



**DEVELOPMENT PERMIT NO. DP001254**

**COASTAL SQUARE HOMES INC.**  
Owner(s) of Land (Permittee)

**1641 BOWEN ROAD**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 1, SECTION 14, RANGE 8, MOUNTAIN DISTRICT, PLAN 9164 EXC  
PLAN 37148  
PID No. 005-562-341**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map**  
**Schedule B Site Plan**  
**Schedule C Building Elevations and Details**  
**Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

**CONDITIONS OF PERMIT**

1. The subject property shall be developed in accordance with the Site Plan prepared by CMTC Architect Inc., dated 2023-JUN-06, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by CMTC Architect Inc., dated 2023-MAY-23, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Homing Landscape Architecture, dated 2023-MAY-03, as shown on Schedule D.
4. Registration of a Statutory Right-of-Way (SRW) across, and construction of a stormwater service through 200 Hansen Road prior to building occupancy should this not be constructed by others at the time of building permit issuance.

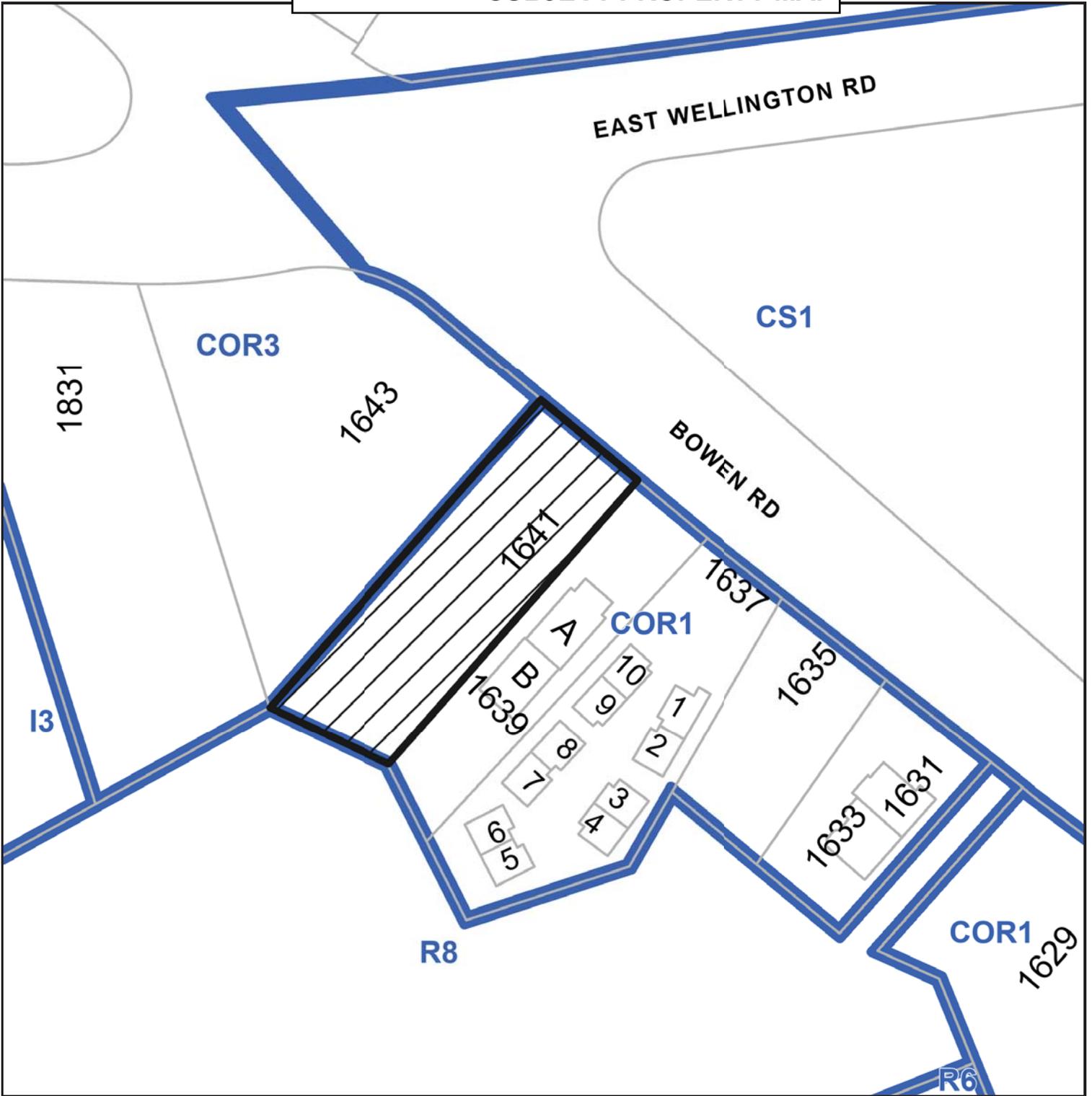
REVIEWED AND APPROVED ON

2023-07-5  
Date

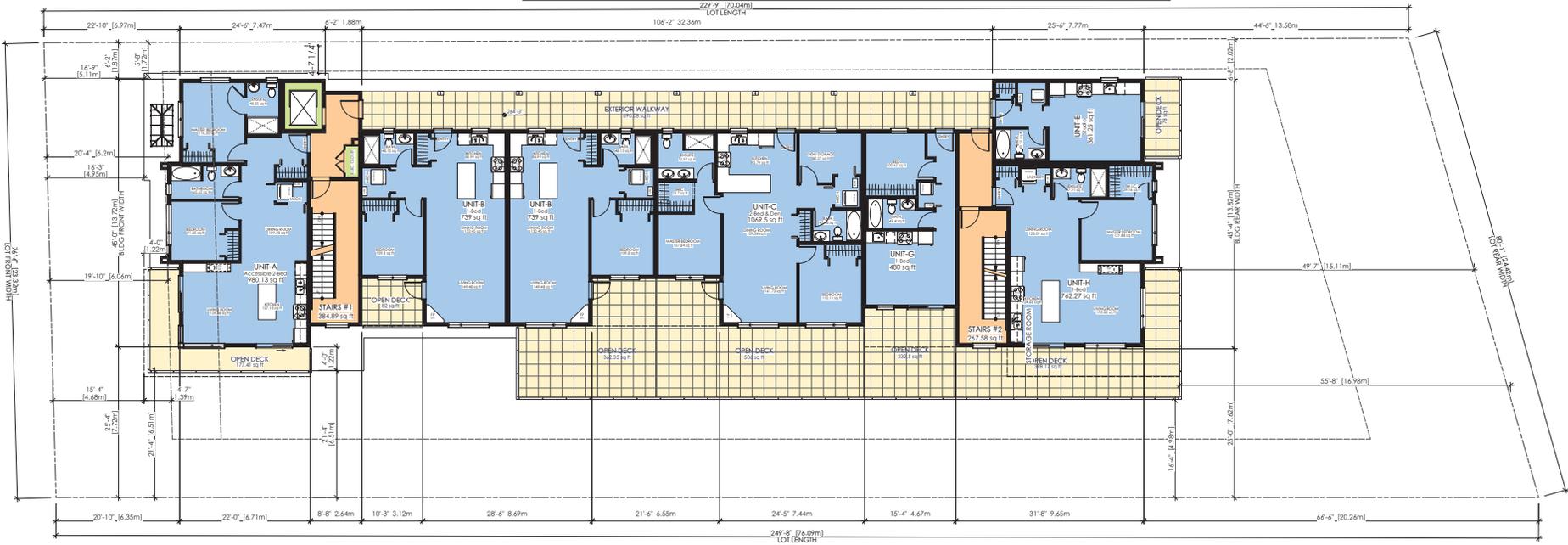
D. Lindsay  
D. Lindsay, General Manager of Development Services / Deputy CAO  
**Community Development**  
Pursuant to Section 154 (1)(b) of the Community Charter

LR/cc  
Prospero attachment: DP001254

**SUBJECT PROPERTY MAP**



1641 BOWEN ROAD



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REVISIONS:

NO.	DATE	DESCRIPTION
1	May 4th 2021	Issue For Client Review
2	June 10th 2021	Issue For Client Review
3	July 21st 2021	For Client Approval
4	July 26th 2021	For Pre Application
5	Aug 17th 2021	For Client Review
6	Aug 24th 2021	For Coordination
7	Nov 5th 2021	Issue For DP
8	Dec 9th 2022	For Client Review
9	Dec 22nd 2022	Re-issue for DP

NOT FOR CONSTRUCTION

REVISIONS:

SCALE:



CMTC ARCHITECT INC.  
3440 E GEORGIA ST.  
VANCOUVER, BC  
V6K 2J7  
604.563.2669  
1778.869.1525  
CHRIS@CMTCArchitect.ca

RECEIVED  
**BOWEN RD. APARTMENTS**  
RECEIVED  
DP1254  
2023-JUN-06  
1641 Bowen Rd. Nanaimo BC V9S 1G7

DESIGNED: C.C. DATE: Jun 6, 2023

DRAWN: CC/JN REVISIONS: CC

SCALE: AS NOTED PROJECT NO.: 21-1641

SHEET TITLE: FLOOR PLANS

REVISION NO.: SHEET NO.: **A-3**

Development Permit No. DP001254 Schedule C  
 1641 Bowen Road  
**BUILDING ELEVATIONS AND DETAILS**



**MATERIAL BOARD**


**MATERIAL LEGEND**

- HARDIE CLADDING - ARCTIC WHITE
- WOOD FASCIA W. METAL FLASHING CAP
- CONCRETE WALL FOUNDATION - GREY
- WOOD TRELLIS
- METAL PRIVACY SCREEN
- VINYL WINDOW - DARK GREY FRAME
- EXTERIOR ENTRY DOOR - FIBREGASS PAINTED DARK GREY
- EXIT DOOR - HOLLOW METAL PAINTED GREY
- VENTILATION OPENINGS - METAL SCREENING PAINTED GREY
- PAINTED WOOD TRIM - STAFFORN 0853
- RAILING - METAL PAINTED GREY W. SAFETY GLASS PANELS
- PAINTED WOOD TRIM - DARK GREY
- PATIO DOOR - FIBREGASS PAINTED DARK GREY
- GARAGE DOOR - METAL PAINTED BLACK
- VINYL HORIZONTAL SIDING - COASTAL BLUE
- CORRUGATED METAL CLADDING - GALVALUM
- STORE FRONT ENTRY DOOR - DARK GREY FRAME
- HARDIE PANELS - CAMBRIDGE WHITE
- METAL SCREENING WITH 42" HIGH GUARD RAIL
- 6" HIGH METAL SCREENING

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7	Nov 5th 2021	Issue For DP
9	Dec 22nd 2022	Re-issue for DP

NOT FOR CONSTRUCTION

REVISIONS:

SEAL:

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**CMTc ARCHITECT INC.**  
 3440 E GEORGIA ST.  
 VANCOUVER, BC  
 V6K 2J7  
 604 563 2660  
 778 869 1525  
 CHRIS@CMTCARCHITECT.CA

PROJECT:

**BOWEN RD. APARTMENTS**

RECEIVED  
**DP1254**  
 2023-MAY-23

1641 Bowen Rd. Nanaimo BC V9S 1G7

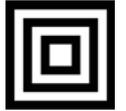
DESIGNED:	DATE:
C.C.	May 23, 2023
DRAWN:	REVIEWED:
CC/JN	CC
SCALE:	PROJECT NO.:
	21-1641

SHEET TITLE:

**BLDG ELEVATIONS**

REVISION NO.:	SHEET NO.:
	<b>A-8</b>

Development Permit No. DP001254 Schedule D  
 1641 Bowen Road  
**LANDSCAPE PLAN AND DETAILS**



**HOMING  
 LANDSCAPE  
 ARCHITECTURE**

ADDRESS: 1425 11TH AVENUE  
 VANCOUVER, BC, CANADA V6H 1K9  
 CELL: 778-323-3538  
 EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT RESERVED. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

Revisions

NO.	Date	Note
A	2021-11-10	ISSUED FOR DP
B	2022-02-04	REISSUED FOR DP
C	2022-08-09	ISSUED FOR DP
D	2022-12-19	ISSUED FOR DP
E	2023-03-31	ISSUED FOR DP
F	2023-05-03	ISSUED FOR DP

**1641  
 BOWEN ROAD**

PROJECT ADDRESS:  
 1641 BOWEN ROAD,  
 NANAIMO, BC, CANADA

PROJECT NUMBER: 21-15

SCALE: 3/32"=1'0"(1:128)

DRAWN BY: EL

REVIEWED BY: EL

**GROUND LEVEL  
 LANDSCAPE PLAN**

L1.0

**LANDSCAPE LEGENDS**

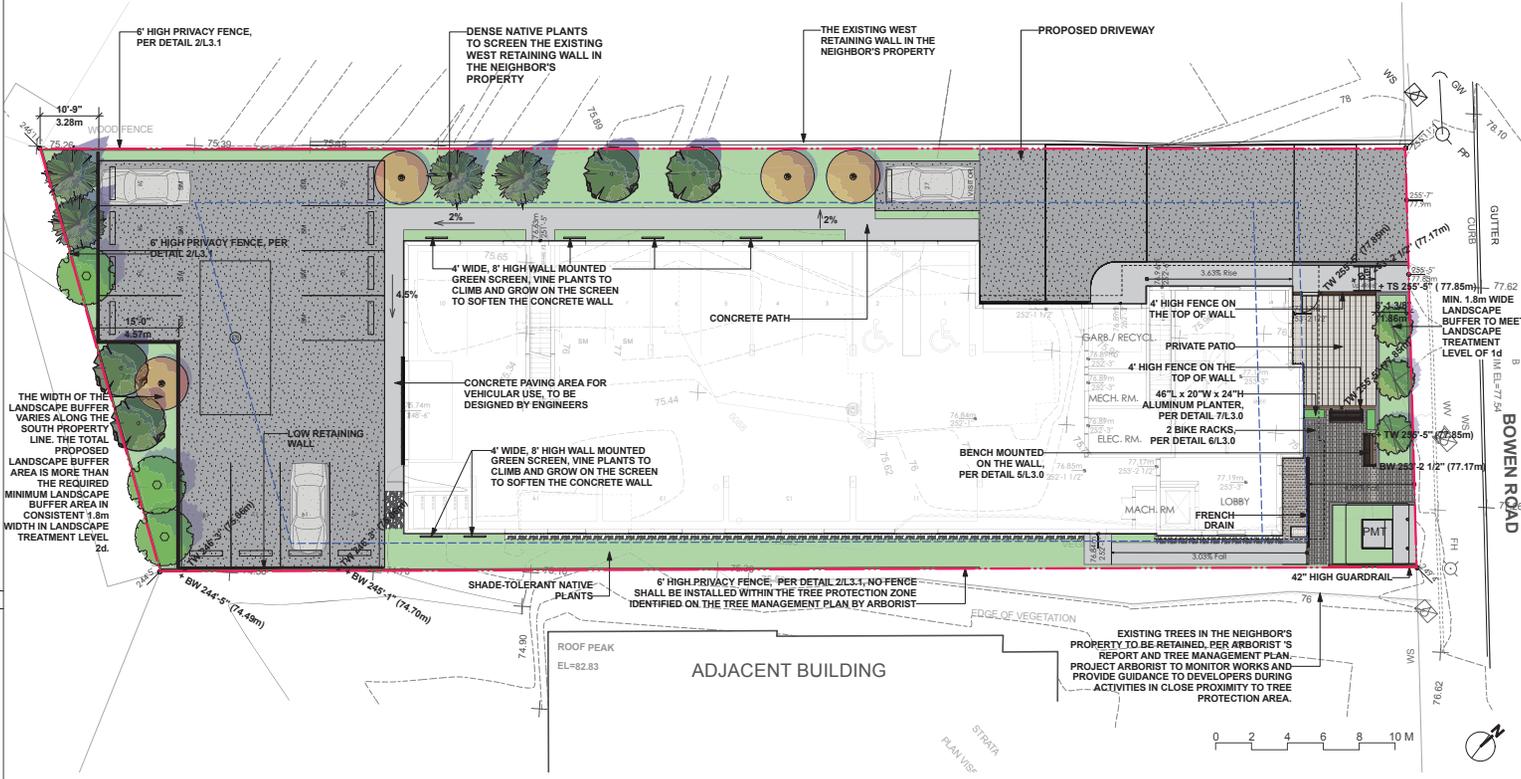
SYMBOL	MATERIALS	DETAILS
[Pattern]	CONCRETE UNIT PAVERS	2/L3.0
[Pattern]	CONCRETE SLAB PAVING 457mm x 457mm	3/L3.0
[Pattern]	GRAVEL DRAIN STRIP	4/L3.0
[Pattern]	CIP CONCRETE PAVING	1/L3.0
[Pattern]	CONCRETE PLANTERS	
[Pattern]	METAL PLANTER	7/L3.0
[Pattern]	PLANTING BED	2/L3.2
[Pattern]	BENCH	5/L3.0
[Pattern]	BIKE RACK	6/L3.0
[Pattern]	CONCRETE STAIR WITH HANDRAIL	1/L3.1

- LANDSCAPE NOTES**
- DO NOT SCALE DRAWINGS.
  - LAYOUT DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT DRAWINGS.
  - ALL EXISTING INFORMATION APPROXIMATE ONLY. VERIFY ALL EXISTING GRADES AND DIMENSIONS WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
  - THE CONTRACTOR IS TO PROTECT ALL EXISTING UTILITIES, HARD SURFACES, STRUCTURES, WALLS, AND TREES FOR DURATION OF CONSTRUCTION.
  - REPAIR OR REMOVE AND REPLACE - EXISTING LANDSCAPE WORKS AS REQUIRED TO MATCH PRE-EXISTING CONDITIONS - AT LIMIT OF WORK LINE, TYPICAL.
  - THE LOCATION OF ALL PROPOSED HARDSCAPE AND SITE FURNISHINGS ARE TO BE FLAGGED OUT ONSITE BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
  - ALL OFF-SITE WORKS TO CONFORM TO CITY OF NANAIMO STANDARDS.
  - LAYOUT OF ALL OFF-SITE WORKS, INCLUDING FURNISHINGS, PATHWAYS, WALLS, PLANTING, ETC., TO BE CONFIRMED WITH CITY OF NANAIMO PRIOR TO INSTALLATION.

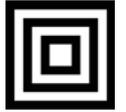
**LANDSCAPE GRADING LEGENDS**

SYMBOL	DESCRIPTION
+ 251' (76.5m)	SPOT ELEVATION
+ TW 255'-5" (77.85m)	TOP OF WALL ELEVATION
+ BW 252'-8 1/2" (77.02m)	BOTTOM OF WALL ELEVATION
+ TS 254'-3" (77.50m)	TOP OF STAIR ELEVATION
+ BS 252'-7" (76.99m)	BOTTOM OF STAIR ELEVATION
4.99%	SLOPE PERCENTAGE
252'-8 1/2" (77.02m)	SPOT ELEVATION, PER ARCHITECTURAL

- LANDSCAPE GRADING NOTES**
- DO NOT SCALE DRAWINGS.
  - ALL GRADING INFORMATION IS PRELIMINARY ONLY.
  - REFER TO CIVIL DRAWINGS OFF-SITE ROAD AND SIDEWALK GRADING INFORMATION.
  - REFER TO ARCHITECTURAL DRAWINGS FOR BUILDING ELEVATIONS.
  - ALL EXISTING SURVEY INFORMATION APPROXIMATE. VERIFY ALL EXISTING GRADES WITH SITE CONDITIONS. REPORT DISCREPANCIES TO CONSULTANT TEAM PRIOR TO PROCEEDING.
  - UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS AND TO DRAINAGE STRUCTURES. SOFT LANDSCAPE AREAS TO BE A MAXIMUM 3:1 SLOPE.



RECEIVED  
 DP1254  
 2023-MAY-04



**HOMING  
LANDSCAPE  
ARCHITECTURE**

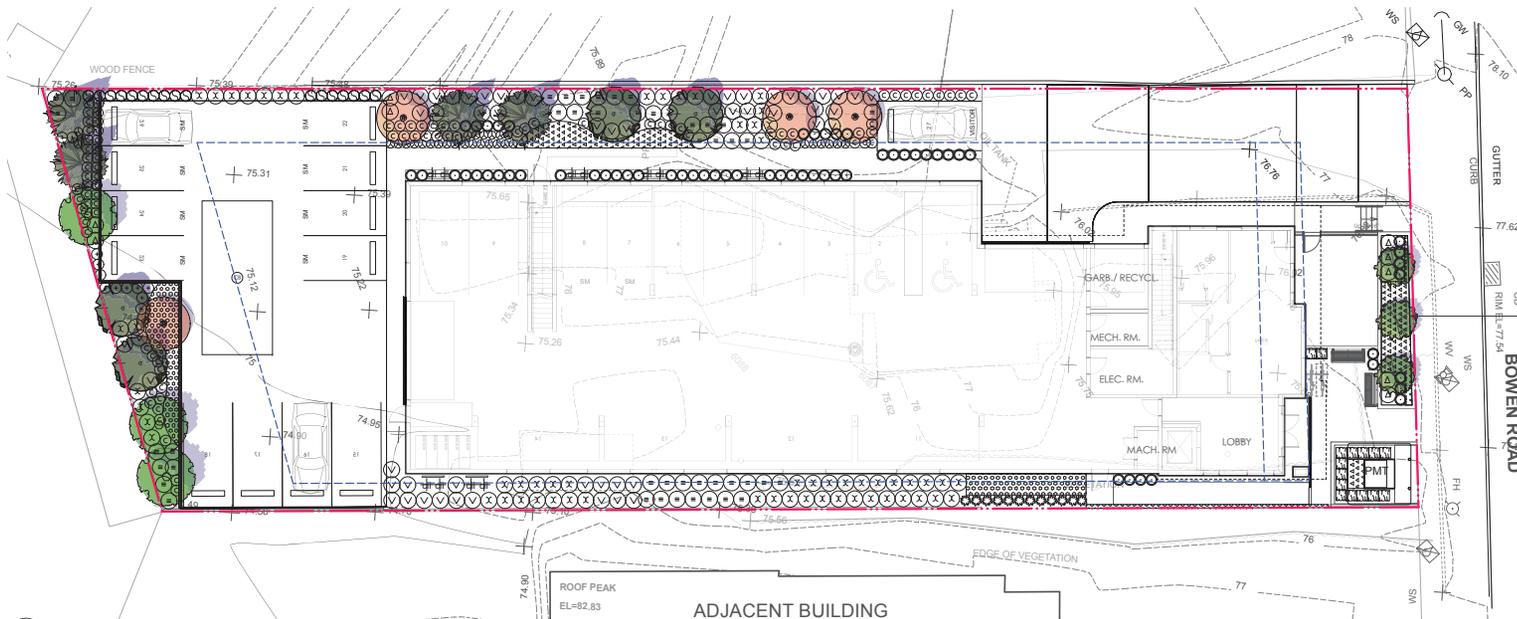
ADDRESS: 1423 W11TH AVENUE  
VANCOUVER, BC, CANADA V6H 1K9  
CELL: 778-323-3538  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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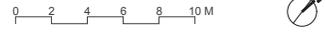
ADD (3) STYRAX JAPONICUS (JAPANESE SNOWBELL) TREES PIER DAP COMMENTS.

**Revisions**

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**1 LANDSCAPE PLANTING PLAN - GROUND LEVEL**  
Scale: SCALE: 3/32"=1'0" (1:128)



**PLANT LIST**

QTY.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>TREES</b>				
4	Acer Palmatum Note: replacement trees on the ground level	Japanese Maple	6cm cal., B&B	as shown
3	Cornus nuttallii Note: replacement trees on the ground level	Pacific Dogwood	6cm cal., B&B	as shown
4	Pinus contorta var. contorta Note: replacement trees on the ground level	Shore Pine	1.5m height	as shown
4	Tsuga heterophylla Note: replacement trees on the ground level	Western Hemlock	1.5m height	as shown
3	Styrax japonicus Note: replacement trees on the ground level	Japanese Snowbell	6cm cal., B&B	as shown



**SHRUBS**

89	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red-Osier Dogwood	#2 pot	24" o.c.
54	Rhododendron albiflorum	White-flowered Rhododendron	#3 pot	36" o.c.
9	Rhododendron 'Crete'	Pink Rhododendron	#3 pot	36" o.c.
12	Mahonia aquifolium	Oregon Grape	#2 pot	24" o.c.
62	Sarcococca hookeriana humilis	Himalayan Sweet Box	#2 pot	24" o.c.
17	Spiraea bumulda 'Goldflame'	Goldflame Spiraea	#2 pot	24" o.c.
60	Gaultheria shallon	Salal	#2 pot	36" o.c.
44	Symphoricarpos albus	Snowberry	#2 pot	36" o.c.
30	Dicentra formosa	Western bleeding heart	#1 pot	18" o.c.
15	Taxus x media 'Hicksii'	Hick's Yew	0.9m height	36" o.c.
12	Blechnum spicant	Deer Fern	#1 pot	24" o.c.

**GROUND COVERS**

138	Pachysandra terminalis	Japanese pachysandra	4"(10cm) pot	15" o.c.
150	Oxalis oregana	Redwood Sorrel	4"(10cm) pot	15" o.c.

**VINES**

12	Clematis ligusticifolia	Western White Clematis	#1 pot	24" o.c.
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**NOTES:**

- 1) In case of discrepancy between plant numbers on this list and on the plan, the latter shall prevail.
- 2) All planting shall be in accordance with CSLA Landscape Standard, latest edition.
- 3) All planting beds to be installed with 2" (50mm) mulch per specifications.
- 4) Street trees species and locations to be confirmed by the City of Nanaimo before installation.
- 5) Most plant materials to be native plants, any substituted plants shall be native plants and approved by landscape architect before order and installation.

**1641  
BOWEN ROAD**

PROJECT ADDRESS:  
1641 BOWEN ROAD,  
NANAIMO, BC, CANADA

PROJECT NUMBER: 21-15

SCALE: 3/32"=1'0" (1:128)

DRAWN BY: EL

REVIEWED BY: EL

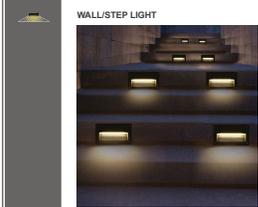
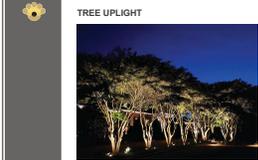
**LANDSCAPE  
PLANTING PLAN**

RECEIVED  
DP1254  
2023-MAY-04

L1.1

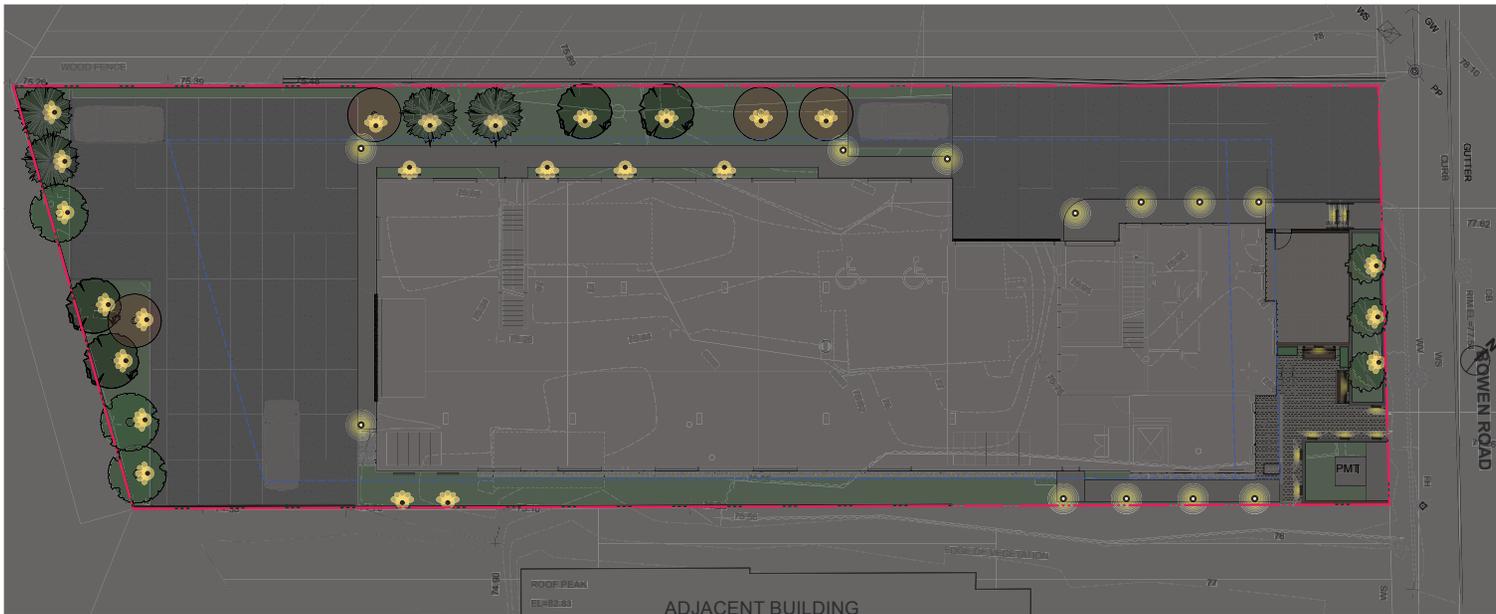
**LANDSCAPE LIGHTING LEGENDS**

SYMBOL MATERIALS

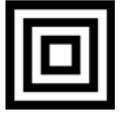


**LIGHTING NOTES**

1. LIGHTING PLANS PROVIDED FOR INFORMATION ONLY. ALL EXTERIOR LIGHT FIXTURES, QUANTITIES, AND LOCATIONS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
2. CONTRACTOR TO COORDINATE RECESSED FORMING, ELECTRICAL CONDUIT AND LOCATION LOGISTICS WITH OTHER TRADES AS REQUIRED.
3. SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY THE CLIENTS PRIOR TO ORDERING AND INSTALLATION.
4. ALL EXTERIOR LIGHT FIXTURE LOCATIONS TO BE STAKED BY CONTRACTOR AND APPROVED BY THE CLIENTS AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. CONTRACTOR TO ENSURE ALL LIGHTING WIRE AND FIXTURES MUST BE INSTALLED TO MEET THE LOCAL ELECTRICAL REGULATIONS AND SAFETY REQUIREMENTS.



**1 CONCEPTUAL LANDSCAPE LIGHTING PLAN - GROUND LEVEL**  
Scale: SCALE: 3/32"=1'0" (1:128)



**HOMING  
LANDSCAPE  
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE  
VANCOUVER, BC, CANADA V6H 1K9  
CELL: 778-523-3538  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

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**Revisions**

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BOWEN ROAD**

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SCALE: 3/32"=1'0"(1:128)

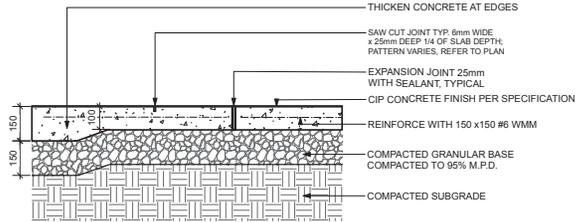
DRAWN BY: EL

REVIEWED BY: EL

**CONCEPTUAL  
LANDSCAPE  
LIGHTING PLAN**

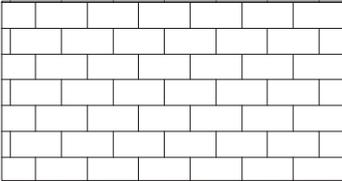
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DP1284  
2023-MAY-04

L2.0

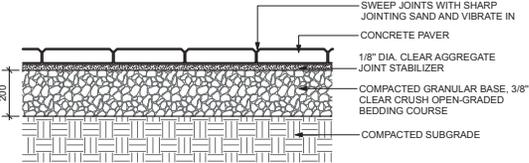


NOTES:  
 1. EXPANSION JOINTS 6m O.C. MAX, CONTROL JOINTS @ 1.5m O.C. ADJUST TO SUIT SITE LAYOUT PLAN.  
 2. ALL SCORELINES TO BE APPROVED BY LANDSCAPE ARCHITECT ON-SITE PRIOR TO INSTALLATION.

**1 CIP CONCRETE ON GRADE (TYPICAL)**  
 Scale: 1:10

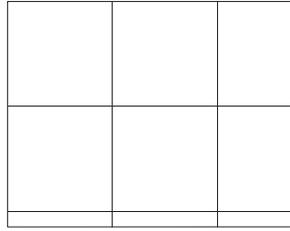


PLAN  
**CLASSIC STANDARD PAVERS - STANDARD SIZE BY ABBOTSFORD CONCRETE**  
 (1-800-663-4091)  
 DIMENSIONS: STANDARD 225(L) x 112.5(W) x 60(T) mm (8-7/8" x 4-7/16" x 2-3/8")  
 PATTERN: RUNNING BOND  
 COLOUR: CHARCOAL

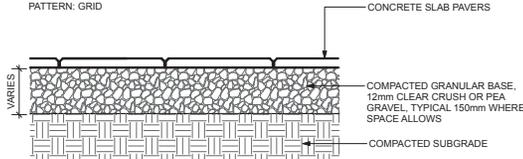


NOTE:  
 USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

**2 CONCRETE UNIT PAVING ON GRADE**  
 Scale: 1:10

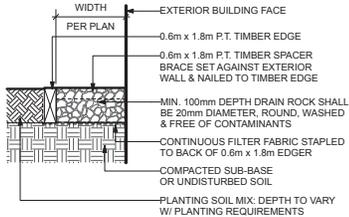


PLAN  
**TEXADA HYDRAPRESSED SLABS BY ABBOTSFORD CONCRETE PRODUCTS (1-800-663-4091)**  
 DIMENSIONS: 457 mm x 457 mm x 40 mm  
 COLOUR: NATURAL  
 PATTERN: GRID



NOTE:  
 1. USE CONCRETE HIDDEN EDGE RESTRAINT WHEN PAVERS ARE NOT ADJACENT TO A SOLID EDGE CONDITION.

**3 CONCRETE SLAB PAVING ON GROUND LEVEL PATIO**  
 Scale: 1:10



NOTE: ALL LUMBER SIZES ARE SHOWN AS NOMINAL

**4 GRAVEL DRAIN STRIP - ON GRADE**  
 Scale: 1:10



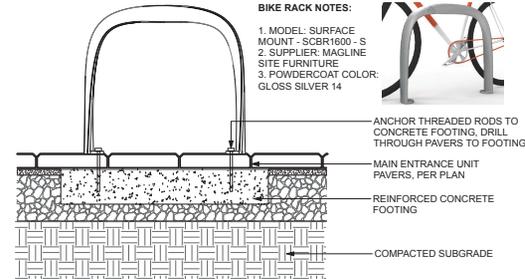
Model: Generation 50 bench, backed, 72in length, straight cut face board, wall mount support, angled end arms

Powdercoated Metal(Metallic) Color: Steel

Woodgrains (Exterior): Ipe (P)

Supplier: landscapetforms (800.430.6209)

**5 BENCH MOUNTED ON THE WALL**  
 N/A



NOTE:  
 PER SUPPLIER FOR SPECIFICATIONS AND INSTALLATIONS.

**6 BIKE RACK AT MAIN ENTRY**  
 Scale: 1:10



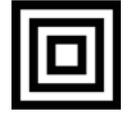
Model: Wide Rectangle Aluminum Planter

Standard Powder Coat Color: Metallic Silver

Size: 46"L x 20"W x 24"H

Supplier: Green Theory (604 475 7002)

**7 ALUMINUM PLANTER**  
 N/A



**HOMING  
 LANDSCAPE  
 ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE  
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PROJECT NUMBER: 21-15

SCALE: AS SHOWN

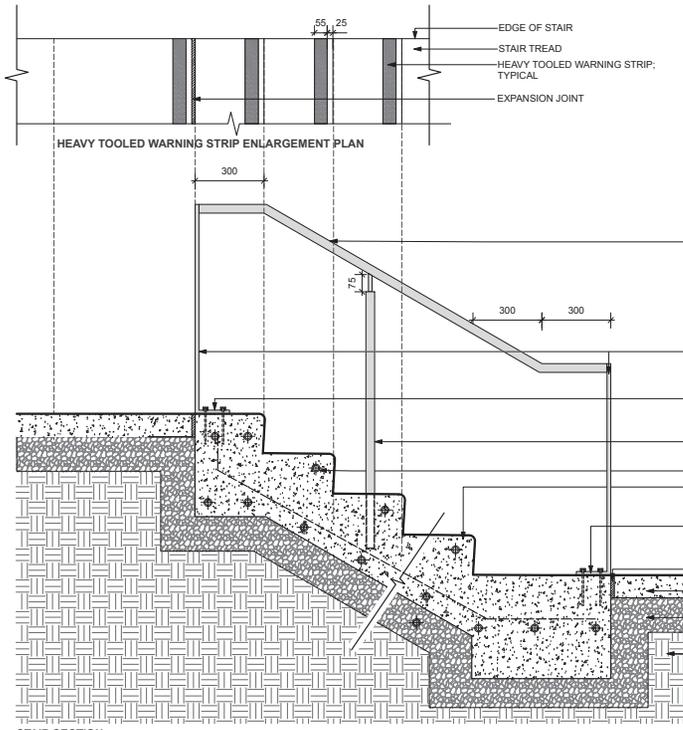
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REVIEWED BY: EL

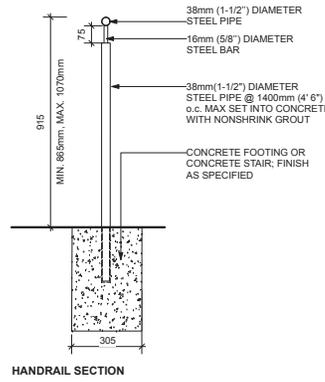
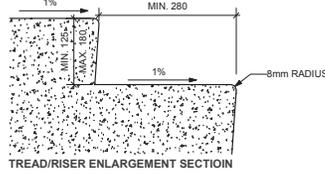
**HARDSCAPE &  
 FURNISHING  
 DETAILS**

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 DP1234  
 2023-MAY-04

L3.0



- NOTES:**
1. FOR NUMBER OF RISERS SEE LAYOUT DRAWINGS / SECTIONS.
  2. RISE OF STAIRS TO BE BETWEEN 125mm AND 180mm MAX. RISE AND RUN SHALL NOT ALTER IN ONE STAIR FLIGHT.
  3. GRIND ALL WELDS SMOOTH.
  4. ALL HARDWARE TO BE NO. 28 MATTE FINISH STAINLESS STEEL UNLESS OTHERWISE SPECIFIED.
  5. HANDRAIL POST TO BE EMBEDDED IN CONCRETE FOOTING MIN 150mm; OR EMBEDDED INTO CONCRETE STAIRS.
  6. SHOP DRAWINGS TO BE PROVIDED BY CONTRACTOR.



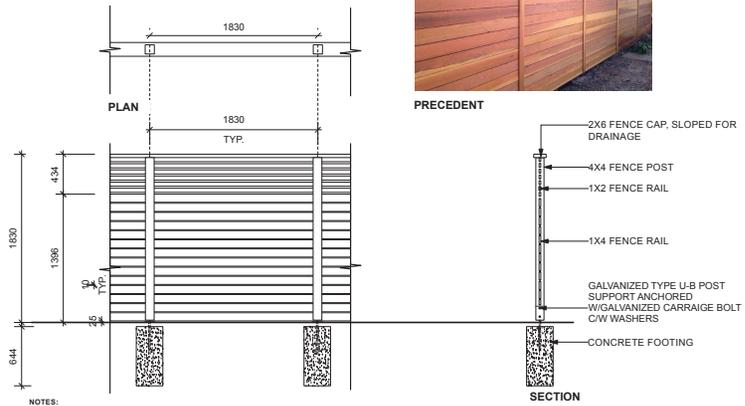
**1 STAIR & HANDRAIL**  
Scale: 1:10



PRECEDENT IMAGE



PRECEDENT



- NOTES:**
1. ALL WOOD EXPOSED TO VIEW SHALL BE C AND BETTER CLEAR CEDAR.
  2. ALL WOOD SHALL BE STRAIGHT, SOUND, AND FREE OF SPLITS, WARPS, CRACKS, LARGE KNOTS, AND OTHER DEFECTS.
  3. WOOD PRESERVATIVE TO BE USED SHALL BE OLYMPIC MAXIMUM WATERPROOFING SEALANT, "CEDAR TINT".
  4. ALL CUTS TO BE SQUARE AND CLEAN.
  5. ALL METAL FIXTURES TO BE GALVANIZED (OR WHERE NOTED - STAINLESS STEEL).
  6. ALL STRUCTURAL FASTENERS TO BE GALVANIZED CARRIAGE BOLTS (IE. TRELIS, AND GATE).

**2 6' HIGH WOOD PRIVACY SCREEN**  
Scale: 1:25

**HOMING  
LANDSCAPE  
ARCHITECTURE**  
ADDRESS: 1423 W11TH AVENUE  
VANCOUVER, BC, CANADA V6H 1K9  
CELL: 778-223-3538  
EMAIL: HOMINGLANDSCAPE@GMAIL.COM

DO NOT SCALE THE DRAWINGS. COPYRIGHT RESERVED. IF A DISCREPANCY OCCURS BETWEEN THE DRAWINGS AND THE SPECIFICATIONS OR ANY OTHER DOCUMENT ASSOCIATED WITH THE PROJECT, THE CONFLICT SHALL BE REPORTED IN WRITING TO THE LANDSCAPE ARCHITECT TO OBTAIN CLARIFICATION AND APPROVAL BEFORE PROCEEDING WITH WORKS.

Revisions		
NO.	Date	Note
A	2021-11-10	ISSUED FOR DP
B	2022-02-04	REISSUED FOR DP
C	2022-08-09	ISSUED FOR DP
D	2022-12-19	ISSUED FOR DP
E	2023-03-31	ISSUED FOR DP
F	2023-05-03	ISSUED FOR DP

**1641  
BOWEN ROAD**

PROJECT ADDRESS:  
1641 BOWEN ROAD,  
NANAIMO, BC, CANADA

PROJECT NUMBER: 21-15

SCALE: AS SHOWN

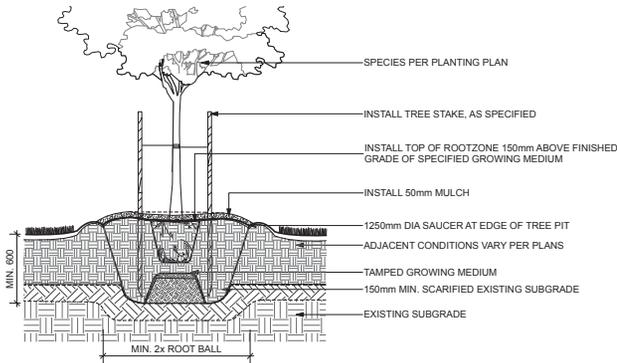
DRAWN BY: EL

REVIEWED BY: EL

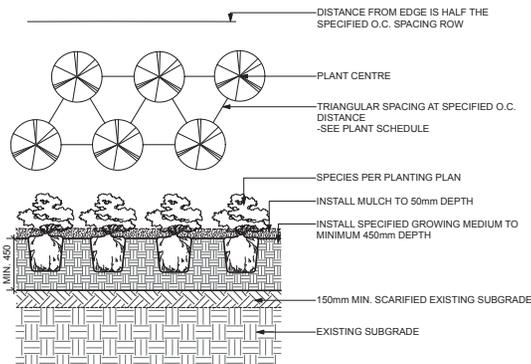
**FURNISHING  
DETAILS**

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DP1254  
2023-MAY-04  
COURT PLANNING

L3.1



**1 DECIDUOUS TREE PLANTING ON GRADE (TYPICAL)**  
Scale: 1:20

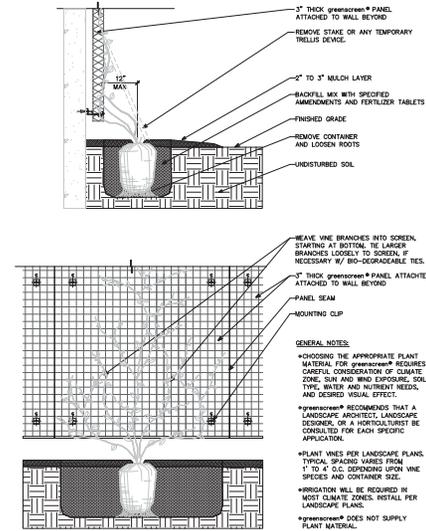


**2 PLANTING ON GRADE (TYPICAL)**  
Scale: 1:20



Greenscreen Trellis System by Greenscreen (800.450.3494)

**3 GREENSCREEN TRELLIS AND VINE PLANTING**  
N/A



**HOMING  
LANDSCAPE  
ARCHITECTURE**

ADDRESS: 1423 W11TH AVENUE  
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CELL: 778-323-3538  
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PROJECT ADDRESS:  
1641 BOWEN ROAD,  
NANAIMO, BC, CANADA

PROJECT NUMBER: 21-15

SCALE: AS SHOWN

DRAWN BY: EL

REVIEWED BY: EL

**SOFTSCAPE DETAIL**

RECEIVED  
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2023-MAY-04

L3.2