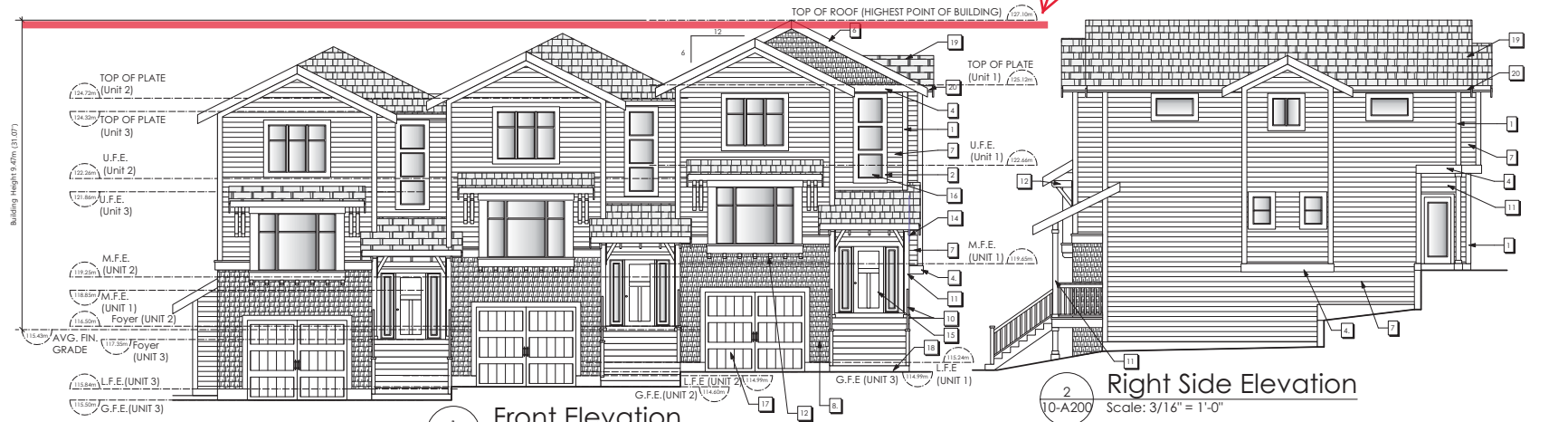
**arbor**  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 10 (TYPE B1)  
 Nanaimo B.C.

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 DP1255  
 2023-APR-27

SHEET #  
**10-A200**

"BLOCK 10"

**PROPOSED HEIGHT VARIANCE 0.47m**

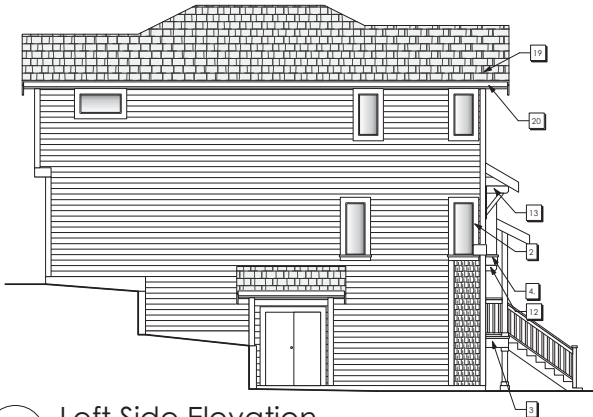


**1 Front Elevation**  
 10-A200 Scale: 3/16" = 1'-0"

**2 Right Side Elevation**  
 10-A200 Scale: 3/16" = 1'-0"



**3 Rear Elevation**  
 10-A200 Scale: 3/16" = 1'-0"



**4 Left Side Elevation**  
 10-A200 Scale: 3/16" = 1'-0"

**Exterior Finish Schedule**

1	1/4" CORNER TRIM	12	47" FIN. HT. GUARD COMPLY W/ B.C. BLDG CODE 9.8.8
2	1/4" DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)	13	CLADDING ON 6x6 WOOD POST (8x8 FINISHED)
3	VINYL DECKING DRIP EDGE ON 2x12 FASCIA TRIM	14	DECORATIVE BLOCKING
4	METAL FLASHING ON 2x10 FASCIA TRIM	15	DECORATIVE KNEE BRACE
5	METAL FLASHING ON 2x6 FASCIA TRIM	16	RAFTER TAILS
6	2X10 BARGE BOARD	17	ENTRY UNIT (SEE FLOOR PLAN) (5W6S17 REGATTA)
7	CONC. FIBRE HORIZONTAL LAP SIDING	18	VINYL WINDOW
8	CONC. FIBRE SHINGLE PANELS	19	OVERHEAD GARAGE DOOR
9	36" FIN. HT. RAILING (BCBC 9.8.7)	20	FINISHED GRADE
		21	LAMINATED ASPHALT SHINGLES
		22	PRE-FIN ALUMN. GUTTER ON 2x8 FASCIA TRIM

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 DP1255  
 2023-APR-27

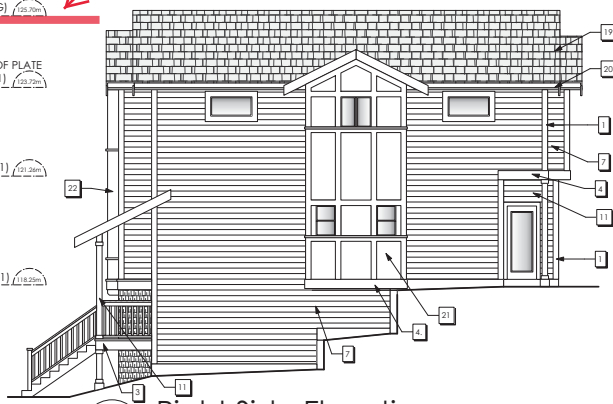


"BLOCK 11"

**PROPOSED HEIGHT  
VARIANCE 0.34m**



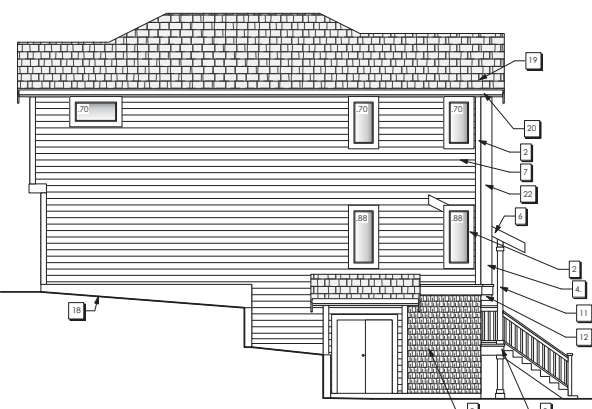
**1 Front Elevation**  
11-A200 Scale: 3/16" = 1'-0"



**2 Right Side Elevation**  
11-A200 Scale: 3/16" = 1'-0"



**3 Rear Elevation**  
11-A200 Scale: 3/16" = 1'-0"



**4 Left Side Elevation**  
11-A200 Scale: 3/16" = 1'-0"

**Exterior Finish Schedule**

1	1x4 CORNER TRIM	19	42" FIN. HT. GUARD COMPT. W/ B.C. BLDG CODE 9.8.8
2	1x4 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)	20	CLADDING ON 6x6 WOOD POST (8x8 FINISHED)
3	VINYL DECKING DRIP EDGE ON 2x12 FASCIA TRIM	21	DECORATIVE BLOCKING
4	METAL FLASHING ON 2X10 FASCIA TRIM	22	DECORATIVE KNEE BRACE
5	METAL FLASHING ON 2x4 FASCIA TRIM	23	RAFTER TAILS
6	CONC. FIBRE HORIZONTAL LAP SIDING	24	ENTRY UNIT (SEE FLOOR PLAN) (5Wx709 GLEEFUL)
7	CONC. FIBRE SHINGLE PANELS	25	VINYL WINDOW
8	36" FIN. HT. RAILING (BCBC 9.8.7)	26	OVERHEAD GARAGE DOOR
9		27	FINISHED GRADE
10		28	LAMINATED ASPHALT SHINGLES
11		29	PRE-FIN ALUMIN. OUTER ON 2X8 FASCIA TRIM
12		30	CONCRETE FIBRE PANEL SIDING
13		31	1x12 CORNER TRIM

**ISSUED/REVISED**

NO	DATE	DESCRIPTION
1	July 9, 2020	Issued for Review
2	July 6, 2021	Issued for Pre-DP Meeting
3	Sep 22, 2021	Issued for Pre-Submission Review
4	Oct 13, 2021	Issued for DP Submission
5	Feb 24, 2022	Revisions to DP Submission
6	Jan 09, 2023	Revisions to DP Submission
7	Mar 15, 2023	Revisions to DP Submission

General Contractor and/or Owner to verify and thoroughly review all aspects of this and any required consultants' plans, prior to commencement and setting out of all work. Any discrepancies are to be reported to Victoria Design Group or Nick Bray Architecture immediately. VDG is not liable for plan modifications or discrepancies not reported.

BCL and/or Contractor to verify placement and siting of all structures on the lot. VDG is not responsible for encroachments of any kind with regard to siting or placement of structures on lots.



103 - 891 Althea Avenue P. 250.382.7374  
Victoria, B. C. F. 250.382.7364  
V9B 0A6 www.victoriadesigngroup.ca

DATE: Apr 14, 2023 DRAWING: 8009  
CREATED BY: M.D.K. REVIEWED BY: N.B.

**arbor**  
PARK  
Development Permit Drawings For:  
Proposed Townhouse Development  
Pacific Gold Homes  
2229 Boxwood Road  
Lot 1, Block 11 (TYPE B1)  
Nanaimo B.C.

RECEIVED  
DP#266  
2023-APR-27  
CITY OF NANAIMO

SHEET # **11-A200**

# "BLOCK 12"

**PROPOSED HEIGHT VARIANCE 0.01m**



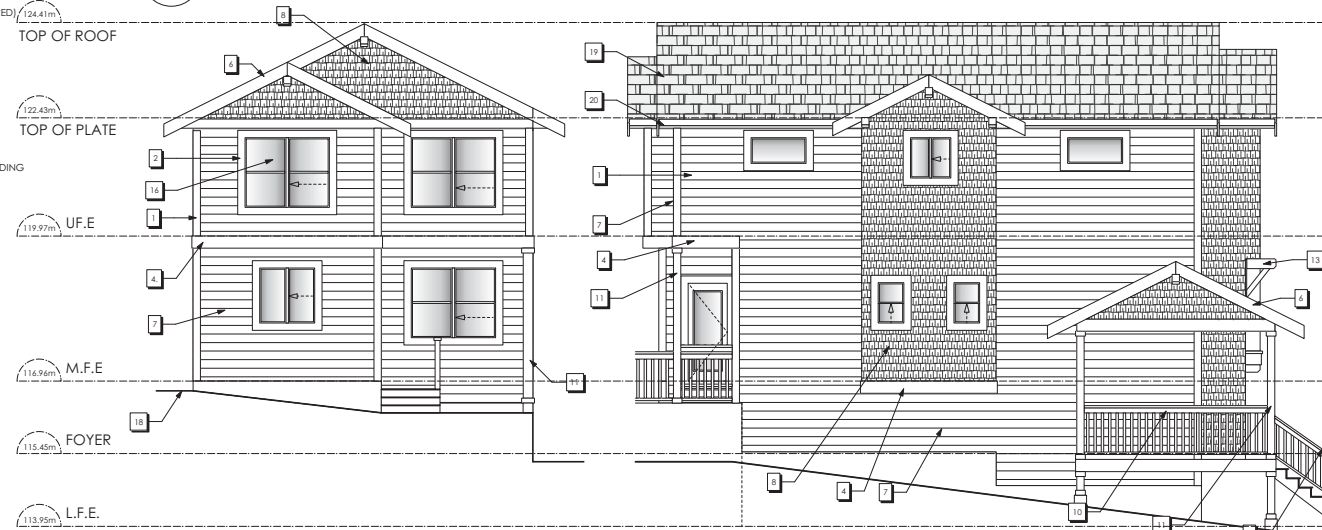
**1 Front Elevation**  
 A200 Scale: 1/4" = 1'-0"

**2 Right Side Elevation**  
 A200 Scale: 1/4" = 1'-0"

Limiting Distance	2.57	m.
Exposed Building Face	91.18	sq.m.
Allowable Openings	9.0	%
Allowable Opening Area	8.21	sq.m.
Proposed Openings	3.86	sq.m.

**Exterior Finish Schedule**

- 1 1x6 CORNER TRIM
- 2 1x6 DOOR AND WINDOW TRIM (METAL FLASHING WHERE REQUIRED)
- 3 VINYL DECKING DRIP EDGE ON 2x12 FACIA TRIM
- 4 METAL FLASHING ON 2X10 FACIA TRIM
- 5 METAL FLASHING ON 2x6 FACIA TRIM
- 6 2X10 BARGE BOARD
- 7 CONC. FIBRE HORIZONTAL LAP SIDING
- 8 CONC. FIBRE SHINGLE PANELS
- 9 25" FIN. HT. RAILING TO COMPLY WITH B.C.BLDG CODE 9.8.8
- 10 42" FIN. HT. GUARD TO COMPLY WITH B.C.BLDG CODE 9.8.8
- 11 CLADDING ON 6x6 WOOD POST (8x8 FINISHED)
- 12 DECORATIVE BLOCKING
- 13 DECORATIVE KNEE BRACE
- 14 RAFTER TAILS
- 15 ENTRY UNIT (SEE FLOOR PLAN) (SW 6470 WATERSCAPE)
- 16 VINYL WINDOW
- 17 OVERHEAD GARAGE DOOR
- 18 FINISHED GRADE
- 19 LAMINATED ASPHALT SHINGLES
- 20 PRE-FIN ALUMIN. GUTTER ON 2X8 FACIA TRIM



**3 Rear Elevation**  
 A200 Scale: 1/4" = 1'-0"

**4 Left Side Elevation**  
 A200 Scale: 1/4" = 1'-0"

**ISSUED/REVISED**

NO	DATE	DESCRIPTION
1	July 9, 2020	Issued for Review
2	July 6, 2021	Issued for Pre-DP Meeting
3	Sept 22, 2021	Issued for DP Submission Review
4	Oct 13, 2021	Issued for DP Submission
5	Feb 24, 2022	Revisions to DP Submission
6	Jan 09, 2023	Revisions to DP Submission
7	Mar 15, 2023	Revisions to DP Submission
8	Jan 04, 2024	Revisions to DP Submission

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103 - 891 Altree Avenue P. 250.382.7374  
 Victoria, B. C. F. 250.382.7364  
 V9B 0A6 www.victoriadesigngroup.ca

DATE	Jan 4, 2024	DRWG #	8009
DRAWN BY	M.D.K	REVIEWED BY	N.B

**arbor**  
 PARK  
 Development Permit Drawings For:  
 Proposed Townhouse Development  
 Pacific Gold Homes  
 2229 Boxwood Road  
 Lot 1, Block 12 (TYPE B3)  
 Nanaimo B.C.

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 2024-JAN-04

SHEET # **12-A200**



NOTE: REFER TO DRAWINGS BY OTHERS FOR ADDITIONAL INFORMATION SUCH AS SITE GRADING, SITE LIGHTING, RETAINING WALLS, ETC.

- GENERAL NOTES**
1. ALL PLANTING, TREE PIT SOIL VOLUMES, CONSTRUCTION, AND MATERIALS TO BE IN ACCORDANCE WITH CITY OF NANAIMO STANDARDS & SPECIFICATIONS, MICO SPECIFICATIONS & STANDARD DRAWINGS, AND BC NURSERY TRADES. ALL LANDSCAPING WORK TO BE REVIEWED BY CALID SERVICES LTD.
  2. ALL OFFSITE AREAS AFFECTED BY THE WORK ARE TO BE RESTORED TO ORIGINAL OR BETTER CONDITION BY CONTRACTOR AND COMPLETED IN PROMPT MANNER TO MINIMIZE LOCAL DISRUPTION.
  3. CONTRACTOR TO ENSURE POSITIVE DRAINAGE OF ALL LAWNS AND PLANTING AREAS TO AN APPROVED OUTLET. MINIMUM GRADE TO BE 2.0%.
  4. CONTRACTOR TO CONFIRM LOCATION OF AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO INSTALLATION OF ANY OF THE LANDSCAPE WORKS.
  5. CONTRACTOR TO BE REGISTERED WITH WORK SAFE BC AND ALL WORK TO BE CONDUCTED UNDER WORK SAFE BC REGULATIONS AND WORK AREAS TO BE PROTECTED BY APPROVED RIGID CONSTRUCTION FENCING.
  6. EXISTING & PROPOSED UNDERGROUND SERVICES ARE NOT SHOWN ON THIS DRAWING. CONTRACTOR TO CONFIRM THE LOCATION OF ANY UNDERGROUND SERVICES AND COORDINATE WITH APPLICABLE UTILITIES PRIOR TO ANY EXCAVATIONS.
  7. FOR ANY AMBIGUITIES IN SPECIFICATIONS THE MOST CONSERVATIVE/ROBUST SPECIFICATIONS SHALL GOVERN.
  8. CONTRACTOR TO NOTIFY CALID SERVICES LTD. IMMEDIATELY OF ANY CONFLICTS OR DISCREPANCIES.
  9. THE CONTRACTOR IS SOLELY RESPONSIBLE TO ENSURE THEIR CREW HAS THE MOST CURRENT LANDSCAPE DRAWINGS IN THE FIELD.
  10. AUTOMATIC IRRIGATION SYSTEM C/W METER, RAIN-DELAY & TIMER REQUIRED FOR ALL TREES, LAWNS & PLANTING BEDS. SYSTEM IS TO MEET ALL APPLICABLE REQUIREMENTS ON THE CITY OF NANAIMO'S IRRIGATION STANDARDS & SPECIFICATIONS.
  11. 150mm SCHEDULE 40 PVC IRRIGATION SLEEVES REQUIRED AT ALL DRIVEWAYS, WALLS, SIDEWALKS, ETC.

**PROP. FENCING**



- (B) CRUSHED ROCK SURFACED SIDEYARD STORAGE AREA. (CEDAR FENCE & GATE FOR AREAS ALONG STRATA ROAD).
- (C) PLANTING AREA C/W HEDGE AT PROPERTY LINE, NATIVE SHRUBS & COLUMNAR ACCENT TREES.
- (D) PLANTING BED C/W COLUMNAR FORM DECIDUOUS TREE & ACCENT PLANTING BELOW, TYPICAL.
- (E) PRIVATE PATIO BY OTHERS. REFER TO ARCHITECTURAL PLANS FOR INFORMATION, TYPICAL.
- (F) 1.8m H.L. CEDAR PANEL FENCE (DESIGN BY OTHERS).
- (G) 2.0m WIDE CONCRETE COMMUNITY ACCESS PATH, REFER TO CIVIL ENGINEERING PLANS FOR DETAILED INFORMATION.
- (H) LARGE DECIDUOUS SHADE TREE. (OCTOBER GLORY MAPLE)
- (J) DECORATIVE METAL FENCE (POWDER COAT BLACK) C/W GATES AT ENTRANCE WALKWAYS. (DESIGN BY OTHERS)
- (K) DRIVEWAY, TYPICAL. (DESIGN BY OTHERS).
- (L) PLANTING BED AT PROJECT SIGN (DESIGN BY OTHERS) C/W FLOWERING ACCENT PLANTS.
- (M) PLANTING BED C/W SMALL FLOWERING TREE & HEDGE ALONG DECORATIVE METAL FENCE, TYPICAL.
- (N) AMENITY SPACE C/W UNIT PAVEMENT WALKWAY, BENCHES & SOO LAWN.
- (O) PLANTING AREA C/W EVERGREEN HEDGE, ACCENT PLANTS & CLIMBING VINES.
- (P) BIKE RACK
- (Q) COLUMNAR FORM DECIDUOUS TREE. (TULIP TREE)
- (R) SCHEMATIC BC HYDRO PMT LOCATION, NO TREES OR SHRUB PLANTINGS TO BE WITHIN 1.0m OF PMT AS PER BC HYDRO STANDARDS. UNIT PAVEMENT AREA REQUIRED IN FRONT OF PMT FOR MAINTENANCE ACCESS.
- (S) PROPOSED LIGHT BOLLARDS, SCHEMATIC ONLY. DEVELOPER'S ELECTRICAL ENGINEERING CONSULTANT TO PROVIDE DETAILED SITE LIGHTING DESIGN AT BUILDING PERMIT STAGE.
- (T) WOOD TRAIL MARKER STYLE WAY FINDING SIGNAGE AT WALKWAY ENTRANCE TO NANAIMO STANDARDS.
- (U) 1.2m H.L. BLACK CHAIN LINK FENCE ON RETAINING WALL, DESIGN BY OTHERS.
- (V) VISITOR PARKING AREA C/W PERMEABLE PAVING, ABBOTSFORD CONCRETE PAVERS IN HARVEST COLOUR (OR APPROVED EQUAL).

LANDSCAPE PLAN SCALE 1:250

REF. NO.	REFERENCE DRAWINGS	DATE

LEGEND	
	PROP. TREES
	SHRUBS
	PROP. CHAINLINK FENCE
	PROP. DECORATIVE METAL FENCE
	PROP. CEDAR FENCE
	PROP. UNIT PAVEMENT AREA
	PROP. CRUSHED ROCK SIDEYARD STORAGE AREA
	PROP. RET. WALL (BY OTHERS)
	CONCRETE DRIVE (BY OTHERS)
	PRIVATE PATIO (BY OTHERS)

REV.	DATE	REVISIONS	BY	APPROVED
7	MAR 08/23	TO NEW MUNICIPAL COMMENTS	DP	
6	DEC 16/22	TO NEW CIVIL PLAN & PMT LOCATIONS	DP	
5	OCT 05/22	TO COORDINATION REVIEW COMMENTS	DP	
4	FEB 24/22	TO DESIGN PANEL COMMENTS	DP	
3	FEB 09/22	DESIGN PANEL PRESENTATION PLAN	DP	
2	OCT 7/21	BUILDING, PATH & RET. WALL CHANGES	DP	
1	JUN 15/21	COMMUNITY PATHWAY CHANGES	DP	

Drawn	Date
	May 20, 2021
Checked	Prepared
	5793
Approved	Scale
	AS NOTED
Designed	By

Arbor Park Townhomes  
Landscape Concept Plan & General Notes  
Client: Pacific Gold Homes Ltd.

202-2790 QUADRA ST.  
VICTORIA, B.C. V8T 4E8  
PHONE: 250-286-6516  
FAX: 250-281-6219  
www.calid.ca

**CALID**  
Services Ltd.

Drawn	Date
Checked	Prepared
Approved	Scale
Designed	By
L1	7

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2022-MAR-28  
CALID PLANNING

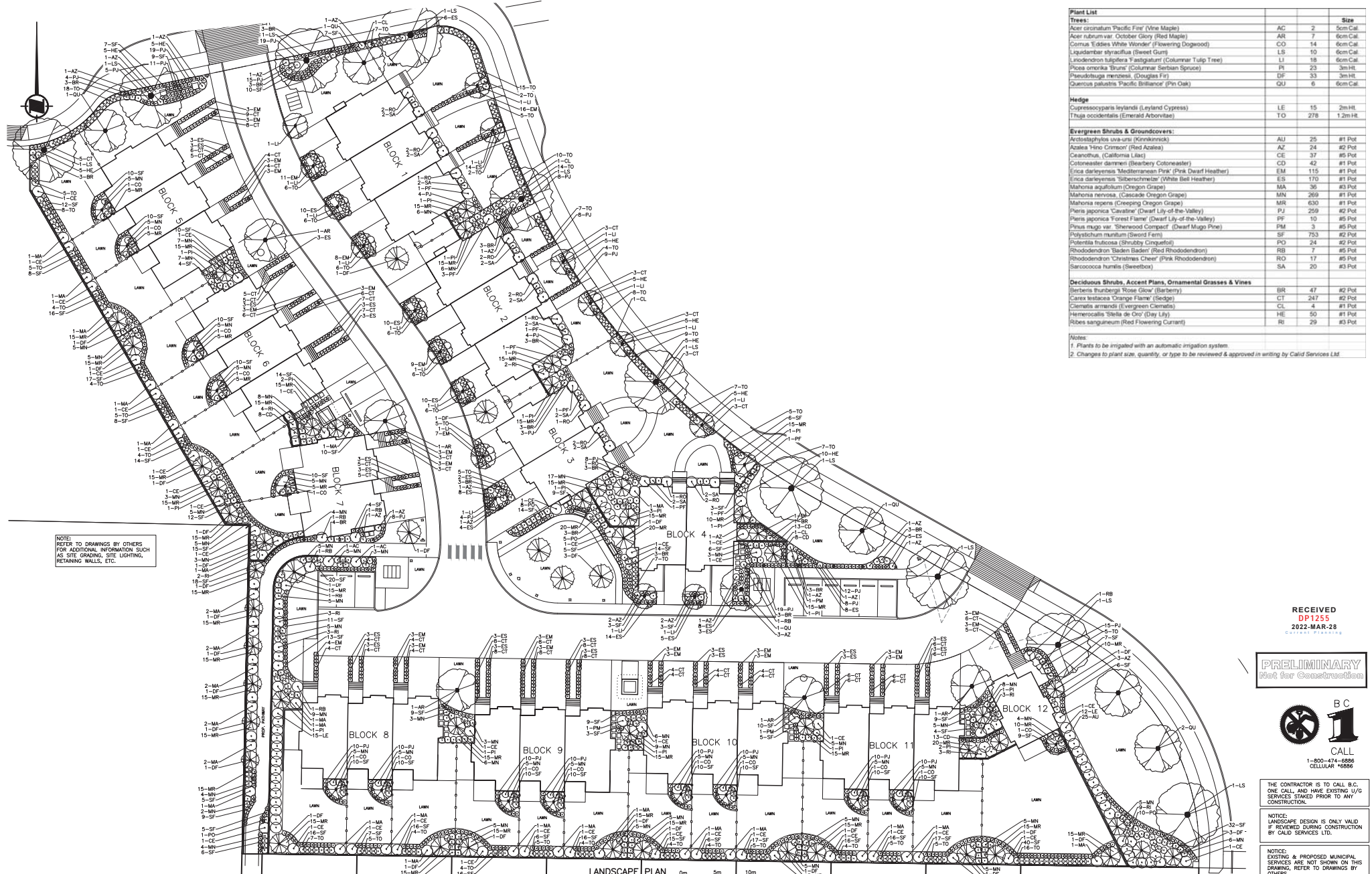
PRELIMINARY  
Not for Construction

BC  
1  
CALL  
1-800-474-6886  
CELLULAR \*6886

THE CONTRACTOR IS TO CALL B.C. ONE CALL, AND HAVE EXISTING U/G SERVICES STAKED PRIOR TO ANY CONSTRUCTION.

NOTICE: LANDSCAPE DESIGN IS ONLY VALID IF REVIEWED DURING CONSTRUCTION BY CALID SERVICES LTD.

NOTICE: EXISTING & PROPOSED MUNICIPAL SERVICES ARE NOT SHOWN ON THIS DRAWING; REFER TO DRAWINGS BY OTHERS.



NOTE:  
REFER TO DRAWINGS BY OTHERS  
FOR ADDITIONAL INFORMATION SUCH  
AS SITE GRADING, SITE LIGHTING,  
RETAINING WALLS, ETC.

Plant List			
Tree:	Code	Quantity	Size
Acer cratum Pacific Four (Vine Maple)	AC	2	5cm Cal
Acer rubrum var. October Glory (Red Maple)	AR	7	6cm Cal
Cornus Eddies White Wonder (Flowering Dogwood)	CO	14	6cm Cal
Liquidambar styraciflua (Sweet Gum)	LS	10	6cm Cal
Lindodendron tulipifera 'Fastigiatum' (Columnar Tulip Tree)	LT	18	6cm Cal
Phlox oregona 'Blunt' (Columnar Serbian Spruce)	PH	23	3m Ht
Pseudotsuga menziesii (Douglas Fir)	DF	33	3m Ht
Quercus palustris Pacific Brilliance (Pin Oak)	QU	6	6cm Cal
Hedge			
Cupressocyparis leylandii (Leyland Cypress)	LE	15	2m Ht
Thuja occidentalis (Emerald Arborvitae)	TO	278	1.2m Ht
Evergreen Shrubs & Groundcovers:			
Arctostaphylos uva-ursi (Kinnikinnick)	AU	25	#1 Pot
Azalea Yino Crimson (Red Azalea)	AZ	24	#2 Pot
Caranboth, California Flag	CE	37	#5 Pot
Cotoneaster dammeri (Savatary Cotoneaster)	CD	42	#1 Pot
Erica darleyensis 'Mediterranean Pink' (Pink Dwarf Heather)	EM	115	#1 Pot
Erica darleyensis 'Silbenschnelzer' (White Bell Heather)	ES	170	#1 Pot
Mahonia aquifolium (Oregon Grape)	MA	36	#3 Pot
Mahonia nervosa (Cascadia Oregon Grape)	MN	269	#1 Pot
Mahonia repens (Creeping Oregon Grape)	MR	630	#1 Pot
Pieris japonica 'Cavatine' (Dwarf Lily-of-the-Valley)	PJ	299	#2 Pot
Pieris japonica 'Forest Flame' (Dwarf Lily-of-the-Valley)	PF	10	#5 Pot
Pinus mugo var. 'Shenwood Compact' (Dwarf Mugo Pine)	PM	3	#5 Pot
Polystichum munitum (Sword Fern)	SF	753	#2 Pot
Potentilla fruticosa (Shrubby Cinquefoil)	PO	24	#2 Pot
Rhododendron 'Suden Bader' (Red Rhododendron)	RD	7	#5 Pot
Rhododendron 'Christmas Cheer' (Pink Rhododendron)	RO	17	#5 Pot
Sarcococca humilis (Sweetbox)	SA	20	#3 Pot
Deciduous Shrubs, Accent Plants, Ornamental Grasses & Vines			
Berberis thunbergii 'Rose Glow' (Barberry)	BR	47	#2 Pot
Carex testacea 'Orange Flame' (Sedge)	CT	247	#2 Pot
Clematis armandi (Evergreen Clematis)	CL	4	#1 Pot
Hemerocallis 'Stella de Oro' (Day Lily)	HE	50	#1 Pot
Ribes sanguineum (Red Flowering Currant)	RI	29	#3 Pot
Notes:			
1. Plants to be irrigated with an automatic irrigation system.			
2. Changes to plant size, quantity, or type to be reviewed & approved in writing by Calid Services Ltd.			

RECEIVED  
DP1255  
2022-MAR-28

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Not for Construction



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LEGEND	
	PROP. TREES
	SHRUBS
	PROP. METAL FENCE (BY OTHERS)
	PROP. FENCE (BY OTHERS)
	PROP. CRUSHED ROCK SIDEYARD STORAGE AREA
	PRIVATE PATIO (BY OTHERS)
	PROP. RET. WALL (BY OTHERS)
	CONCRETE DRIVE (BY OTHERS)

REV.	DATE	REVISIONS	BY	APPROVED
7	MAR 08/23	TO NEW MUNICIPAL COMMENTS	DP	
6	DEC 16/22	TO NEW CIVIL PLAN & PMT LOCATIONS	DP	
5	OCT 06/22	TO COORDINATION REVIEW COMMENTS	DP	
4	FEB 24/22	TO DESIGN PANEL COMMENTS	DP	
3	FEB 09/22	DESIGN PANEL PRESENTATION PLAN	DP	
2	OCT 7/21	BUILDING, PATH & RET. WALL CHANGES	DP	
1	JUN 15/21	COMMUNITY PATHWAY CHANGES	DP	

Arbor Park Townhomes  
Preliminary Planting Plan  
Client: Pacific Gold Homes Ltd.

Drawn: [ ] Date: May 20, 2021  
Checked: [ ] Prepared: 5793  
Approved: [ ] Scale: AS NOTED  
Designed: [ ]

2022795 QUADRA ST.  
VICTORIA, B.C. V8T 4E6  
PHONE: 250-286-6916  
FAX: 250-281-6919  
www.calid.ca

Rev. L2 7

Dwg. No.	REFERENCE DRAWINGS	DATE