



DEVELOPMENT PERMIT NO. DP001248

NORTH GROVE (2) NOMINEE LTD.
Name of Owner(s) of Land (Permittee)

6985 ISLAND HIGHWAY N
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 2, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN EPP80768
PID No. 030-901-952**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

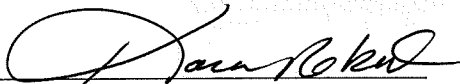
The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.23.1 Nanaimo Parkway* – to reduce the minimum permitted front yard setback from a property line that abuts the Nanaimo Parkway right-of-way from 20.0m to 7.5m for Building B.
2. *Section 10.6.1 Size of Buildings* – to increase the maximum permitted building height for Buildings A and B from 14.0m to 17.7m.

CONDITIONS OF PERMIT

1. The subject property shall be developed in accordance with the Site and Parking Plans prepared by Daryoush Firouzli Architecture Inc., received 2022-MAY-27 and 2022-AUG-11, as shown on Schedule B.
2. The subject property shall be developed in general compliance with the Building Elevations and Details prepared by Daryoush Firouzli Architecture Inc., received 2022-JUL-29 and 2022-AUG-11, as shown on Schedule C.
3. The subject property is in general compliance with the Landscape Plan and Details prepared by Durante Kreuk Ltd., dated 2022-JUL-26, as shown on Schedule D.
4. An acoustic study, prepared by a qualified registered professional, to demonstrate that the residential units will meet the Canada Mortgage and Housing Corporation (CMHC) acoustic criteria for residential development (as per the Nanaimo Parkway Design Guidelines), shall be submitted to the City of Nanaimo prior to Building Permit issuance, to the satisfaction of the Director of Development Approvals; and, Building Permit plans shall incorporate any building material specifications as recommended by the acoustic study.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 29TH DAY OF AUGUST, 2022.



D Corporate Officer

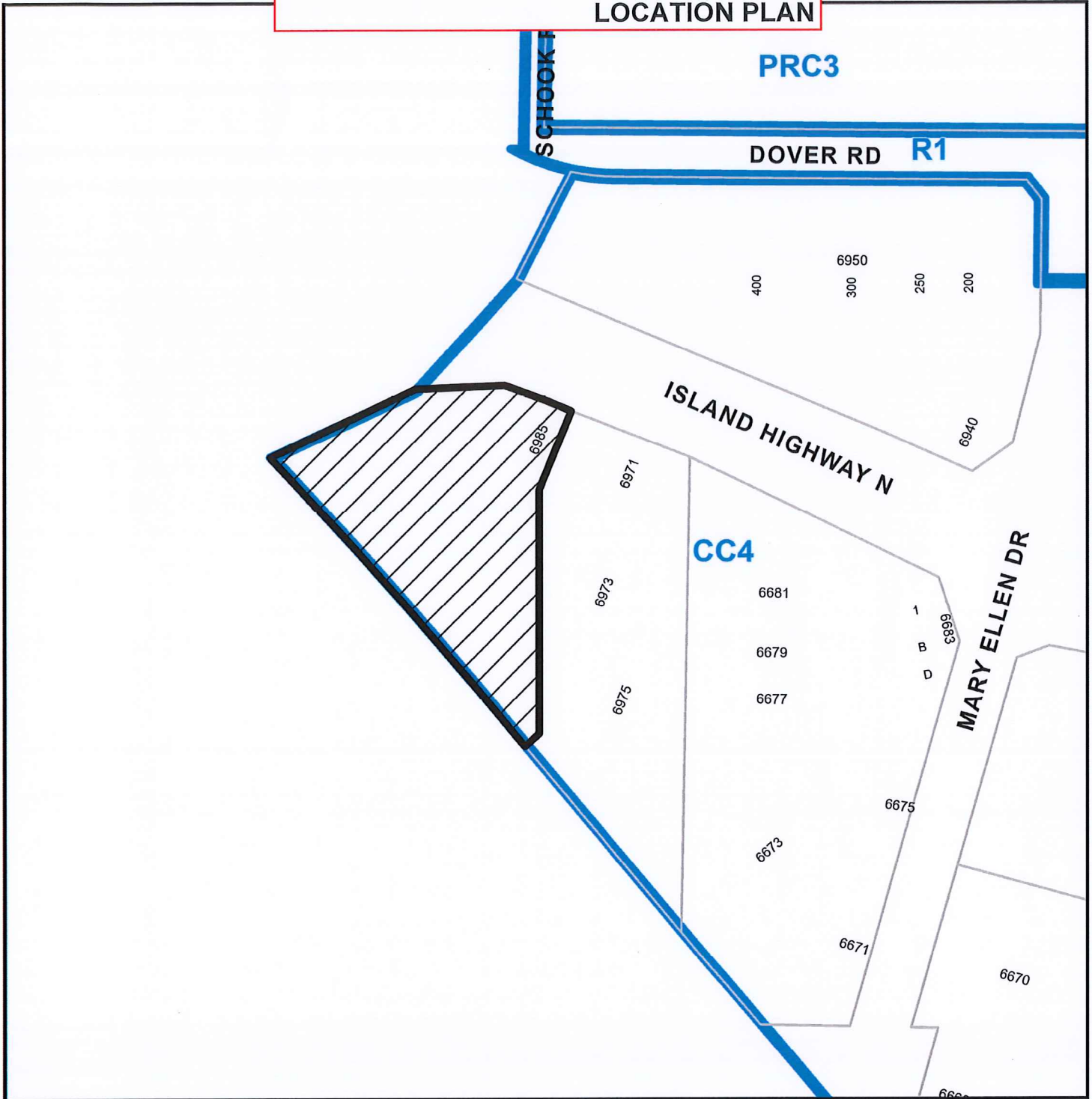


Date

CH/n
Prospero attachment: DP001248

Development Permit No. DP001248 Schedule A
6985 Island Highway North

LOCATION PLAN



DEVELOPMENT PERMIT APPLICATION NO. DP001248

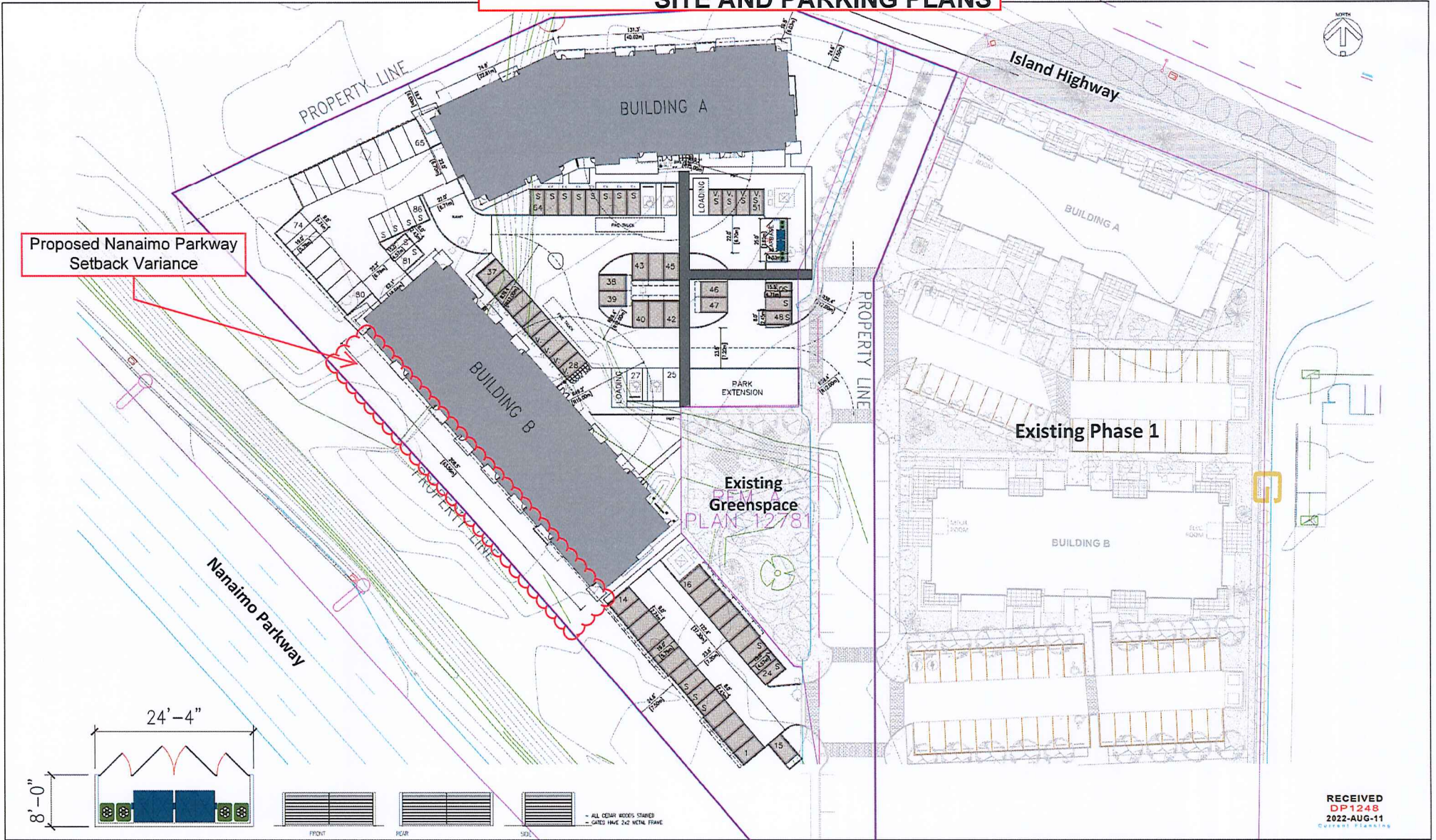


Subject Property

CIVIC: 6985 ISLAND HIGHWAY NORTH

LEGAL: LOT 2, DISTRICT LOT 26, WELLINGTON DISTRICT, PLAN EPP80768

SITE AND PARKING PLANS

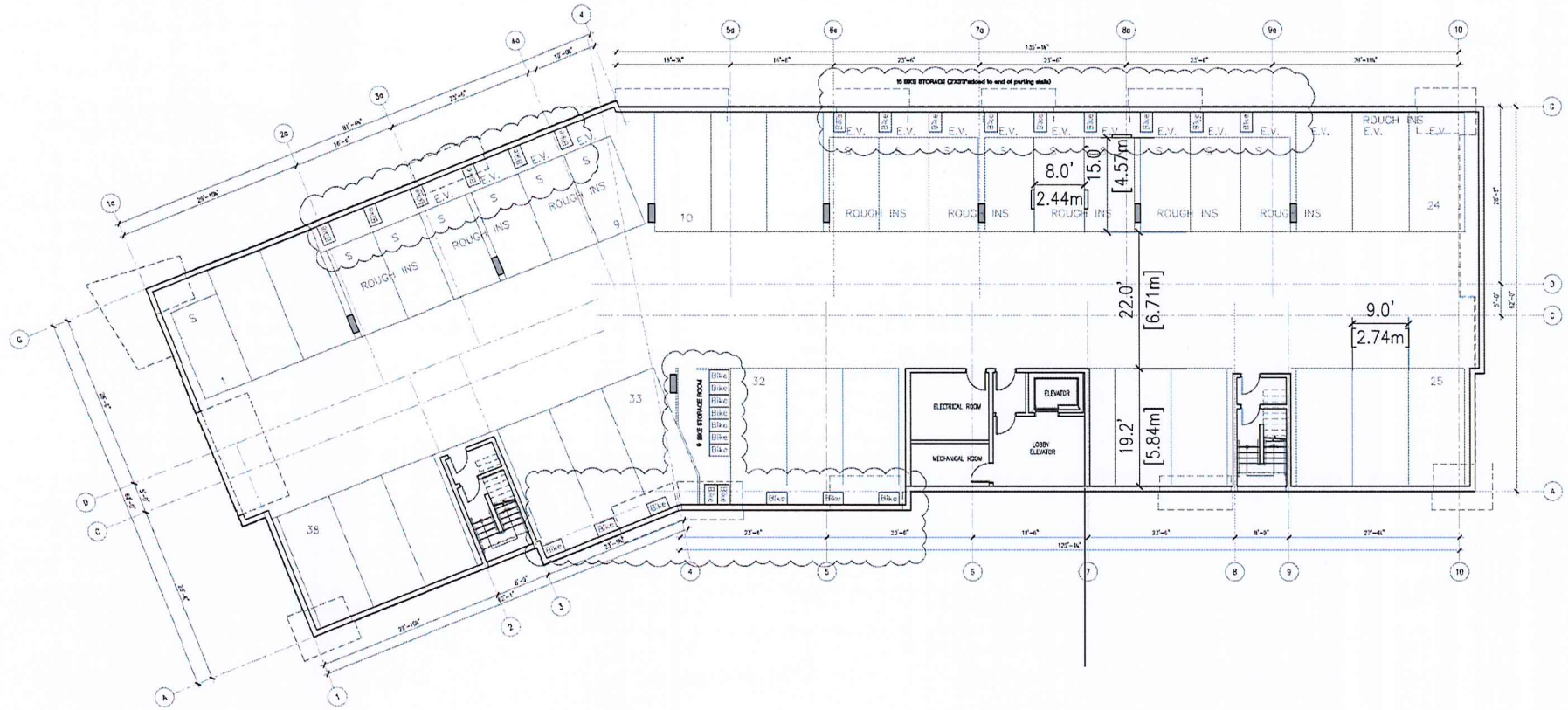


RECEIVED
 DP1248
 2022-AUG-11
 C. G. GARDNER ARCHITECTURE

<p>NOTES</p> <p>1. ALL CLEAR WOODS STAINED 2. GATES HAVE 2x2 METAL FRAME</p>	<p>ARCHITECTURAL SEAL</p> <p>COMPONENTS LIST</p> <p>PRELIMINARY SEAL</p>	<p>SCALE</p> <p>DATE: 26 JULY 22</p>	<p>PROJECT</p> <p>NORTH GROVE #2 6985 ISLAND HWY NORTH NANAIMO, BC</p> <p>PHASE #2</p>	<p>DISTRICT</p> <p>2176</p>	<p>SHEET TITLE</p> <p>SITE PLAN PRELIMINARY</p>	<p>SHEET NO.</p> <p>A1.0</p>
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D-ARCHITECTURE
 6377 GARIB DRIVE, NANAIMO, BC V9V 1M4
 T: 250-932-1991, E: FIMD@DARCHITECTURE.COM
 D-ARCHITECTURE ARCHITECTURE INC.



UNDERGROUND PARKING FLOOR PLAN

NOTES

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. ALL WALLS ARE 12" THICK UNLESS OTHERWISE NOTED.
3. ALL FLOORS ARE TO BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.
4. ALL CEILING ARE TO BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.
5. ALL ROOF ARE TO BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.
6. ALL EXTERIOR WALLS ARE TO BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.
7. ALL EXTERIOR ROOF ARE TO BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.
8. ALL EXTERIOR FLOORS ARE TO BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.
9. ALL EXTERIOR CEILING ARE TO BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.
10. ALL EXTERIOR ROOF ARE TO BE CONCRETE ON GRADE UNLESS OTHERWISE NOTED.



RECEIVED
DP1248
2022-MAY-27
 CLIENT ADDRESS
D-ARCHITECTURE
 6377 BARNS DRIVE, NANAIMO, BC V9Y 1W4
 T: 250-933-1991, E: INFO@D-ARCHITECTURE.COM
 3045 FERRIS STREET, SUITE 100, NANAIMO, BC V9Y 1W4

REGISTERED NO. _____

REGISTERED NO. _____

REGISTERED NO. _____

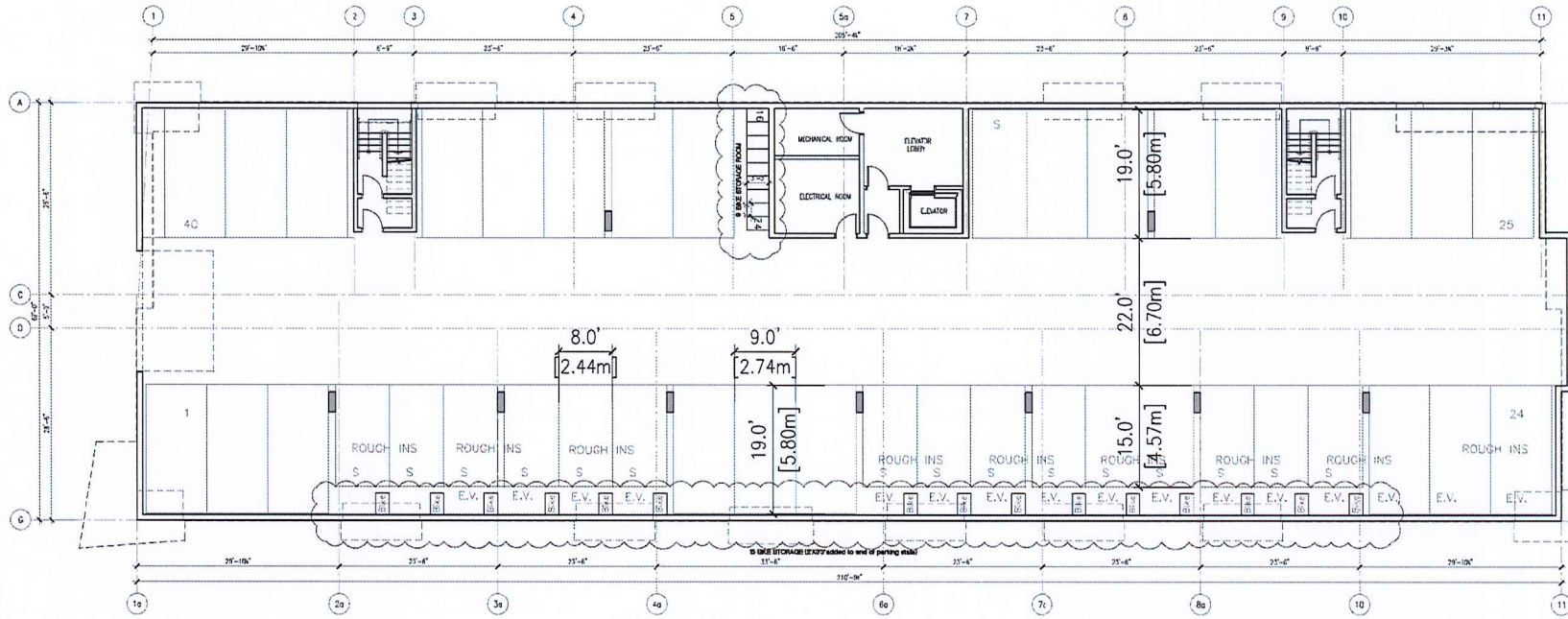
SCALE
 1/8" = 1'-0"
 DRAWN
 CHECKED
 DATE
 25 MAY 22

PROJECT
 NORTH GROVE #2
 6985 ISLAND HWY NORTH
 NANAIMO, BC
 PHASE #2

CLIENT
DISTRICT
 PROJECT NO.
 2176

SHEET TITLE
 UNDERGROUND PARKING
 PRELIMINARY
 BUILDING A

SHEET NO.
A3.0
 REVISION



UNDERGROUND PARKING FLOOR PLAN

<p>NOTES</p> <p>1. The information on this drawing is based on the information provided by the client and is not to be used for any other purpose without the written consent of the architect.</p> <p>2. The architect is not responsible for the accuracy of the information provided by the client.</p> <p>3. The architect is not responsible for the accuracy of the information provided by the client.</p> <p>4. The architect is not responsible for the accuracy of the information provided by the client.</p> <p>5. The architect is not responsible for the accuracy of the information provided by the client.</p>	<p>RECEIVED DP-1248 2022-MAY-27 District Planning</p> <p>D-ARCHITECTURE 6377 HARPS DRIVE, NANAIMO, BC V9Y 1W4 T: 250-923-1993 E: PROJ@D-ARCHITECTURE.COM DARYL@D-ARCHITECTURE.COM</p>	<p>PROJECT S/N</p>	<p>CONTRACT NO.</p>	<p>CONTRACT S/N</p>	<p>SCALE 1/8" = 1'-0"</p> <p>DRAWN</p> <p>CHECKED</p> <p>DATE 26 MAY 22</p>	<p>PROJECT NORTH GROVE #2 6985 ISLAND HWY NORTH NANAIMO, BC</p> <p>PHASE #2</p>	<p>COUNTY DISTRICT</p> <p>PROJECT NO. 2176</p>	<p>PROJECT TITLE UNDERGROUND PARKING PRELIMINARY BUILDING B</p>	<p>SHEET NO. A2.0</p> <p>REVISION</p>
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Development Permit No. DP001248 Schedule C
 6985 Island Highway North
BUILDING ELEVATIONS AND DETAILS



EXTERIOR MATERIALS & COLORS		
CODE	COLOR	MATERIAL
1	[Blue]	CEMENT COMPOSITE SIDING EVENING BLUE
2	[Grey]	CEMENT COMPOSITE SIDING IRON GREY
3	[White]	CEMENT COMPOSITE SIDING ARCTIC WHITE
4	[Light Blue]	8" HARDIE PLANK SIDING LIGHT MIST
5	[Brown]	FAUX WOOD CLADDING
6	[Red]	VENEER BRICK GRAY / BROWN BRICK
7	[Blue]	BLACK ALUMINUM RAILING
8	[Blue]	BLACK VINYL WINDOWS/DOORS

NOTES	PROJECT SEAL	CONSULTANT LOGO	DRAWN BY SEAL	SCALE	PROJECT	DISTRIC	SHEET FILE
				1/8" = 1'-0"			
0-ARCHITECTURE 4277 GARDNER DRIVE, NANAIMO, BC V9Y 1N4 T: 250-932-1991, E: INFO@0A.AARCHITECTURE.COM	DATE JULY 26 22	CHECKED DATE	PROJECT NO. 2176	SHEET TITLE BUILDING A PRELIMINARY	DISTRICT	RECEIVED DP1248 2022-AUG-11 District Planning	SHEET NO. A4.1

EXTERIOR MATERIALS & COLORS		
CODE	COLOR	MATERIAL
①		CEMENT COMPOSITE SIDING EVENING BLUE
②		CEMENT COMPOSITE SIDING IRON GREY
③		CEMENT COMPOSITE SIDING ARCTIC WHITE
④		8" HARDIE PLANK SIDING LIGHT MIST
⑤		FALX WOOD CLADDING
⑥		VENEER BRICK RED BRICK
⑦		BLACK ALUMINUM RAILING
⑧		BLACK VINYL WINDOWS/DOORS



SOUTH ELEVATION

RECEIVED
DP 1248
2022-JUL-29

NOTES
1. See general notes on sheet 1 of this set.
2. All work shall conform to the applicable building codes and standards.
3. The contractor shall be responsible for obtaining all necessary permits.
4. The contractor shall be responsible for coordinating with all other trades.
5. The contractor shall be responsible for protecting all existing work.
6. The contractor shall be responsible for maintaining access to all adjacent properties.
7. The contractor shall be responsible for maintaining safety at all times.
8. The contractor shall be responsible for cleaning up after the work is completed.

D-ARCHITECTURE
6377 GARUS DRIVE, NANAIMO, BC V9Y 1M4
T: 250-952-1991, E: INFO@DARCHITECTURE.COM
D-ARCHITECTURE ARCHITECTURE INC.

ARCHITECT SEAL

CONSULTING LOG

CONSULTING SEAL

SCALE
1/8" = 1'-0"
DATE
23 JULY 21

PROJECT
NORTH GROVE #2
6985 ISLAND HWY NORTH
NANAIMO, BC
PHASE #2

CLIENT
DISTRICT
PROJECT NO.
2176

SHEET TITLE
BUILDING ELEVATIONS
BUILDING A
PRELIMINARY

SHEET NO.
A4.2
REVISION



NORTHWEST ELEVATION

SOUTHEAST ELEVATION

SOUTHWEST ELEVATION

RECEIVED
DP1248
2022-AUG-11
CALVERT PLANNING

<p>NOTES</p> <p>1. All elevations are based on the ground level shown. The ground level is subject to change. The building is shown on a sloping site. The building is shown on a sloping site. The building is shown on a sloping site.</p>	<p>PROJECT NO.</p> <p>0377 (SARUM DRIVE, NANAIMO, BC V9V 1A4) P: 250-733-1817, F: 250-733-1818</p>	<p>CONSULTANT LOG</p>	<p>CONSULTANT NO.</p>	<p>SCALE</p> <p>1/8" = 1'-0"</p>	<p>PROJECT</p> <p>NORTH GROVE #2 6985 ISLAND HWY NORTH NANAIMO, BC</p>	<p>CLIENT</p> <p>DISTRICT</p>	<p>PROJECT NO.</p> <p>2176</p>	<p>DATE</p> <p>25 JULY 22</p>	<p>PHASE</p> <p>PHASE #2</p>	<p>ARCHITECT</p> <p>O-ARCHITECTURE</p>	<p>DATE</p> <p>2022-AUG-11</p>	<p>REVISION</p> <p>A5.1</p>
				<p>PROJECT NO.</p> <p>0377 (SARUM DRIVE, NANAIMO, BC V9V 1A4) P: 250-733-1817, F: 250-733-1818</p>	<p>CONSULTANT LOG</p>	<p>CONSULTANT NO.</p>	<p>SCALE</p> <p>1/8" = 1'-0"</p>	<p>PROJECT</p> <p>NORTH GROVE #2 6985 ISLAND HWY NORTH NANAIMO, BC</p>	<p>CLIENT</p> <p>DISTRICT</p>	<p>PROJECT NO.</p> <p>2176</p>	<p>DATE</p> <p>25 JULY 22</p>	<p>PHASE</p> <p>PHASE #2</p>

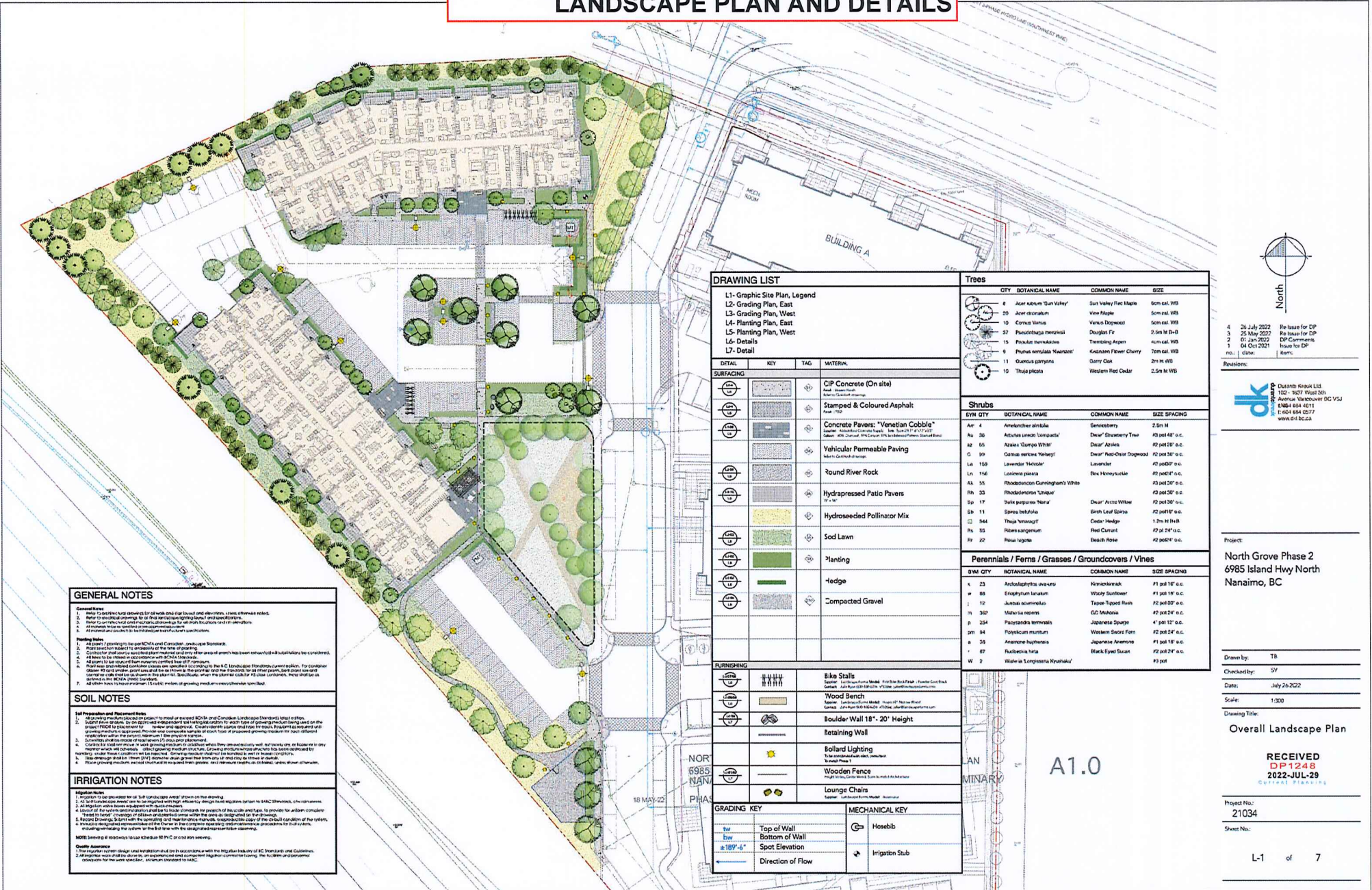
EXTERIOR MATERIALS & COLORS		
CODE	COLOR	MATERIAL
1	[Grey swatch]	CEMENT COMPOSITE SIDING CHARCOAL / RICH ESPRESSO
2	[White swatch]	CEMENT COMPOSITE SIDING ARCTIC WHITE
3	[White swatch]	CEMENT COMPOSITE SIDING ARCTIC WHITE
4	[Grey swatch]	8" HARDIE PLANK SIDING SLATE GRAY
5	[Brown swatch]	FAUX WOOD SIDING
6	[Dark Grey swatch]	VENEER BRICK DARK GREY BRICK
7	[Blue swatch]	BLACK ALUMINUM RAILING
8	[Blue swatch]	BLACK VINYL WINDOWS/DOORS



RECEIVED
DP 1248
2022-JUL-29
CITY OF NANAIMO

<p>NOTES</p> <p>1. The client is the proprietor of the project and is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The architect is not responsible for obtaining these permits and approvals.</p> <p>2. The architect is not responsible for the accuracy of the information provided by the client or for the accuracy of the information provided by any third parties.</p> <p>3. The architect is not responsible for the accuracy of the information provided by any third parties.</p> <p>4. The architect is not responsible for the accuracy of the information provided by any third parties.</p> <p>5. The architect is not responsible for the accuracy of the information provided by any third parties.</p> <p>6. The architect is not responsible for the accuracy of the information provided by any third parties.</p> <p>7. The architect is not responsible for the accuracy of the information provided by any third parties.</p> <p>8. The architect is not responsible for the accuracy of the information provided by any third parties.</p> <p>9. The architect is not responsible for the accuracy of the information provided by any third parties.</p> <p>10. The architect is not responsible for the accuracy of the information provided by any third parties.</p>	<p>PROJECT NO. _____</p> <p>DATE: _____</p>	<p>PROJECT NO. _____</p> <p>DATE: _____</p>	<p>PROJECT NO. _____</p> <p>DATE: _____</p>	<p>SCALE: 1/8" = 1'-0"</p> <p>DRAWN: _____</p> <p>CHECKED: _____</p> <p>DATE: 26 JULY 21</p>	<p>PROJECT: NORTH GROVE #2 6985 ISLAND HWY NORTH NANAIMO, BC</p> <p>PHASE #2</p>	<p>DISTRICT</p> <p>PROJECT NO. 2176</p>	<p>SHEET TITLE: BUILDING ELEVATIONS BUILDING B PRELIMINARY</p>	<p>SHEET NO. A5.2</p> <p>REVISION: _____</p>
	<p>DASH/TEXTURE: DP, JWB</p> <p>D-ARCHITECTURE 6377 MARUS DRIVE, NANAIMO, BC V9Y 1N4 P: 250-823-1881, F: 250-823-1882 DASH/DASH/PRODUCE/ARCHITECTURE INC.</p>	<p>PROJECT SEAL</p>	<p>CONTRACT LOGO</p>	<p>CONSULTING SEAL</p>	<p>DATE: 26 JULY 21</p>	<p>PROJECT: NORTH GROVE #2 6985 ISLAND HWY NORTH NANAIMO, BC</p> <p>PHASE #2</p>	<p>DISTRICT</p> <p>PROJECT NO. 2176</p>	<p>SHEET TITLE: BUILDING ELEVATIONS BUILDING B PRELIMINARY</p>

Development Permit No. DP001248 Schedule D
 6985 Island Highway North
LANDSCAPE PLAN AND DETAILS



GENERAL NOTES

1. Refer to the site plan for all work and for layout and elevation, unless otherwise noted.
 2. Refer to the site plan for all work and for layout and elevation, unless otherwise noted.
 3. Refer to the site plan for all work and for layout and elevation, unless otherwise noted.
 4. Refer to the site plan for all work and for layout and elevation, unless otherwise noted.
- Planting Notes:**
1. All plants to be installed shall be of the highest quality and shall be of the species indicated on the drawings.
 2. All plants to be installed shall be of the highest quality and shall be of the species indicated on the drawings.
 3. All plants to be installed shall be of the highest quality and shall be of the species indicated on the drawings.
 4. All plants to be installed shall be of the highest quality and shall be of the species indicated on the drawings.
 5. All plants to be installed shall be of the highest quality and shall be of the species indicated on the drawings.
 6. All plants to be installed shall be of the highest quality and shall be of the species indicated on the drawings.
 7. All plants to be installed shall be of the highest quality and shall be of the species indicated on the drawings.

SOIL NOTES

- Soil Preparation and Placement Notes:**
1. All soil to be placed shall be of the highest quality and shall be of the species indicated on the drawings.
 2. All soil to be placed shall be of the highest quality and shall be of the species indicated on the drawings.
 3. All soil to be placed shall be of the highest quality and shall be of the species indicated on the drawings.
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 6. All soil to be placed shall be of the highest quality and shall be of the species indicated on the drawings.
 7. All soil to be placed shall be of the highest quality and shall be of the species indicated on the drawings.

IRRIGATION NOTES

- Irrigation Notes:**
1. All irrigation systems shall be of the highest quality and shall be of the species indicated on the drawings.
 2. All irrigation systems shall be of the highest quality and shall be of the species indicated on the drawings.
 3. All irrigation systems shall be of the highest quality and shall be of the species indicated on the drawings.
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 6. All irrigation systems shall be of the highest quality and shall be of the species indicated on the drawings.
 7. All irrigation systems shall be of the highest quality and shall be of the species indicated on the drawings.

DRAWING LIST

- L1- Graphic Site Plan, Legend
- L2- Grading Plan, East
- L3- Grading Plan, West
- L4- Planting Plan, East
- L5- Planting Plan, West
- L6- Details
- L7- Detail

DETAIL	KEY	TAG	MATERIAL
			CIP Concrete (On site)
			Stamped & Coloured Asphalt
			Concrete Pavers: "Venetian Cobble"
			Vehicular Permeable Paving
			Round River Rock
			Hydrapressed Patio Pavers
			Hydroseeded Pollinator Mix
			Sod Lawn
			Planting
			ledge
			Compacted Gravel

FURNISHING	KEY	TAG	MATERIAL
			Bike Stalls
			Wood Bench
			Boulder Wall 18" - 20" Height
			Retaining Wall
			Bollard Lighting
			Wooden Fence
			Lounge Chairs

GRADING KEY	MECHANICAL KEY

QTY	BOTANICAL NAME	COMMON NAME	SIZE
8	Acer rubrum 'Sun Valley'	Sun Valley Red Maple	6cm cal. WB
25	Acer glabrum	Red Maple	6cm cal. WB
10	Cornus stolonifera	Yew Dogwood	6cm cal. WB
37	Pseudotsuga menziesii	Douglas Fir	3.6m H DBH
15	Pinus sibirica	Trembling Aspen	4cm cal. WB
9	Prunus serrulata 'Weinzierl'	Kaestlin Flower Cherry	7cm cal. WB
11	Quercus garryana	Garry Oak	2m H WB
10	Thuja plicata	Western Red Cedar	2.5m H WB

EYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE SPACING
Amr	4	Amelanchier alnifolia	Servicberry	2.5m H
Au	36	Arctostaphylos uva-ursi	Dear Strawberry Tree	#2 pot 48" o.c.
Az	65	Azalea japonica	Dear Azalea	#2 pot 30" o.c.
C	39	Cornus sericea 'Nancy'	Dear Red-Chain Dogwood	#2 pot 30" o.c.
La	158	Lavender 'Hidcote'	Lavender	#2 pot 24" o.c.
Ln	156	Lonicera maackii	Ever Honeysuckle	#2 pot 24" o.c.
Ak	35	Rhododendron Cunningham's White	Rhododendron	#2 pot 30" o.c.
Rh	33	Rhododendron 'Liquor'	Rhododendron	#2 pot 30" o.c.
Sp	17	Spirea japonica	Dear Spirea	#2 pot 30" o.c.
St	11	Stemodia	Born Leaf Spurge	#2 pot 18" o.c.
T	344	Thymus serpyllifolius	Cover Crop	1.2m H Barb
Rc	55	Rosa rugosa	Rose	#2 pot 24" o.c.
Rr	22	Rosa rugosa	Black Rose	#2 pot 24" o.c.

EYM	QTY	BOTANICAL NAME	COMMON NAME	SIZE SPACING
A	23	Actinophyllum unguiculatum	Kernia	#1 pot 18" o.c.
E	66	Erythronium albidum	Woolly Starflower	#1 pot 18" o.c.
J	12	Juncus acuminatus	Taper-Topped Rush	#2 pot 24" o.c.
M	367	Mahonia repens	GG Mahonia	#2 pot 24" o.c.
P	254	Polystichum termitis	Japanese Spurge	#1 pot 12" o.c.
Pr	94	Polystichum muratum	Western Spore Fern	#2 pot 24" o.c.
S	26	Saxifraga hypnoides	Japanese Anemone	#1 pot 18" o.c.
R	87	Rubus idaeus	Blackberry	#2 pot 24" o.c.
W	2	Waldia sibirica	Black Lily	#3 pot

North

Revisions:

4	26 July 2022	Re Issue for DP
3	25 May 2022	Re Issue for DP
2	01 Jun 2022	DP Comments
1	04 Oct 2021	Issue for DP

dk Duffin Kruk Ltd.
 102 - 947 West 5th
 Avenue Vancouver BC V5J
 5M4 4K4 611
 T: 604 684 0577
 www.dk.ca

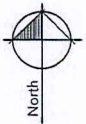
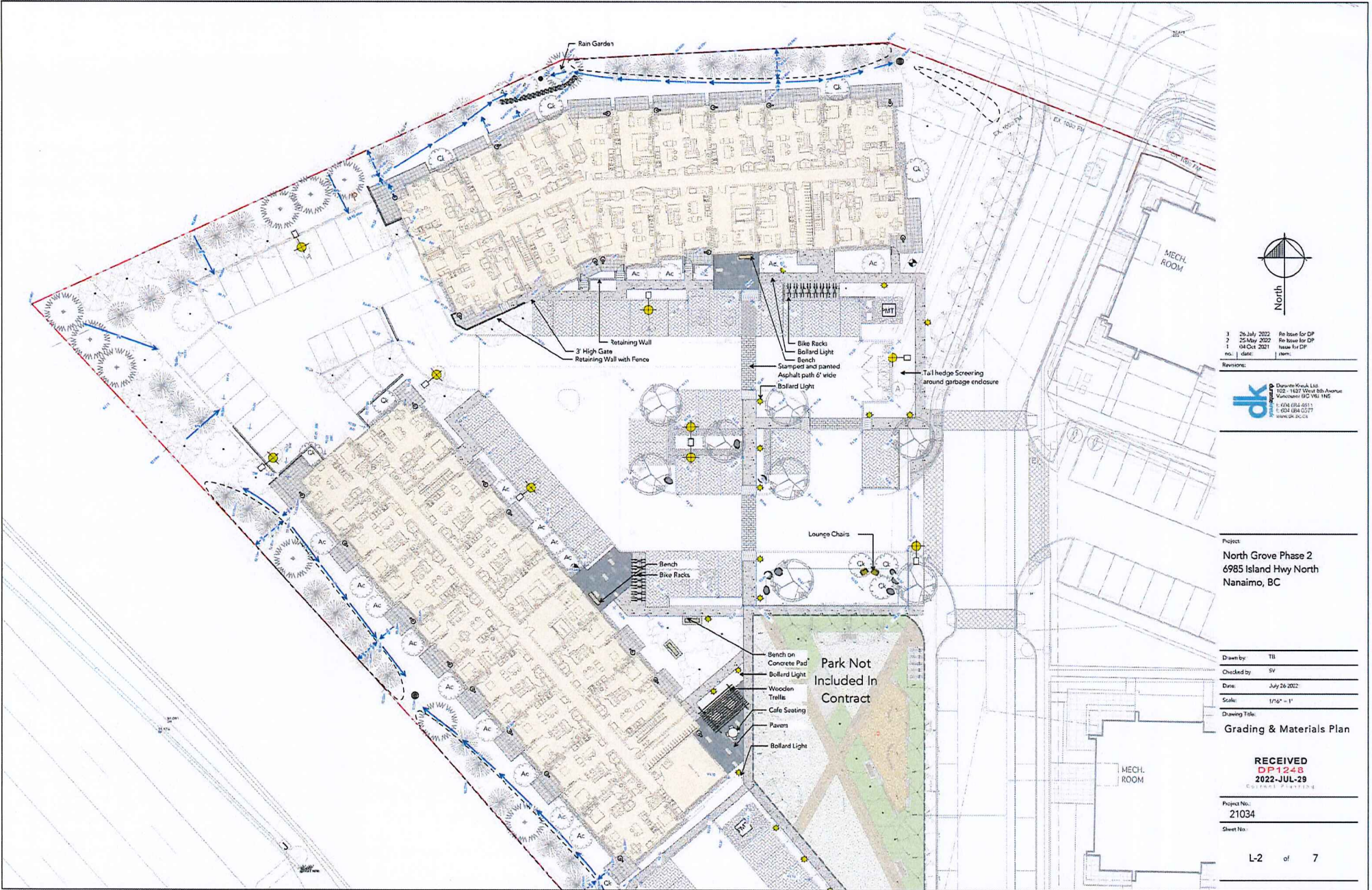
Project:
 North Grove Phase 2
 6985 Island Hwy North
 Nanaimo, BC

Drawn by: TB
 Checked by: SV
 Date: July 26 2022
 Scale: 1:300

Drawing Title:
 Overall Landscape Plan

RECEIVED
 DP1248
 2022-JUL-29
 Coastal Planning

Project No:
 21034
 Sheet No:



3 26 July 2022 Re Issue for DP
 2 25 May 2022 Re Issue for DP
 1 04 Oct 2021 Issue for DP
 rev. | date | item

Revisions:
dk Darvin-Kraak Ltd.
 1052 - 1427 West 8th Avenue
 Vancouver BC V6H 1K6
 T: 604 684 6511
 F: 604 684 6577
 www.dk.bc.ca

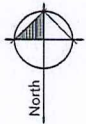
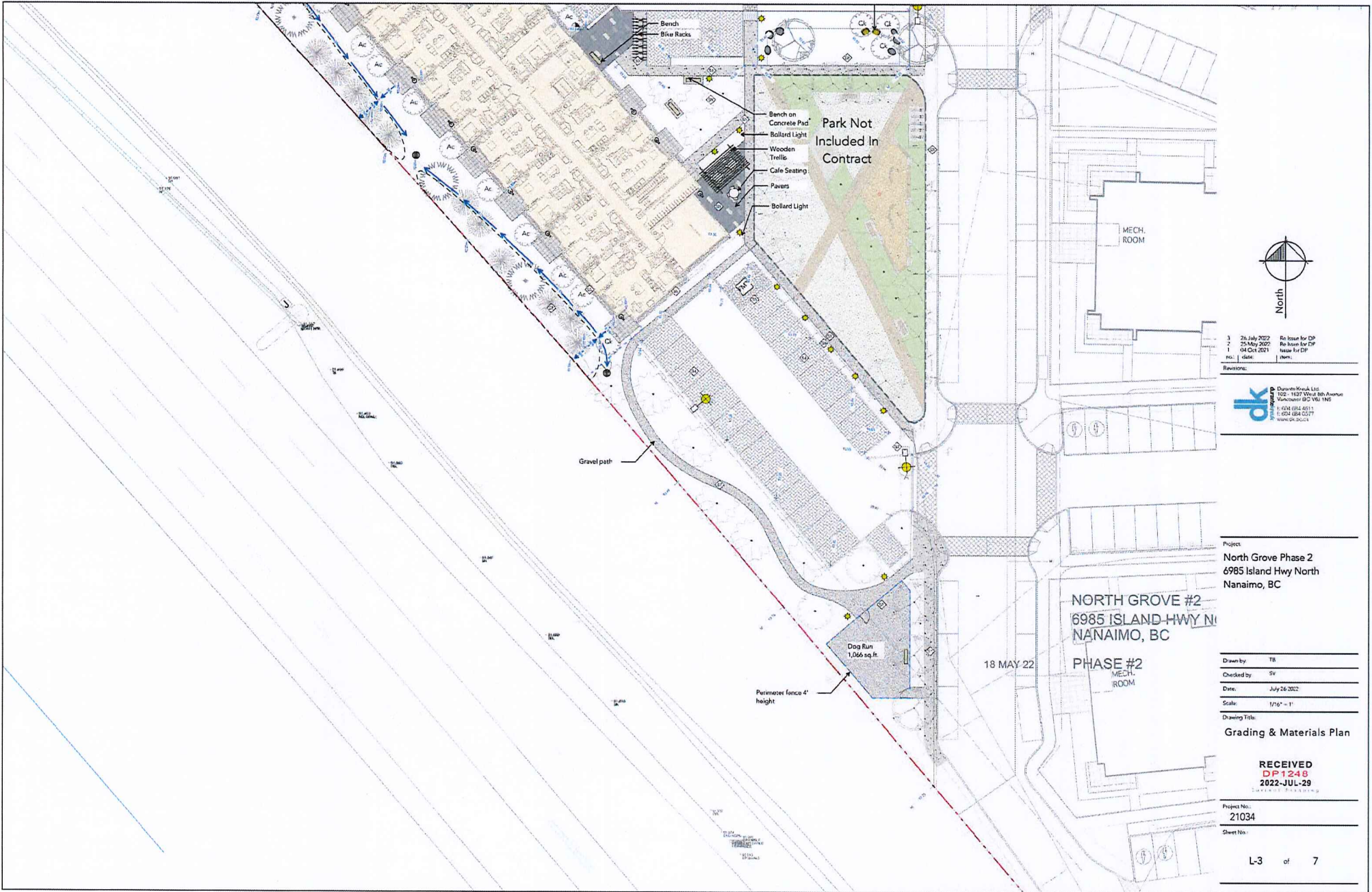
Project
North Grove Phase 2
 6985 Island Hwy North
 Nanaimo, BC

Drawn by: TB
 Checked by: SV
 Date: July 26, 2022
 Scale: 1/16" = 1'

Drawing Title:
Grading & Materials Plan

RECEIVED
DP 1248
2022-JUL-29
 Current Planning

Project No:
21034
 Sheet No:



3	26 July 2022	Re Issue for DP
2	25 May 2022	Re Issue for DP
1	04 Oct 2021	Issue for DP
Rev.	date	Notes

dk Durvick Kneib Ltd.
 102 - 1627 West 8th Avenue
 Nanaimo BC V9R 1K9
 T: 604 684 4011
 F: 604 684 2277
 www.dk.bc.ca

Project:
North Grove Phase 2
 6985 Island Hwy North
 Nanaimo, BC

NORTH GROVE #2
 6985 ISLAND HWY N
 NANAIMO, BC

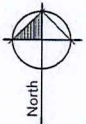
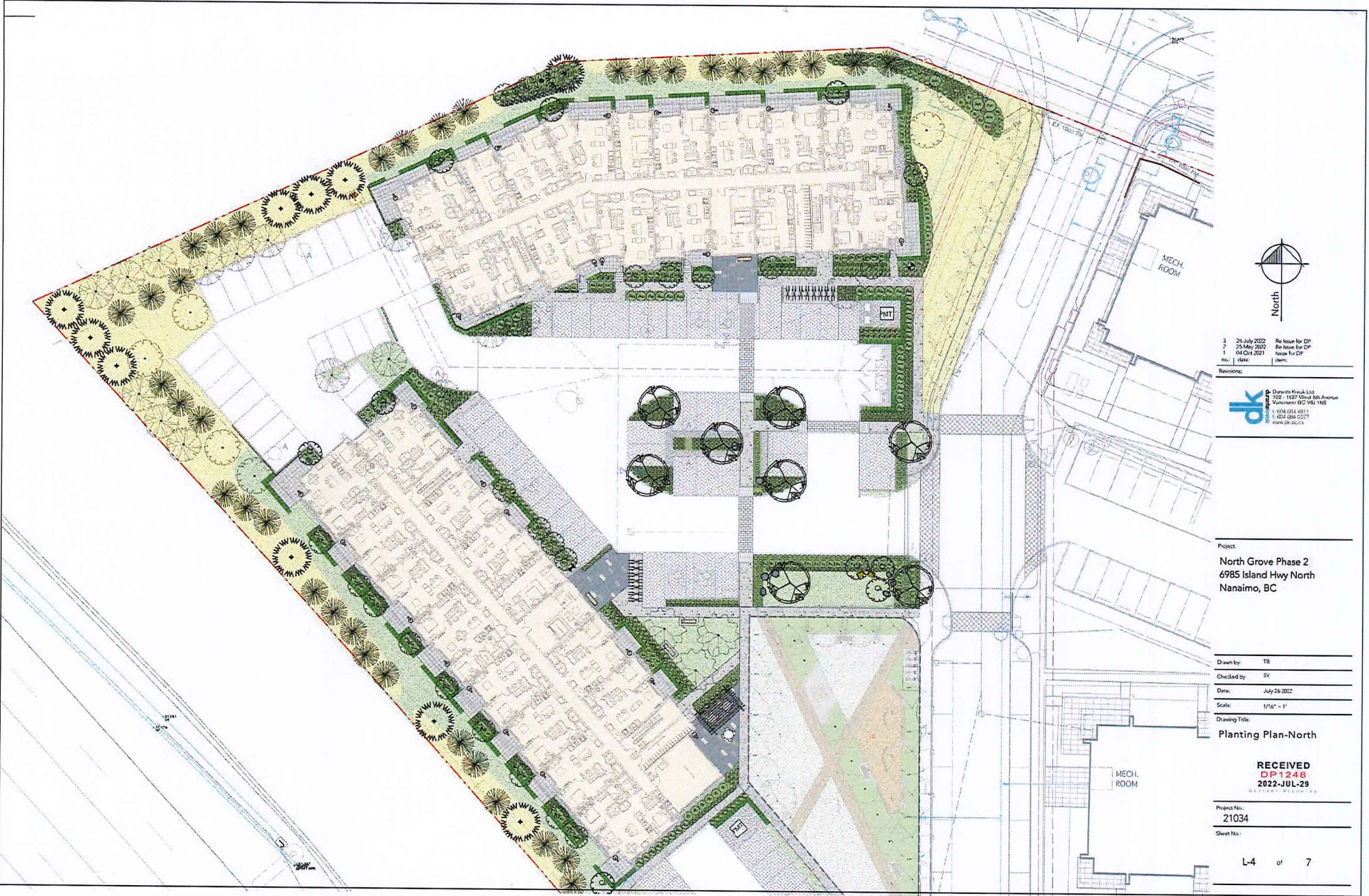
PHASE #2
 MECH. ROOM

Drawn by:	TB
Checked by:	SV
Date:	July 26, 2022
Scale:	1/16" = 1'

Drawing Title:
Grading & Materials Plan

RECEIVED
DP 1248
2022-JUL-29
 Durvick Kneib

Project No.:
 21034
 Sheet No.:



3	26 July 2022	Re-issue for DP
2	25 May 2022	Re-issue for DP
1	04 Oct 2021	Issue for DP
Rev.	Date	Item

Revisions:

dk Duravite Krušá Ltd.
 105 - 1427 West 5th Avenue
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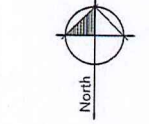
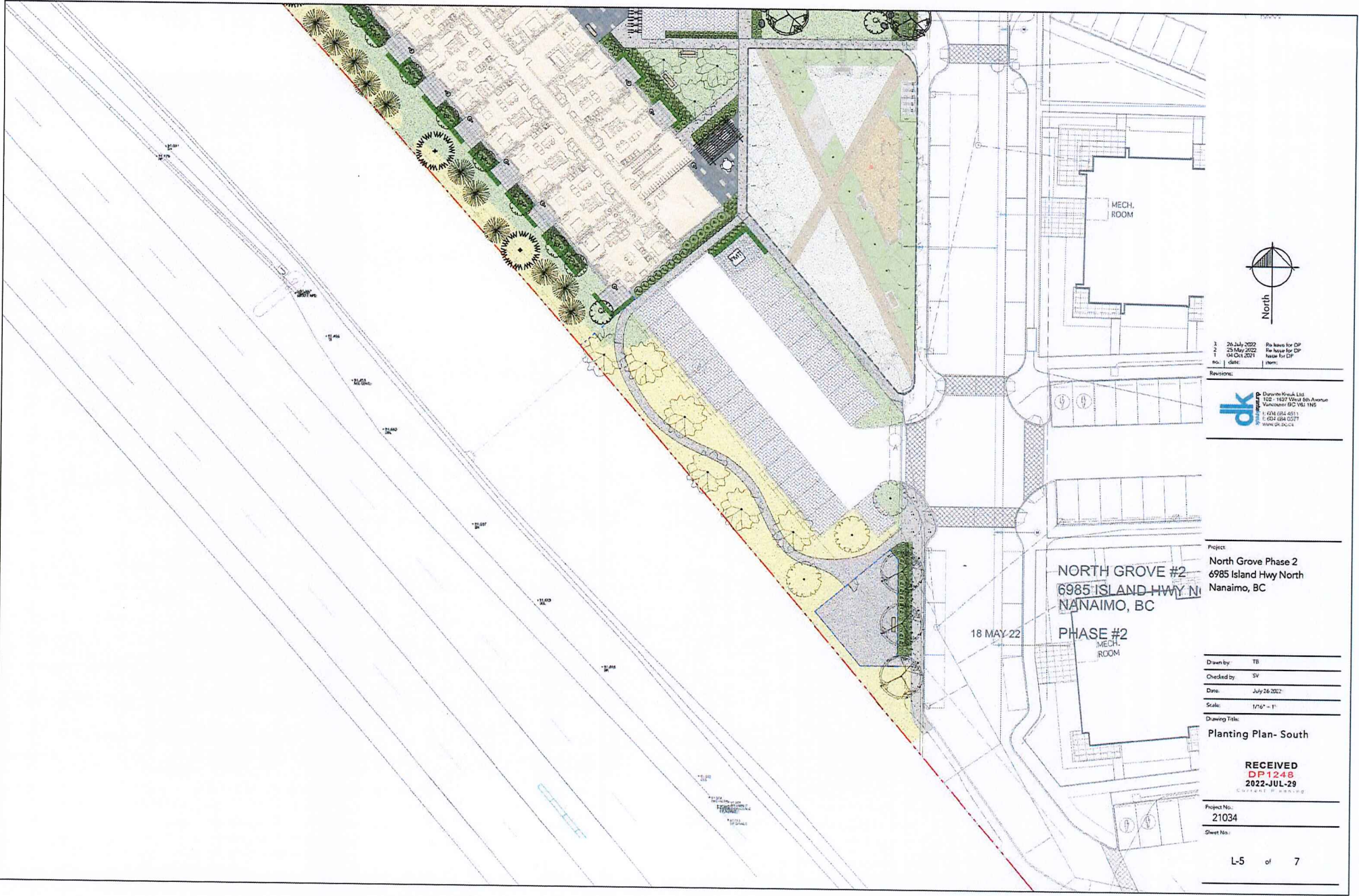
Project:
North Grove Phase 2
 6985 Island Hwy North
 Nanaimo, BC

Drawn by: TB
 Checked by: SV
 Date: July 26 2022
 Scale: 1/32" = 1'

Drawing Title:
Planting Plan-North

RECEIVED
DP 1248
2022-JUL-29
 GATEWAY PLANNING

Project No:
 21034
 Sheet No:



3	26 July 2022	Re issue for DP
2	23 May 2022	Re issue for DP
1	04 Oct 2021	Issue for DP
Rev.:	date:	item:

dk Design Works Ltd
 1022 - 1627 West 5th Avenue
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Project:
 North Grove Phase 2
 6985 Island Hwy North
 Nanaimo, BC

NORTH GROVE #2
6985 ISLAND HWY N
NANAIMO, BC

18 MAY 22

PHASE #2
 MECH. ROOM

Drawn by:	TB
Checked by:	SV
Date:	July 26 2022
Scale:	1/8" = 1'

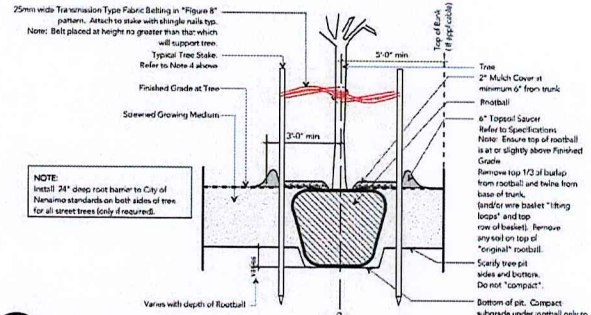
Drawing Title:
Planting Plan- South

RECEIVED
DP 12-4-8
2022-JUL-29
 Created by: [signature]

Project No.:	21034
Sheet No.:	

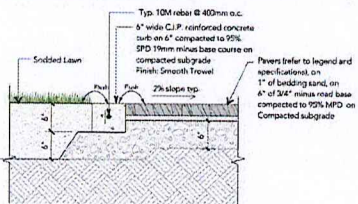
Depth of Growing Medium Total (mm)	Area (M ²)	Variation 1		Variation 2	
		Size of Surface Square	Size of Surface Circle	Size of Surface Square	Size of Surface Circle
18"	120	11 x 11 FT	12.5 FT Ø		
24"	90	9.5 x 9.5 FT	10.6 FT Ø		
30"	72	8.5 x 8.5 FT	9.5 FT Ø		

- NOTES:**
1. Do not cut Tree Leader.
 2. Protect tree from damage during planting. Ensure rootball protected from Sun, Frost or Desiccation.
 3. Ensure tree location does not conflict with underground services. "Call before digging".
 4. All street trees to be staked with 2" x 4" x 8'0" stakes. Minimum depth of stake embedment is 3'-0". Ensure stakes do not penetrate or damage rootball. Ensure all stakes are aligned parallel to sidewalk/road on tree pit centreline.
 5. Provide min. 5 cubic meters of growing medium per tree.
 6. Refer to Growing Medium Chart below for surface area depth of Growing Medium.

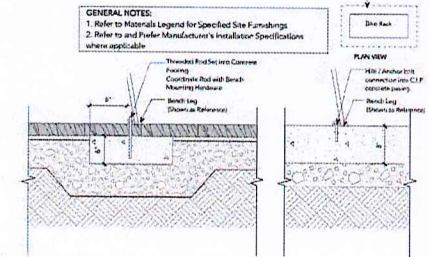


Ld-01 Typical Tree Planting on Grade
Scale: NTS

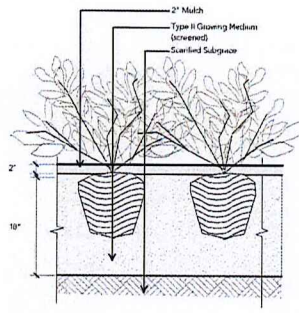
- Notes:**
1. Provide: Mask up of paver installation for review and approval by Landscape Architect
 2. Cut all Pavers as required to maintain pattern/layout as shown on Layout/Plan. All pavers to be cut with Concrete Stone Saw, no guillotine cuts will be allowed.



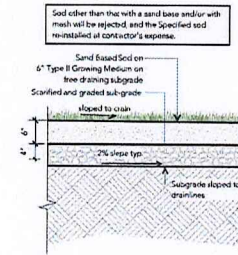
Ld-05 Pedestrian pavers on Grade
Scale: 1" = 1'-0"



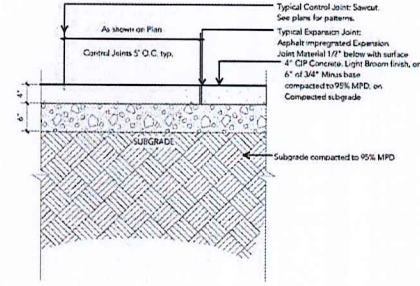
Ld-08 Site Furnishing
Scale: 1" = 1'-0"



Ld-02 Typical Shrub Planting on Grade
Scale: 1" = 1'-0"

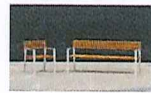


Ld-03 Sodded Lawn on Grade
Scale: 1" = 1'-0"



Ld-04 CIP Concrete sidewalk - On grade
Scale: 1" = 1'-0"

HARPO
Product Line Sheet

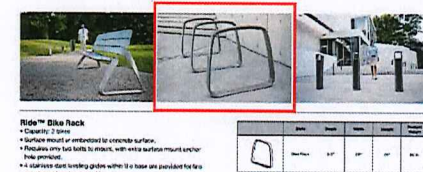


Bench

Model	Material	Color	Dimensions (L x W x H)	Weight
1	Aluminum	Black	48" x 18" x 36"	150 lbs
2	Aluminum	Black	48" x 18" x 36"	150 lbs
3	Aluminum	Black	48" x 18" x 36"	150 lbs
4	Aluminum	Black	48" x 18" x 36"	150 lbs
5	Aluminum	Black	48" x 18" x 36"	150 lbs
6	Aluminum	Black	48" x 18" x 36"	150 lbs
7	Aluminum	Black	48" x 18" x 36"	150 lbs
8	Aluminum	Black	48" x 18" x 36"	150 lbs
9	Aluminum	Black	48" x 18" x 36"	150 lbs
10	Aluminum	Black	48" x 18" x 36"	150 lbs

Ld-06 Bench
Scale: NTS

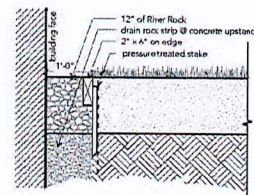
Metro40 Collection
Product Data Sheet



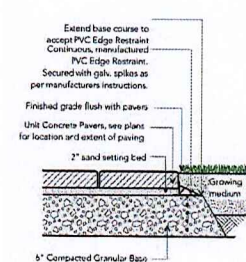
- Ride™ Bike Rack**
- Capacity: 2 bikes
 - Surface must be embedded in concrete surface.
 - Requires one set bolts to mount, with extra surface mount anchor (not provided).
 - A surface that handles bikes within 10' base are provided for the adjustments that are used.
 - Other plate and line rack bases provide various configurations.

Ld-07 Bike Rack
Scale: NTS

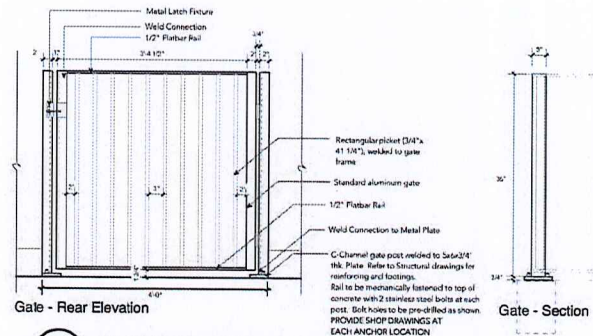
- Notes:**
1. Rocks to be 4"-6" Charcoal (GRESH) from Northwest Landscape Supply, or approved alternative.



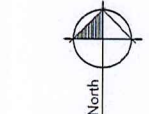
Ld-09 River Rock Drip Strip
Scale: 1" = 1'-0"



Ld-10 Hydrapressed Slab Pavers on Grade
Scale: 1/2" = 1'-0"



Ld-11 36" Height Metal Fence (Wall Mounted)
Scale: 1" = 1'-0"



Rev.	Date	Description	Re Issue for DP
3	26 July 2022		Re Issue for DP
2	23 July 2022		Re Issue for DP
1	04 Oct 2021		Issue for DP



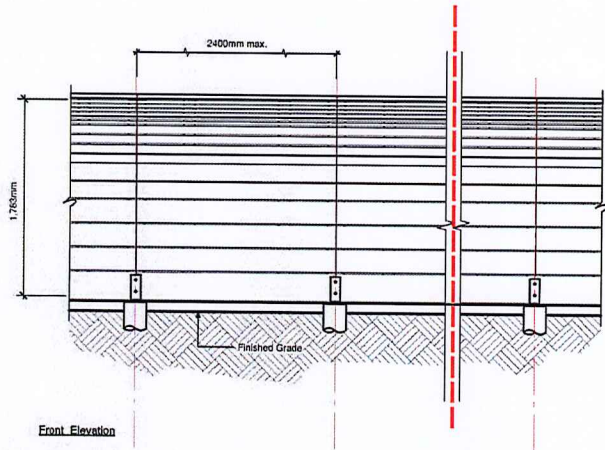
D.K. CONSULTANTS
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Project:
North Grove

Drawn by: TD
Checked by: SV
Date: July 26, 2022
Scale: 1/16" = 1"
Drawing Title:
Details

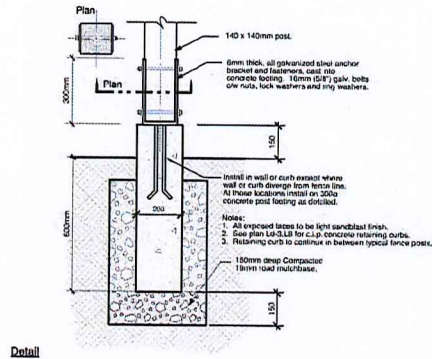
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2022-JUL-29

Project No.:
21034
Sheet No.:



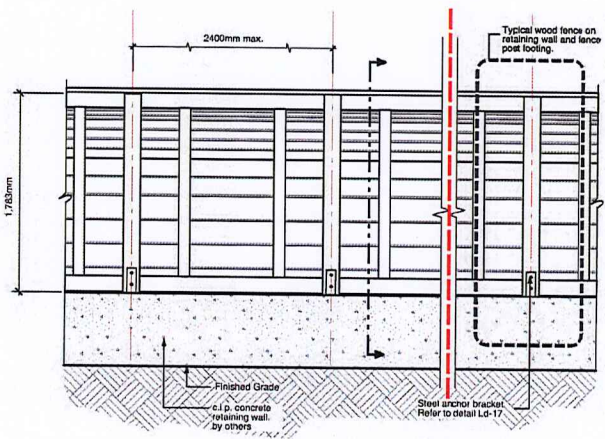
Front Elevation

Ld-01
L-1.0
Wooden Fence
Scale: 1/2" = 1'-0"



Detail

Fence post footing detail on c.p. concrete retaining curb
Scale 1:10

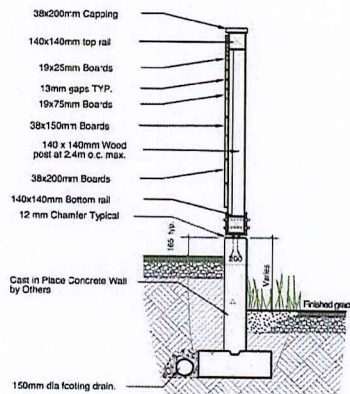


Back Elevation

Ld-02
L-1.0
Wooden Fence on Retaining Wall
Scale: 1/2" = 1'-0"

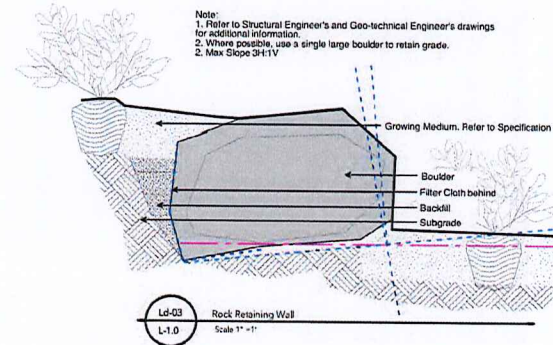
NOTE: All fence material to be select western red cedar resawn, pressure treated (P.T.) Hemfir where noted. All spikes and fasteners to be hot-dipped galvanized.

Note:
1. Refer to Structural / Civil Drawings for Reinforcing / Wall Detail.

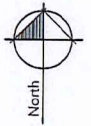


Section

Wooden Fence on Retaining Wall, Section
Scale: 1/2" = 1'-0"



Ld-03
L-1.0
Rock Retaining Wall
Scale 1" = 1'-0"



Rev.	Date	Issue for
3	26 July 2022	Rev Issue for DP
2	25 July 2022	Rev Issue for DP
1	04 Oct 2021	Issue for DP

DK
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Project:
North Grove

Drawn by:	TR
Checked by:	SV
Date:	July 26 2022
Scale:	1/16" = 1"
Drawing Title:	Details

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2022-JUL-29
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Project No.:	21034
Sheet No.:	L-7