



DEVELOPMENT PERMIT NO. DP001249

BLACK SHEEP VENTURES INC.
Name of Owner(s) of Land (Permittee)

1030 OLD VICTORIA ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**BLOCK B, SECTION 1, NANAIMO DISTRICT, PLAN 1748, EXCEPT PART
IN PLANS 35164 AND VIP66021**

PID No. 006-910-661

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site And Parking Plan
Schedule C Building Elevations And Details
Schedule D Landscape Plan And Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in the event of conflict.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 13.4.1 Siting of Buildings* – to reduce the minimum required front yard setback (along the Island Highway) from 6.0m to 3.75m as shown on Schedule B.
2. *Section 13.4.2 Siting of Buildings* – to reduce the minimum required side yard setback abutting a residential zoned property from 7.5m to 3.75m as shown on Schedule B.

CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site and Parking Plans, prepared by Com-Tech Drafting and Design Services, dated 2022-SEP-18, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Com-Tech Drafting and Design Services, dated 2022-AUG-09, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by LADR Landscape Architects Inc. and Com-Tech Drafting and Design Services, dated 2023-OCT-23 and 2022-SEP-18, as shown on Schedule D.
4. Registration of a Statutory Right-of-Way (SRW) to accommodate future widening of McKenzie Road prior to building permit issuance, with a width of 1.0m as shown in the Site Plan, prepared by Com-Tech Drafting and Design Services, dated 2022-SEP-18, as shown on Schedule B.
5. Registration of a Statutory Right-of-Way (SRW) to accommodate the future alignment of Old Victoria Road prior to building permit issuance, as shown in the Site Plan, prepared by Com-Tech Drafting and Design Services, dated 2022-SEP-18, as shown on Schedule B.

REVIEWED AND APPROVED ON

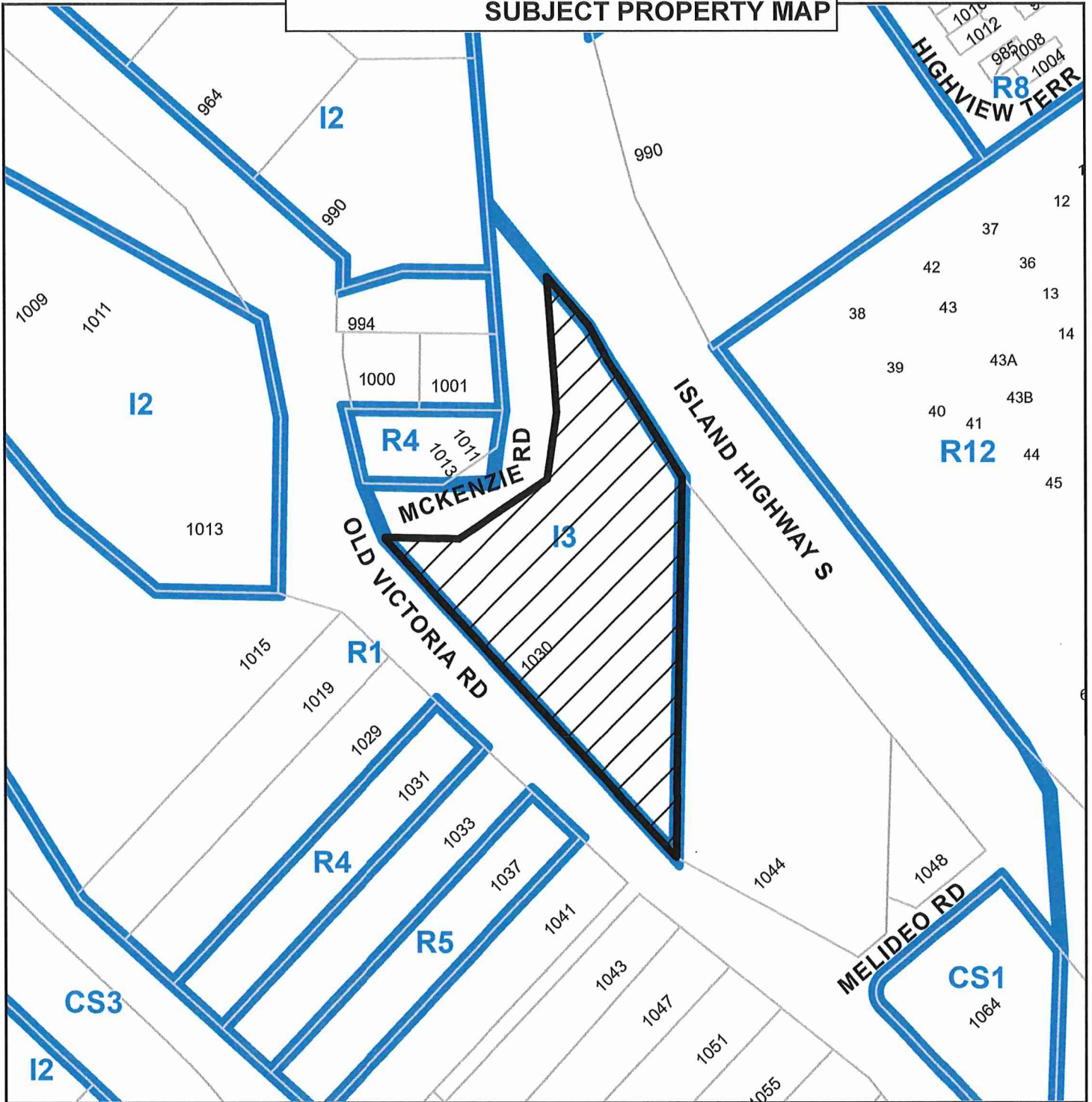
2023-Dec-06
Date


J. Holm, Director
Planning & Development
Pursuant to Section 154 (1)(b) of the Community Charter

KM/bb
Prospero attachment: DP001249

Development Permit No. DP001249 Schedule A
1030 Old Victoria Road

SUBJECT PROPERTY MAP

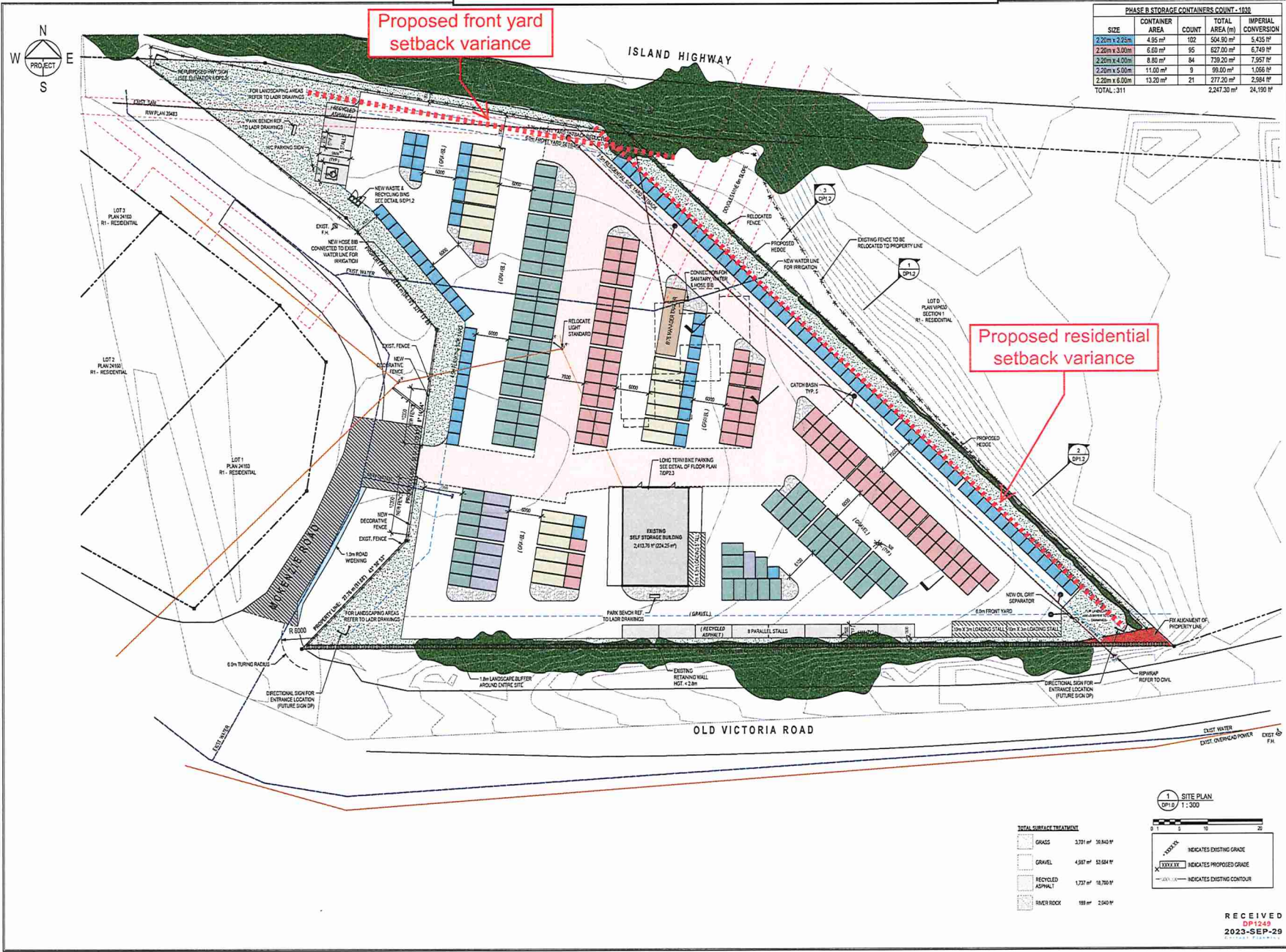


DEVELOPMENT PERMIT APPLICATION NO. DP001249



 Subject Property

Development Permit No. DP001249 Schedule B
 1030 Old Victoria Road
SITE AND PARKING PLAN



PHASE B STORAGE CONTAINERS COUNT - 1030				
SIZE	CONTAINER AREA	COUNT	TOTAL AREA (m ²)	IMPERIAL CONVERSION
2.20m x 2.25m	4.95 m ²	102	504.90 m ²	5,435 m ²
2.20m x 3.00m	6.60 m ²	95	627.00 m ²	6,749 m ²
2.20m x 4.00m	8.80 m ²	84	739.20 m ²	7,957 m ²
2.20m x 5.00m	11.00 m ²	9	99.00 m ²	1,062 m ²
2.20m x 6.00m	13.20 m ²	21	277.20 m ²	2,984 m ²
TOTAL: 311			2,247.30 m ²	24,190 m ²

GENERAL NOTES

IMPERIAL: ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.

SITE INFORMATION

LOT AREA:
 TOTAL LOT AREA: 2.42 ACRES (10,579.61 m²)

PARCEL COVERAGE:
 TOTAL NEW STORAGE UNIT AREA = 2,247.30 m²
 TOTAL EXISTING BUILDING AREA = 2,000 m²
 BUILDING FOOTPRINT = 3,246.45 m² (38,291.43 m²)
 LOT AREA = 6,788.9 m²
 COVERAGE = 47.75% PARCEL COVERAGE
 FAR: 2.55x45 m (G.F.) / 19,759 m² (LOT AREA) = 4.32%

PARKING:
 INDUSTRIAL (NEW STORAGE):
 + 13 STALL / 200 m² G.F.A.
 + 2086.45 m² (200 m²)
 = 13.22

TOTAL PARKING REQUIRED: 13.22 + 13 STALLS
 TOTAL PARKING PROVIDED: 13 STALLS

LOADING:
 BUILDING AREA FROM 3.25M TO 4.83M (RCD): 3 LOADING STALLS

BICYCLE PARKING:
 INDUSTRIAL USE
 + 2 STALL / 100 m² G.F.A.
 + 2086.45 m² (100 m²) = 2.16

TOTAL BICYCLE PARKING REQUIRED: 2.16 + 3 STALLS
 TOTAL BICYCLE PARKING PROVIDED: 3 STALLS

PARKING TRUCK DRIVE:
 - - - - - INDICATES PAVED FREE TRUCK TRAIL ACCESS ROUTE
 AREA = 16,325.00 m² (1,516.79 m²)

- - - - - INDICATES PAVED ROAD WIDENING
 AREA = 286.22 m² (25.78 m²)

- - - - - INDICATES REPAVED ROAD
 AREA = 3,568.44 m² (324.12 m²)

UTILITY LEGEND

--- SANITARY LINE
 --- WATER LINE
 --- STORM WATER LINE
 --- STORM WATER LINE

4 | 18 SEP 23 | DP COMMENTS 3
 3 | 15 AUG 23 | DP COMMENTS 2
 2 | 08 AUG 23 | DP COMMENTS 1
 1 | 03 JUN 23 | DESIGN ADVISORY PANEL RECOMMENDATIONS
 001 | DATE | DESCRIPTION

REVISIONS

2 | T.B.D. | ISSUED FOR BUILDING PERMIT
 1 | 18 JAN 22 | ISSUED FOR DEVELOPMENT PERMIT
 NO. | DATE | DESCRIPTION

ISSUANCES

BPP:
 DPP:

1 SITE PLAN
 DP1.6 1:300

SCALE: 1" = 30'

LEGEND

--- INDICATES EXISTING GRADE
 --- INDICATES PROPOSED GRADE
 --- INDICATES DISTING CONTOUR

TOTAL SURFACE TREATMENT

GRASS	3,791 m ²	38,840 y ²
GRAVEL	4,987 m ²	53,624 y ²
RECYCLED ASPHALT	1,737 m ²	18,760 y ²
SILVER ROCK	188 m ²	2,040 y ²

COM-TECH
 www.comtechdesign.com

1030 Old Victoria Road
 Natick, MA 01908

CONTAIN YOUR STUFF

OLD VICTORIA ROAD SELF STORAGE

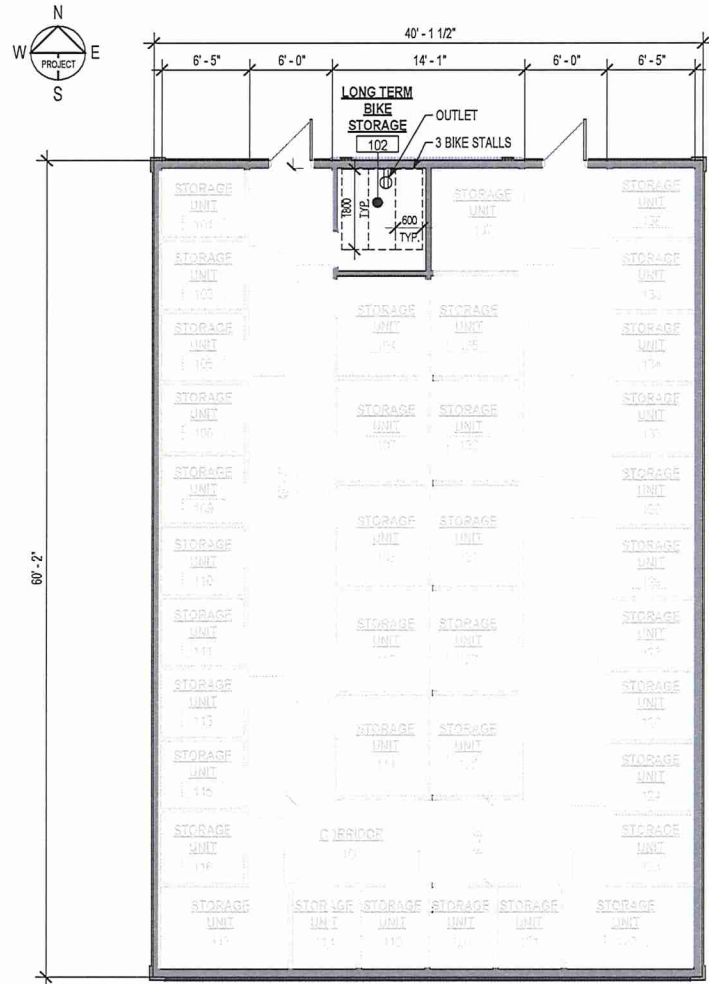
SITE PLAN & SITE INFORMATION

Drawn: JAC Date: 12 APR 23
 Eng: ASH Date: 12 APR 23
 Rev: ASH Date: 12 APR 23

Scale: 1" = 30'

Project: DP1.0

RECEIVED
 DP1.6 AS
 2023-SEP-29



7 EXISTING BUILDING FLOOR PLAN
 DP2.3 1/8" = 1'-0"

NOTE: ALL ELEMENTS ARE EXISTING
 UNLESS OTHERWISE NOTED

GENERAL NOTES

IMPERIAL:
 ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. METRIC DIMENSIONS, IF ANY, ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION.
 DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.
 DIMENSIONS SHALL BE AS SHOWN UNLESS OTHERWISE NOTED.

EXTERIOR FINISHES LEGEND

- A - METAL SIDING
- B - EXISTING BEIGE HORIZONTAL METAL SIDING
- C - EXISTING BEIGE VERTICAL METAL SIDING
- D - EXISTING ASPHALT SIDING
- E - EXISTING CHARCOAL FIBRIA
- F - PRESSURE TREATED WOOD
- G - PAINT
 Color: Anacost
- H - PAINT
 Color: Harvest Gold
- J - PAINT
 Color: Natural
- K - PAINT
 Color: Blue Marling
- L - PAINT
 Color: Burnt Umber

CONSTRUCTION LEGEND

- [Solid line] EXISTING WALL / PARTITION TO REMAIN
- [Dashed line] NEW PARTITION TO BE CONSTRUCTED
- [Dotted line] EXISTING PARTITION TO BE REMOVED
- [Arrow symbol] EXISTING DOOR SWING SYMBOL

NO.	DATE	DESCRIPTION
4	10 SEP 23	DP COMMENTS 3
3	09 AUG 22	DP COMMENTS
1	03 JUN 22	DESIGN ADVISORY PANEL RECOMMENDATIONS

NO.	DATE	DESCRIPTION
2	T.B.D.	ISSUED FOR BUILDING PERMIT
1	18 JAN 22	ISSUED FOR DEVELOPMENT PERMIT



CONTAIN YOUR STUFF

OLD VICTORIA ROAD SELF STORAGE

100 & 104 Old Victoria Rd
 Newark, NJ

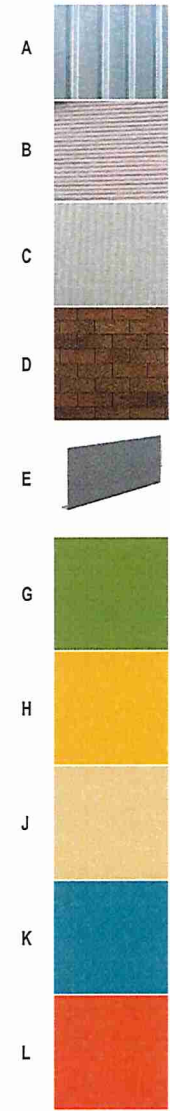
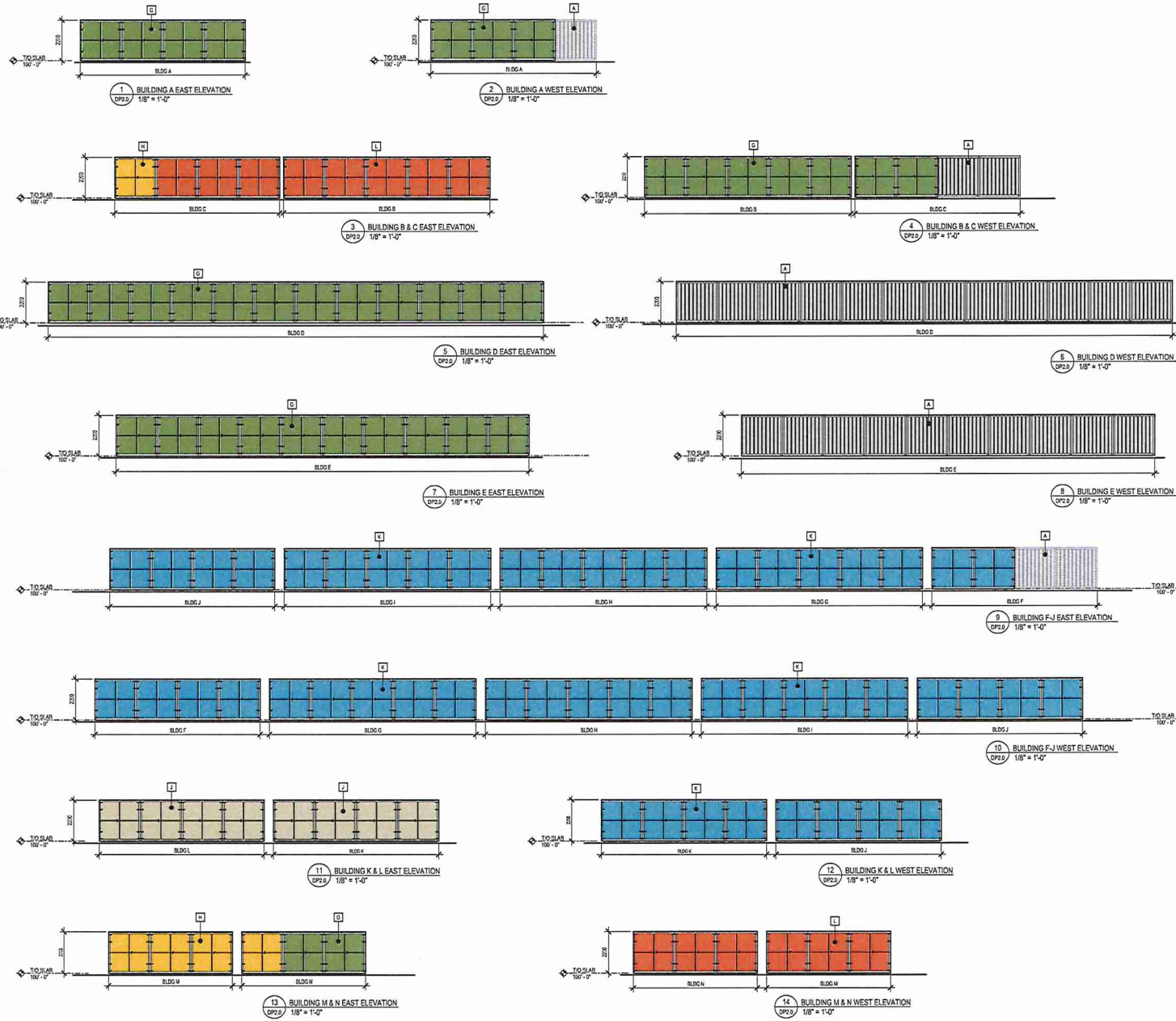
DATE: 12 APR 23
 DRAWN BY: JAC
 CHECKED BY: LGM

DP 12.48
 2023-SEP-29

DP 2.3

RECEIVED
 DP 12.48
 2023-SEP-29

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GENERAL NOTES

IMPERIAL:
 ALL DIMENSIONS ARE IN FEET AND INCHES UNLESS OTHERWISE NOTED. ALL DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE UNLESS OTHERWISE NOTED.
 VERIFY ALL DIMENSIONS ON SITE AND REPORT ANY DISCREPANCIES TO THE ARCHITECT IMMEDIATELY.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

EXTERIOR FINISHES LEGEND

A - METAL SIDING
 B - EXISTING BLOCK HORIZONTAL METAL SIDING
 C - EXISTING BLOCK VERTICAL METAL SIDING
 D - EXISTING ASPHALT SHINGLES
 E - EXISTING CHARCOAL FACIA
 F - PRESSURE TREATED WOOD
 G - PAINT
 Cobalt Anodized
 H - PAINT
 Cobalt Harvest Gold
 I - PAINT
 Cobalt Blue Mustard
 J - PAINT
 Cobalt Natural
 K - PAINT
 Cobalt Blue
 L - PAINT
 Cobalt Burnt Sierra

NO.	DATE	DESCRIPTION
1	19 AUG 22	DP COMMENTS
2	19 JAN 22	DESIGN ADVISORY PANEL RECOMMENDATIONS
3	19 JAN 22	ISSUED FOR BUILDING PERMIT
4	19 JAN 22	ISSUED FOR DEVELOPMENT PERMIT

REVISIONS

NO.	DATE	DESCRIPTION
1	19 JAN 22	ISSUED FOR BUILDING PERMIT
2	19 JAN 22	ISSUED FOR DEVELOPMENT PERMIT

ISSUANCES

BPP: _____
 DPP: _____



CONTAIN YOUR STUFF

PROJECT:
 OLD VICTORIA ROAD SELF STORAGE

OWNER:
 1030 & 1044 Old Victoria Rd,
 Nantahala, NC

DATE:
 12 APR 23

SCALE:
 LCM

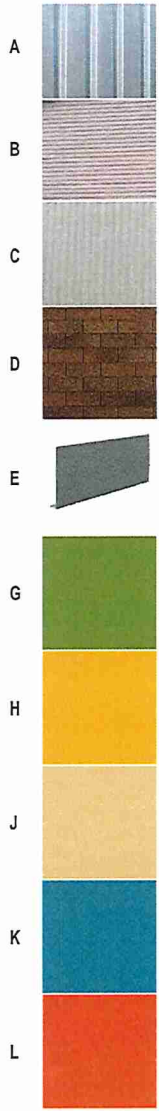
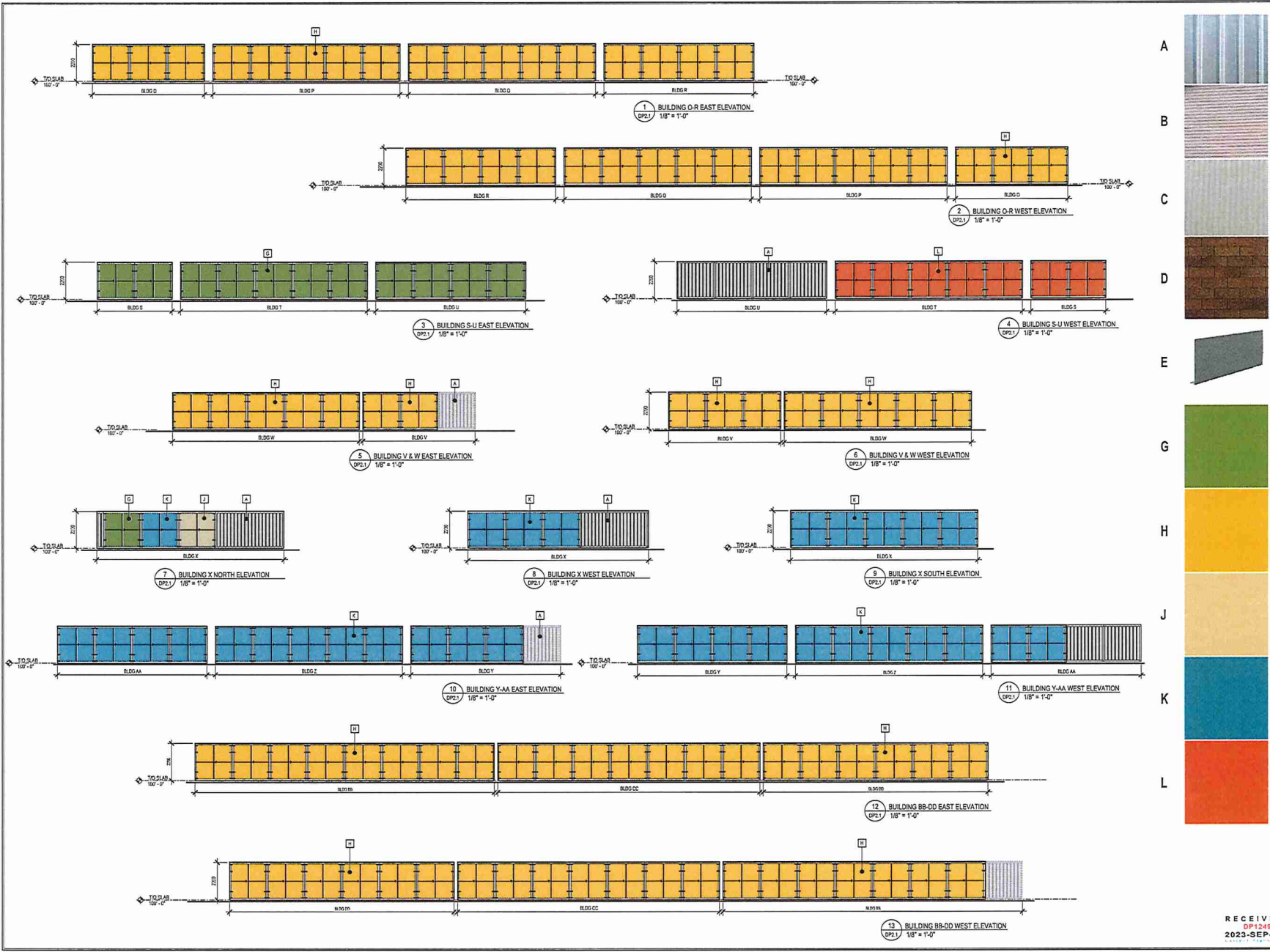
DATE:
 12 APR 23

SCALE:
 LCM

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 DP 1249
 2023-SEP-29

DP.2.0

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GENERAL NOTES

IMPERIAL:
 ALL DIMENSIONS ARE METRIC AND SHOULD BE CONSIDERED METRIC UNLESS OTHERWISE NOTED.
 VERIFY ALL DIMENSIONS, BUT NOT SCALE DRAWING.
 VERIFY ALL DIMENSIONS AND DIMENSIONS TO THE ARCHITECT'S DESIGN FOR CLARITY AND FOR THE CONTRACTOR'S RECORD.
 THE DRAWING IS TO BE USED AS A GUIDE ONLY AND NOT FOR CONSTRUCTION.

EXTERIOR FINISHES LEGEND

- A - METAL SIDING
- B - EXISTING BEIGE HORIZONTAL METAL SIDING
- C - EXISTING BEIGE VERTICAL METAL SIDING
- D - EXISTING ASPHALT SHINGLES
- E - EXISTING CHARCOAL FACADE
- F - PRESSURE TREATED WOOD
- G - PAINT
Color: Anacosta
- H - PAINT
Color: Harvest Gold
- I - PAINT
Color: Natural
- J - PAINT
Color: Blue Mustang
- K - PAINT
Color: Burnt Sienna
- L - PAINT
Color: Light Sienna

NO.	DATE	DESCRIPTION
2	01 AUG 22	DP COMMENTS
1	01 JUN 22	DESIGN ADVISORY PANEL RECOMMENDATIONS

NO.	DATE	DESCRIPTION
2	T.B.D.	ISSUED FOR BUILDING PERMIT
1	18 JAN 22	ISSUED FOR DEVELOPMENT PERMIT

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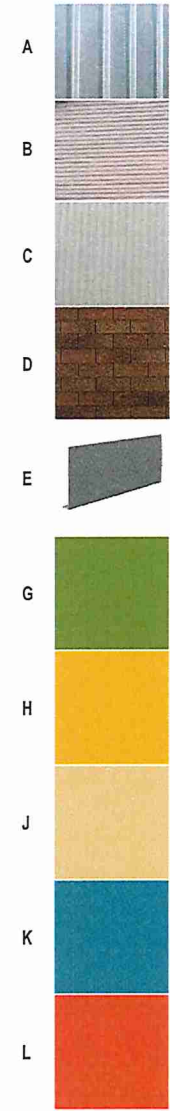
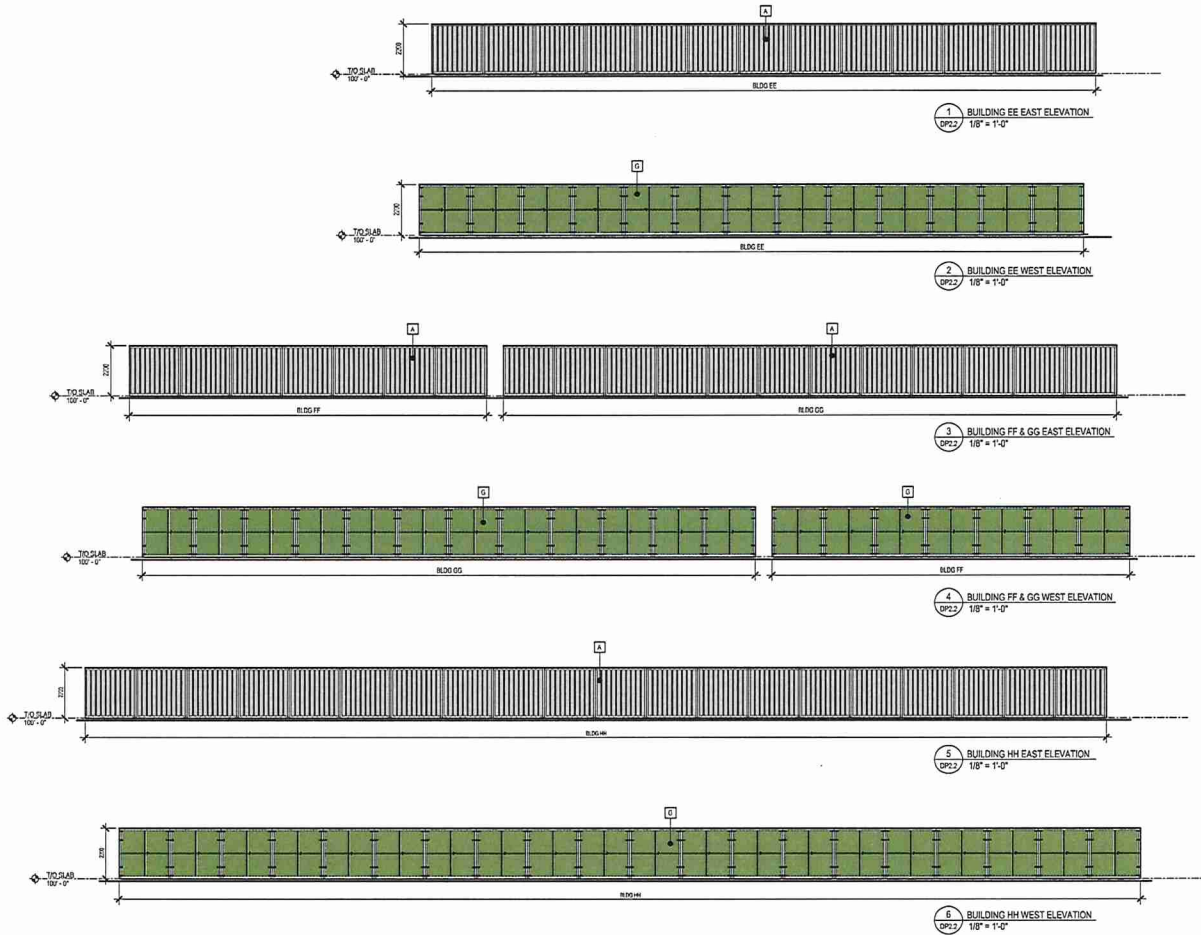
OLD VICTORIA ROAD SELF STORAGE

PROJECT ADDRESS: 1000 & 1044 Old Victoria Rd, Napa, CA
 LOT # / BLOCK # / PLAN #

RECEIVED
 DP 12-10
 2023-SEP-29

DP.1

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GENERAL NOTES

IMPERIAL:
 ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN METRIC UNITS.
 VERIFY ALL DIMENSIONS ON SITE SCALE THIS DRAWING.
 VERIFY ALL DIMENSIONS AND FINISHES ARE AS SHOWN TO THE ARCHITECT'S DESIGNER FOR CLARIFICATION OF THE CONTRACT DOCUMENTS.
 DETERMINE ALL FINISHES AND MATERIALS TO BE USED IN CONSTRUCTION OF THE ARCHITECTURAL FINISHES.

EXTERIOR FINISHES LEGEND

- A - METAL SIDING
- B - EXISTING BLOCK HORIZONTAL METAL SIDING
- C - EXISTING BLOCK VERTICAL METAL SIDING
- D - EXISTING ASPHALT SINGLES
- E - EXISTING CHARCOAL FACIA
- F - PRESSURE TREATED WOOD
- G - PAINT Colom+Avocado
- H - PAINT Colom+Harvest Gold
- J - PAINT Colom+Natural
- K - PAINT Colom+Blue Mustang
- L - PAINT Colom+Burnt Sierra

NO.	DATE	DESCRIPTION
2	09 AUG 22	DP COMMENTS
1	03 JAN 22	DESIGN ADVISORY PANEL RECOMMENDATIONS

NO.	DATE	DESCRIPTION
2	T.B.D.	ISSUED FOR BUILDING PERMIT
1	18 JAN 22	ISSUED FOR DEVELOPMENT PERMIT



CONTAIN YOUR STUFF

CONTACT INFORMATION

PROJECT

OLD VICTORIA ROAD SELF STORAGE

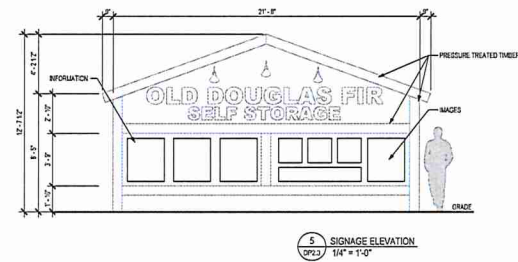
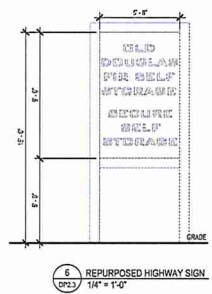
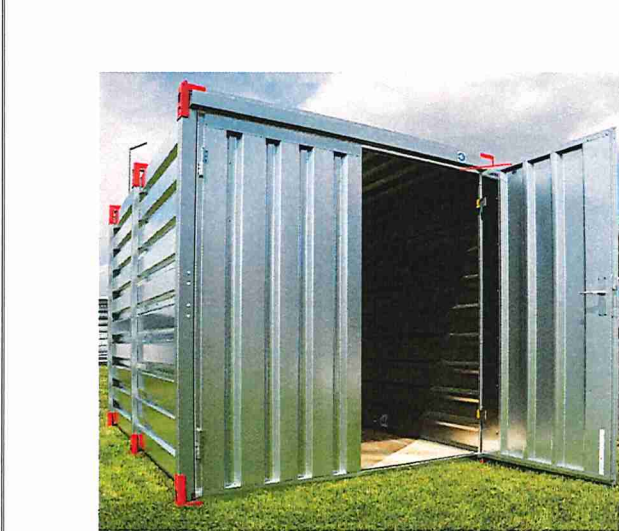
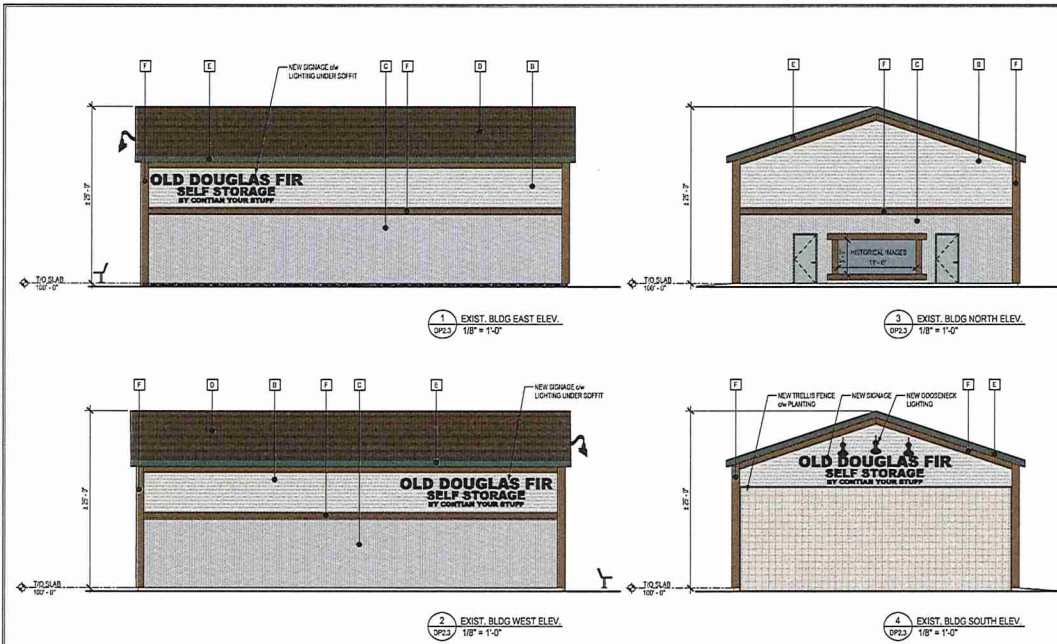
MUNICIPAL ADDRESS: 1000 & 1044 De Vito Rd, Napa, BC

LEGAL NUMBER: LOT #, BLOCK #, PLAN #

DATE	DATE
2023-SEP-29	12 APR 23

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 DPH 12-48
 2023-SEP-29

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GENERAL NOTES

IMPERIAL :

ALL DIMENSIONS ARE NOTED AND DIMENSIONS UNLESS OTHERWISE NOTED ARE IN METRIC UNITS.
 STRIP AND DIMENSIONS OF MET SCALE THE DRAWING.
 REPAIR AND RESTORE TO ORIGINAL CONDITION UNLESS OTHERWISE NOTED FOR REPAIR OR RESTORE TO ORIGINAL CONDITION.
 THIS DRAWING IS TO BE REPRODUCED AS SHOWN WITH THE ARCHITECTURAL SYMBOLS.

EXTERIOR FINISHES LEGEND

- A - METAL SIDING
- B - EXISTING BRICK HORIZONTAL METAL SIDING
- C - EXISTING BRICK VERTICAL METAL SIDING
- D - EXISTING ASPHALT SHINGLES
- E - EXISTING CHARCOAL FASCIA
- F - PRESSURE TREATED WOOD
- G - PAINT
Color: Anodized
- H - PAINT
Color: Harvest Gold
- J - PAINT
Color: Natural
- K - PAINT
Color: Blue Mustang
- L - PAINT
Color: Burnt Sierra

CONSTRUCTION LEGEND

- EXISTING WALL / PARTITION TO REMAIN
- NEW PARTITION TO BE CONSTRUCTED
- EXISTING PARTITION TO BE REMOVED
- EXISTING DOOR SWING DIVISION

A
B
C
D
E
G
H
J
K
L

REVISIONS	
4	19 SEP 23 DP COMMENTS 3
3	18 AUG 23 DP COMMENTS 2
2	18 JUN 23 DESIGN/ARCHITECT PANEL RECOMMENDATIONS
1	18 JUN 23 DESIGN/ARCHITECT PANEL RECOMMENDATIONS
NO.	DATE DESCRIPTION
ISSUANCES	
2	T.O.D. ISSUED FOR BUILDING PERMIT
1	18 JAN 23 ISSUED FOR DEVELOPMENT PERMIT
NO.	DATE DESCRIPTION
SPP:	
DPP:	
CONTAIN YOUR STUFF CONTRACT PARTITION PROJECT OLD VICTORIA ROAD SELF STORAGE PROJECT NUMBER 100 & 1041 Old Victoria Rd, Nanaimo, BC BLOCK # PLAN # DRAWING ELEVATIONS & MATERIALS DATE 12 APR 23 2023-SEP-29 AS NOTED LGH	
DP2.3	

RECEIVED
 2023-SEP-29

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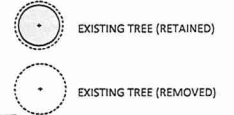
Recommended Nursery Stock

Trees		Medium Shrubs		Perennials, Annuals and Ferns		Vines		
ID	Quantity	Botanical Name	Common Name	Size	Total: 38	Botanical Name	Common Name	Size
ADROG	10	Acer rubrum 'October Glory'	October Glory Red Maple	6m cal.	Evergreen Sp: 21	Anemonele lessoniana	Phasant Tail Grass	#1 pot
EV	4	Picea pungens	Colorado Spruce	2.5M Ht.		Deciduous Sp: 17	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass
EV	17	Pseudotsuga menziesii	Douglas Fir	2.5M Ht.	Total: 55.2% are Evergreen Species	Nassella tenuissima	Mexican Feather Grass	#1 pot
PYCC	7	Pyrus calleryana 'Chanticleer'	Callery Pear	6m cal.				
Large Shrubs		Perennials, Annuals and Ferns		Vines				
Total: 122		Botanical Name	Common Name	Size				
		Mahonia aquifolium	Tall Oregon Grape	#5 pot				
		Philadelphus 'Belle Etoile'	Belle Etoile Mock Orange	#10 pot				
		Thuja occidentalis 'Smaragd'	Emerald Cedar	#7 pot				
Medium Shrubs		Perennials, Annuals and Ferns		Vines				
Total: 250		Botanical Name	Common Name	Size				
		Arbutus unedo 'Compacta'	Compact Strawberry Dush	#5 pot				
		Leucocoe fontanesiana 'Zelldig'	Scarletta® Fetterbush	#5 pot				
		Nandina domestica 'Gulf Stream'	Gulf Stream Heavenly Bamboo	#5 pot				
		Pieris japonica 'Valley Valentine'	Valley Valentine Lily Of The Valley	#3 pot				
Perennials, Annuals and Ferns		Perennials, Annuals and Ferns		Vines				
Total: 158		Botanical Name	Common Name	Size				
		Anemonele lessoniana	Phasant Tail Grass	#1 pot				
		Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot				
		Nassella tenuissima	Mexican Feather Grass	#1 pot				
Vines		Perennials, Annuals and Ferns		Vines				
Total: 2		Botanical Name	Common Name	Size				
		Clematis viticella 'Polish Spirit'	Polish Spirit Clematis	#5 pot				

Notes:
 1. All work to be completed to current CSLA Landscape Standards
 2. All soft landscape to be irrigated with an automatic irrigation system

MATERIALS LEGEND

- Roadway - Asphalt / Aggregate
- Maintenance access strips - Aggregate
- Planting beds
- Meadow and ornamental seed grasses mix
- Sedum area
- Retained Native Vegetation (Invasives Removed)



1030 Old Victoria Road - Landscape Concept Plan

RECEIVED
 DP1249
 2023-OCT-24
 Oct 23 - 2023
 Apr 26 - 2023
 Mar 21 - 2023
 Aug 08 - 2022
 May 31 - 2022
 May 13 - 2022

