



DEVELOPMENT PERMIT NO. DP001245

GURSHINDER SANDHU SINGH
Owner(s) of Land (Permittee)

225/233 NICOL STREET
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 7, BLOCK 9, SECTION 1, NANAIMO DISTRICT, PLAN 584, EXCEPT
THAT PART IN PLAN VIP52380
PID No. 006-740-898**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details
Schedule E Amenity Requirements for Additional Density

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site Plan & Parking Plans, prepared by Raymond de Beeld Architect Inc., dated 2023-FEB-28, as shown on Schedule B.
2. The subject property shall be developed in substantial compliance with the Building Elevations and Details, prepared by Raymond de Beeld Architect Inc., dated 2023-FEB-28, as shown on Schedule C.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Kinship Design., dated 2023-FEB-28, as shown on Schedule D.
4. Registration of a Statutory Right-of-Way (SRW) for the plaza adjacent to Nicol Street, generally as shown on the Site & Parking Plans (Schedule B), prior to building permit issuance.
5. Registration of a Statutory Right-of-Way (SRW) to accommodate future widening of the lane for a total lane width of 7m, and to accommodate future widening of the sidewalk adjacent to Nicol Street, for a total sidewalk width of 4.6m, generally as shown on the Site & Parking Plans (Schedule B), prior to building permit issuance.
6. Cash-in-lieu of two parking spaces at a rate of \$10,000 per space, for a total amount of \$20,000 to be directed towards sustainable transportation initiatives, is to be paid prior to Building Occupancy.
7. The subject property is developed in accordance with the 'Schedule D - Amenity Requirements for Additional Density' prepared by Raymond de Beeld Architect Inc., received 2023-MAR-01, as shown in Schedule E, and to include the following items:
 - A letter from the coordinating professional submitted prior to Building Permit issuance outlining how the required items for additional density will be achieved; and
 - A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.

The following item must be secured prior to the issuance of a building permit:

- A template for the proposed education signage, as committed to in the 'Schedule D - Amenity Requirements for Additional Density'.

REVIEWED AND APPROVED ON

2023. may - 18

Date

[Signature]
D. Lindsay, Deputy CAO/General Manager, Development Services

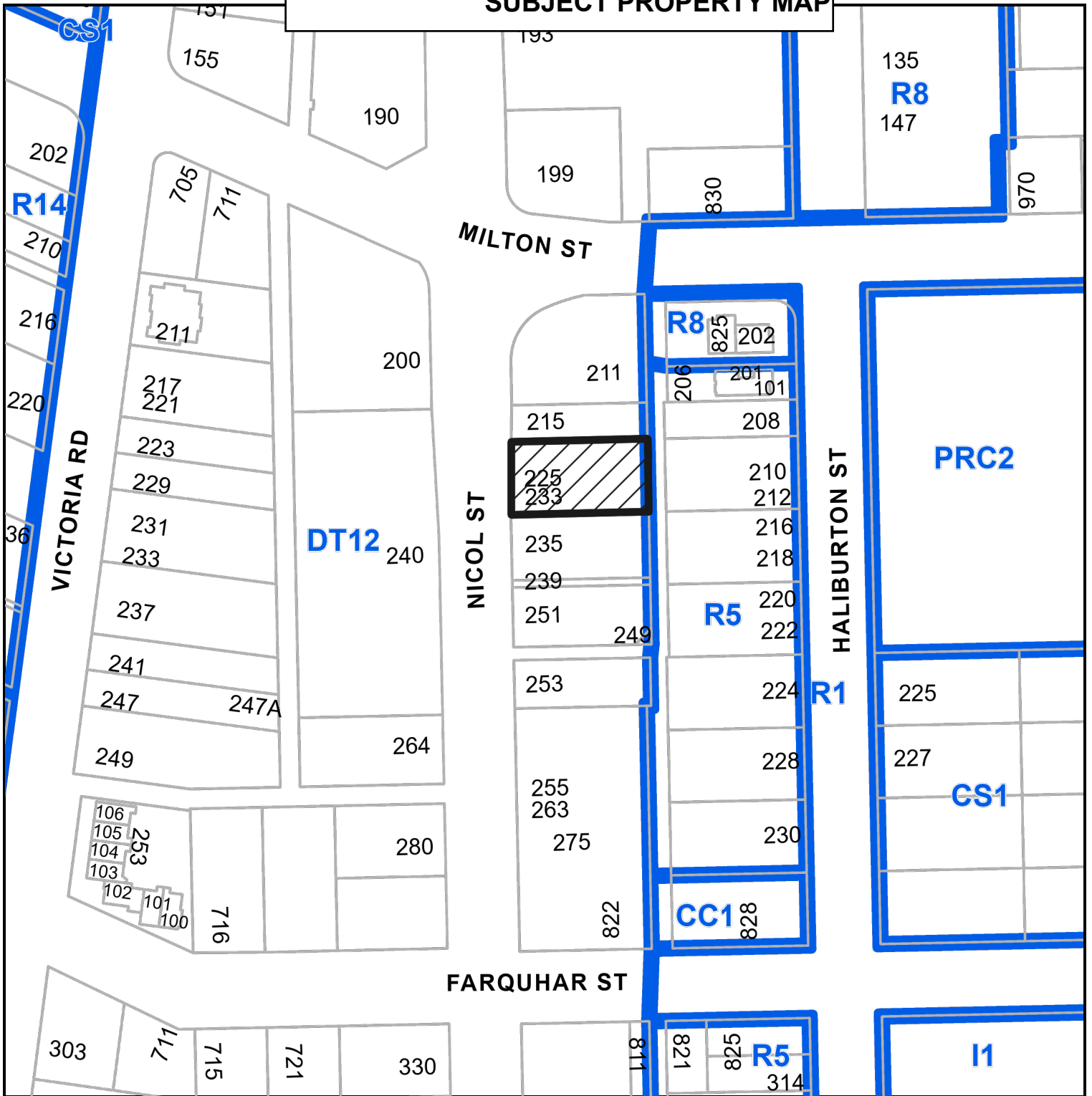
Development Services Division

Pursuant to Section 154 (1)(b) of the Community Charter

SR/bb

Prospero attachment: DP001245

SUBJECT PROPERTY MAP



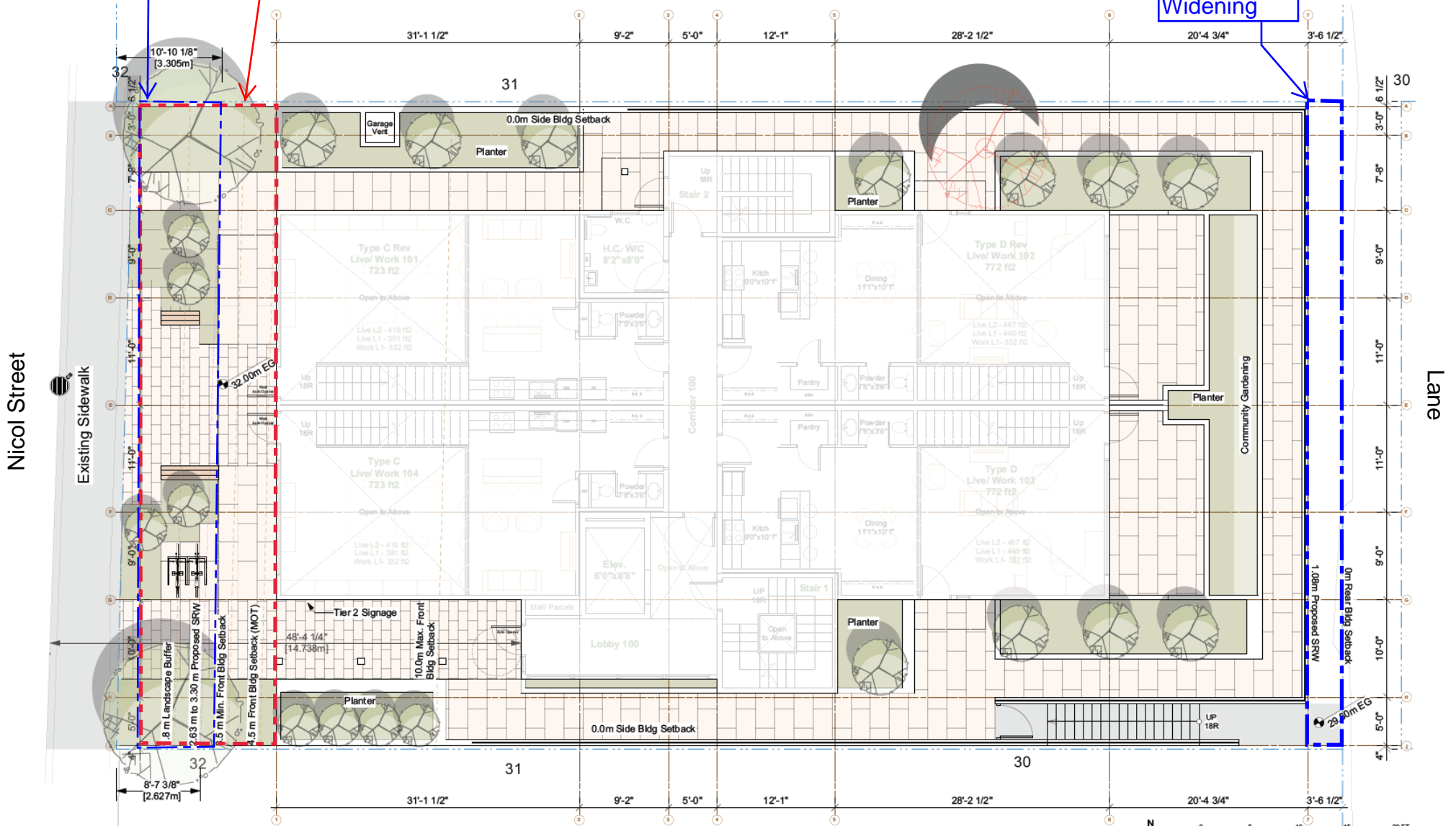
225 AND 233 NICOL STREET

SITE AND PARKING PLANS

Future Sidewalk Widening

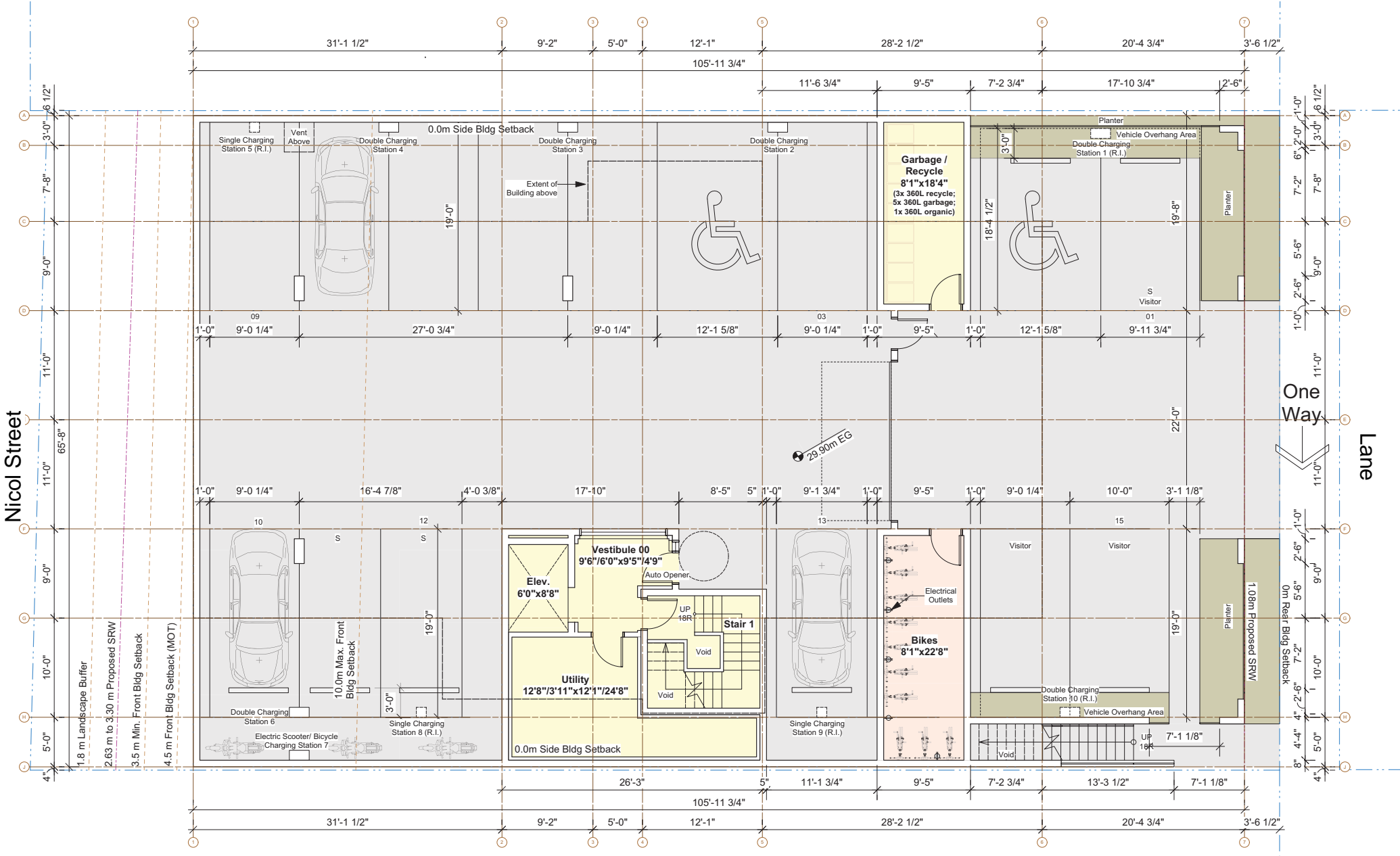
Location of Proposed Public Urban Plaza

Future Lane Widening



Nicol Street

One Way Lane



Development Permit No. DP001245 Schedule C
 225/233 Nicol Street
BUILDING ELEVATIONS AND DETAILS



1 West Elevation (Facing Nicol Street)



2 South Elevation



3 East Elevation (Facing Lane)



4 North Elevation

MATERIAL LEGEND:

- | | | |
|--|-----------------------------------|-------------------------------------|
| AL1 Corrugated Cladding (Dark Grey) | CN2 Precast Concrete | GL2 Vinyl Window System (Dark Grey) |
| AL2 Aluminium Picket Railing (Dark Grey) | FH1 Hardie Panel (Wood Grain) | MT1 Metal Flashing (Dark Grey) |
| AL3 Aluminium Grille Door (Dark Grey) | FP1 Fibre Cement Panel (Dark Red) | WD1 Wood Column (Natural) |
| AL4 Aluminium Storefront (Dark Grey) | FP2 Fibre Cement | |
| CN1 Concrete (Natural, Rod & Cone) | GL1 Glass Railing | |
| | GL2 Vinyl Window | |



Development Permit No. DP001245 Schedule D
 225/233 Nicol Street
LANDSCAPE PLAN AND DETAILS

NICOL STREET MIXED USE

LANDSCAPE ARCHITECTURAL DRAWINGS ISSUED FOR DEVELOPMENT PERMIT

LANDSCAPE SHEETS

- L1.01 Landscape Plan Design Rationale
- L1.02 Landscape Plan L1 Nicol Street
- L1.03 Landscape Plan L0 Parking Garage
- L1.04 Landscape Plan Roof
- L1.05 Plant List & Notes

DESIGN RATIONALE

CONTEXT

The landscape at 225/ 233 Nicol Street serves two primary functions. It establishes an improved streetscape for a new 4-level, 10-unit affordable market rental building with live-work studios on the east side of Nicol street - a busy, four-lane road that acts as a gateway into the City of Nanaimo, and it provides the private outdoor space for residents living in a contemporary urban development.

DESIGN CONCEPT URBAN HIGH STREET

The landscape design concept responds directly to the South End Neighbourhood Plan by contributing to the evolution of Nicol Street into a 'High Street' for south Nanaimo.

The urban high street concept is realized with an urban plaza along Nicol street comprised of refined hardscaping and appropriately scaled street-trees situated within a permeable planted edge that accentuates the human scale, and defines public and semi-private spaces.

Planter boxes with integrated seating extend around either side of the building, animating the streetscape with semi-private street furnishing and gathering spaces for residents, while embracing the development with lush, natural elements.

Roof decks on the third level overlook Nicol Street, allowing for 'eyes-on-the-street', softening the building form and connecting the ground plane to the building's upper levels with a cohesive planting design.

Generous planting and natural features integrated into the sidewalk boulevard provide pedestrian comfort and visual interest at the human scale to complement a unique new building.

The landscape design anchors a contemporary building within the local context with a strong indigenous planting palette, relying on native, drought tolerant and evergreen species inspired by the local ecology.

Key components of the landscape design include:

- A diverse, multi-layered planting scheme that relies on street trees, drought tolerant native species and natural elements to enhance the streetscape along Nicol Street
- Clean, refined paving and hardscaping details emphasize the urban character of Nicol Street, and new integrated furnishing create animation and vitality at street level
- Sidewalks and short-term bike parking accommodate active transportation alternatives
- Additional plantings and vertical planted screens at the rear improve the visual character of the parkade garage
- Green roofs over the entrance canopy and building roof, manage stormwater & create space for greater biodiversity & plant material on the site
- Roof decks overlooking Nicol Street create private outdoor spaces for residents and support eyes on the street.

DESIGN PRECEDENTS



01 Mix perennial grasses & flowers, shrubs and tree plantings



02 Green roof



03 Paper bark maple



04 Vertical green screen



05 Concrete / stone unit pavers



06 Recessed wall lighting



07 Bollard lighting



08 Bench



1070 Nelson Street, Nanaimo BC, V9S 2K2
 250-753-9002
 kate.sterluk@kinshipdesign.ca
 chris.midgley@kinshipdesign.ca



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CLIENT

Daljinder Singh
 13208-80th Avenue
 Surrey, B.C.
 V3W 3B3

NO. | DATE | ISSUE

NO.	DATE	ISSUE
1	09-20-21	DP
2	08-13-22	DP RESUBMISSION
3	11-04-22	DP RESUBMISSION
4	02-28-2023	DP RESUBMISSION

NO. | DATE | REVISION

NO.	DATE	REVISION

PROJECT

Nicol Street Mixed Use
 225/ 233 Nicol Street
 Nanaimo, BC

LANDSCAPE PLAN DESIGN RATIONALE

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 DP1245
 2023-MAR-01
LANDSCAPE ARCHITECTURE

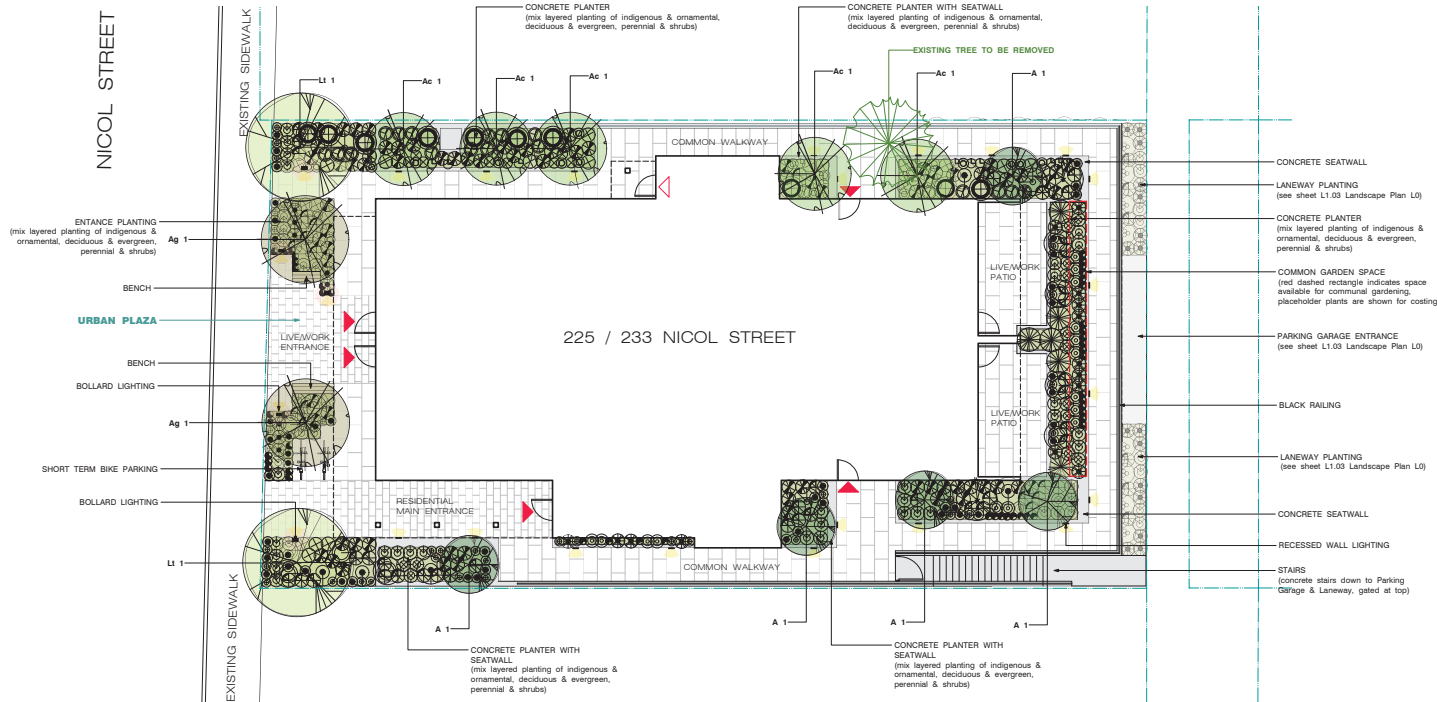
PROJECT ID 21017

DB CM CB KS

SCALE NTS
 DATE September 17, 2021

L1.01

NICOL STREET



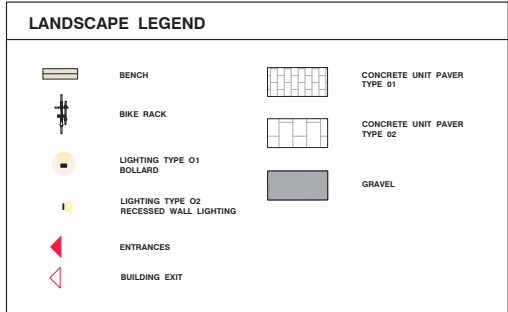
TREE MANAGEMENT NOTES

1. **EXISTING TREE**
 (1) Douglas Fir (only existing tree) to be removed
 See sheet L1.02 Landscape Plan L1 Nicol Street for location.

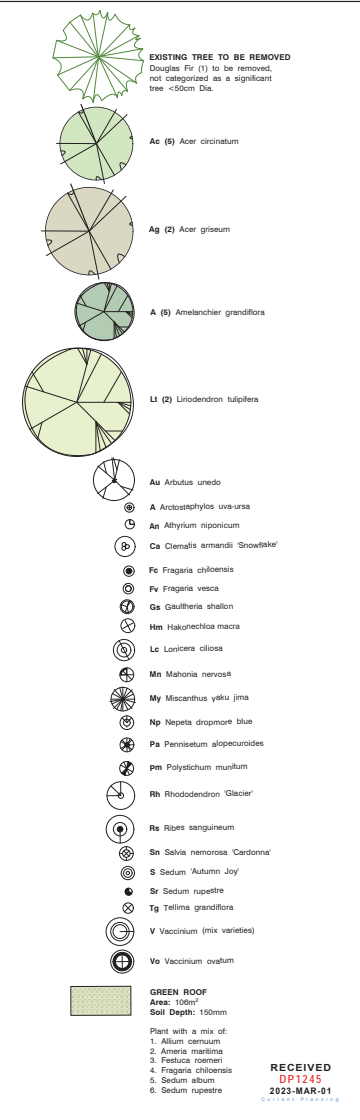
2. **REPLACEMENT TREES**
 (14) Replacement Trees
 (exceeding the required replacement trees)
 See sheet L1.02 Landscape Plan L1 Nicol Street for location of replacement trees. See sheet L1.05 for complete plant species & quantities list.

Refer to **Sheet L1.03** for Landscape Plan L0 Parking Garage
 Refer to **Sheet L1.04** for Landscape Plan Roof
 Refer to **Sheet L1.05** for Plant List & Notes

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PLANT LEGEND



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 2023-MAR-01

kinship
 design • art • ecology

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4	02-28-2023	DP REVISIONS

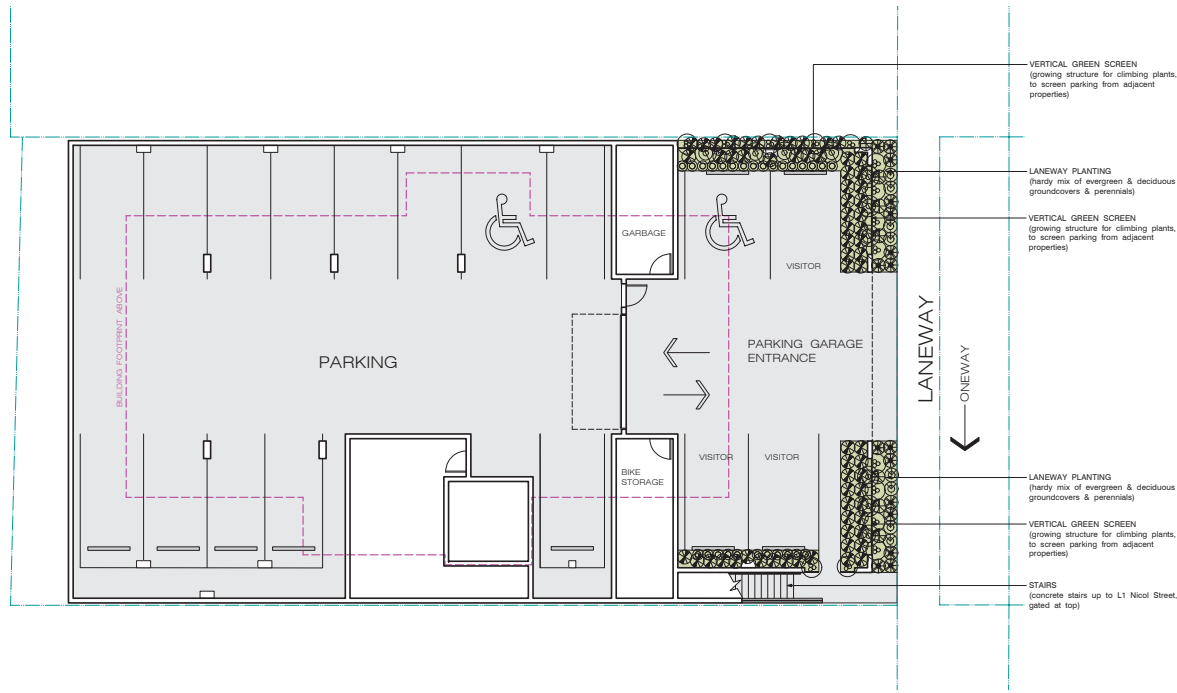
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PROJECT
 Nicol Street Mixed Use
 225/ 233 Nicol Street
 Nanaimo, BC

PROJECT ID 21017
DB CM **CB** KS
SCALE 1:100
DATE September 17, 2021

**LANDSCAPE PLAN L1
 NICOL STREET**

L1.02



PLANT LEGEND

EXISTING TREE TO BE REMOVED
Douglas Fir (1) to be removed, not categorized as a significant tree <50cm Dia.

Ac (6) Acer circinatum

Ag (2) Acer griseum

A (5) Amelanchier grandiflora

L1 (2) Liriodendron tulipifera

Au Arbutus unedo

A Acrostaphylos uva-ursa

An Athyrium niponicum

Ca Clematis armandi 'Snowflake'

Fc Fragaria chiloensis

Fv Fragaria vesca

Gs Gaultieria shallon

Hm Hakonechloa macra

Lc Lonicera ciliosa

Mn Mahonia nervosa

My Miscanthus yaku jima

Np Nepeta dropmore blue

Pa Pennisetum alopecuroides

pm Polystichum munitum

Rh Rhododendron 'Glacier'

Rs Ribes sanguineum

Sn Salvia nemorosa 'Cardinal'

S Sedum 'Autumn Joy'

Sr Sedum rupestre

Tg Tellima grandiflora

V Vaccinium (mix varieties)

Vo Vaccinium ovatum

GREEN ROOF
Area: 106m²
Soil Depth: 150mm

Plant with a mix of:
1. Allium cernuum
2. Anemone maritima
3. Festuca roemari
4. Fragaria chiloensis
5. Sedum album
6. Sedum rupestre

TREE MANAGEMENT NOTES

- EXISTING TREE**
(1) Douglas Fir (only existing tree) to be removed
See sheet L1.02 Landscape Plan L1 Nicol Street for location.
- REPLACEMENT TREES**
(14) Replacement Trees (exceeding the required replacement trees)
See sheet L1.02 Landscape Plan L1 Nicol Street for location of replacement trees. See sheet L1.05 for complete plant species & quantities list.

LANDSCAPE LEGEND

BENCH

BIKE RACK

LIGHTING TYPE 01 BOLLARD

LIGHTING TYPE 02 RECESSED WALL LIGHTING

ENTRANCES

BUILDING EXIT

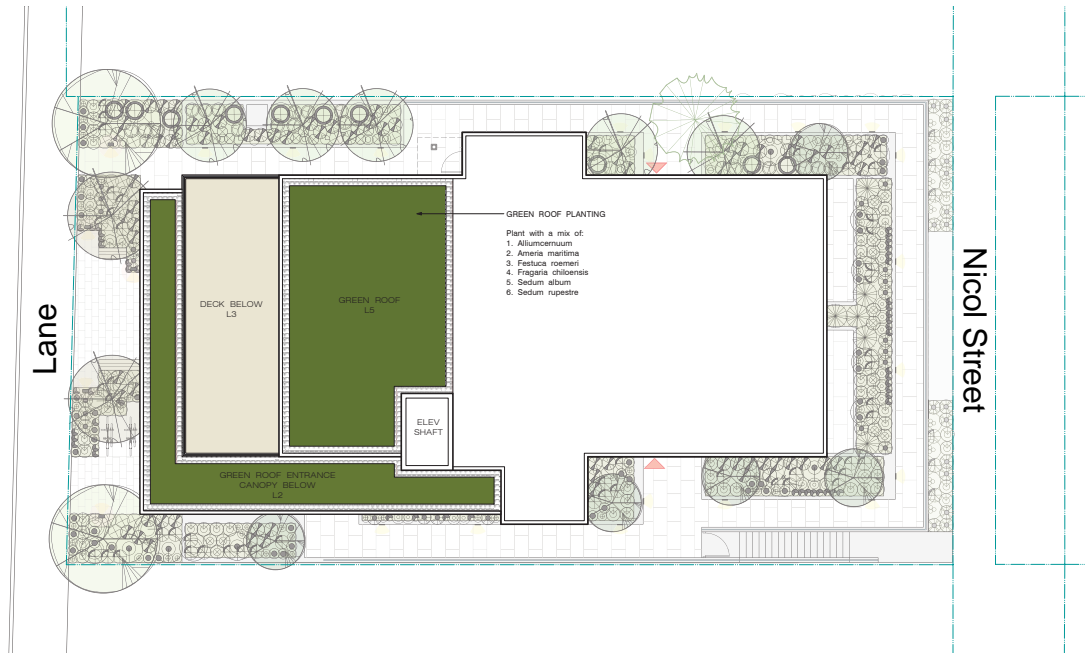
CONCRETE UNIT PAVER TYPE 01

CONCRETE UNIT PAVER TYPE 02

GRAVEL

Refer to **Sheet L1.02** for Landscape Plan L1 Nicol Street
Refer to **Sheet L1.04** for Landscape Plan Roof
Refer to **Sheet L1.05** for Plant List & Notes

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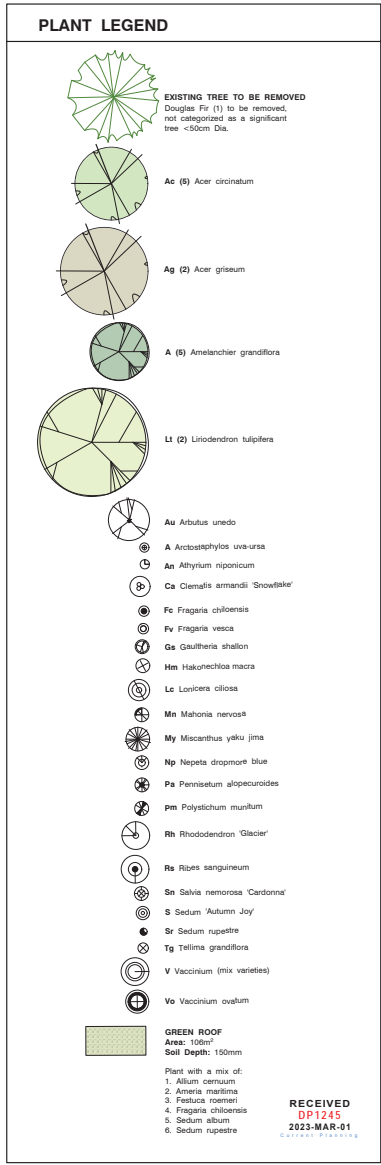
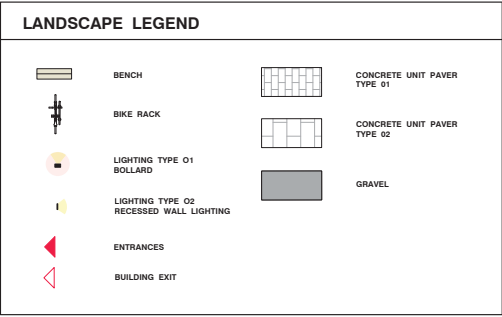
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TREE MANAGEMENT NOTES

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3	11-04-22	DP REVISIONS
4	02-28-2023	DP REVISIONS

NO. | DATE | REVISION

PROJECT
 Nicol Street Mixed Use
 225/ 233 Nicol Street
 Nanaimo, BC

PROJECT ID 21017
DB CM **CB** KS

SCALE 1:100
DATE September 17, 2021

LANDSCAPE PLAN
ROOF

L1.04

CLIENT

Dalinder Singh
13208 80th Avenue
Surrey, B.C.
V3W 3B3

NO. | DATE | ISSUE

2	08-13-22	DP REVISIONS
3	11-04-22	DP REVISIONS
4	02-28-2023	DP REVISIONS

NO. | DATE | REVISION

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PROJECT

Nicol Street Mixed Use
225/ 233 Nicol Street
Nanaimo, BC

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DP 1245
2023-MAR-01
COURTNEY PLANNING

PROJECT ID 21017

DB CM CB KS

SCALE NTS
DATE September 17, 2021



PLANT LIST

Key	Qty	Botanical Name	Common Name	Pot Size	Spacing
Deciduous Trees					
Ac	5	Acer circinatum	Vine Maple	#7	Multistem
Ag	2	Acer gresum	Paper Bark Maple	6cm cal	1.8m branching ht
A	5	Amelanchier grandiflora 'Autumn Brilliance'	Service Berry	#7	Multistem
Lt	2	Liriodendron tulipifera	Tulip Tree	6cm cal	1.8m branching ht
Deciduous Shrubs					
Ra	5	Ribes sanguineum	Red Flowering Currant	#1	1.2m o.c.
V	11	Vaccinium (mix varieties)	Blueberry	#1	1.2m o.c.
Evergreen Shrubs					
Au	2	Arbutus unedo 'Compacta'	Compact Strawberry Tree	#7	2m o.c.
Rh	6	Rhododendron 'Glacier'	Evergreen Azalea	#2	1.2m o.c.
Ve	10	Vaccinium ovatum	Evergreen Huckleberry	#1	1m o.c.
Groundcovers & Ferns					
Au	40	Arctostaphylos uva-ursi	Kirkcubbin	10cm	45cm o.c.
As	14	Allythium riponicum	Japanese Painted Fern	10cm	45cm o.c.
Fc	85	Fragaria chiloensis	Coastal Strawberry	10cm	45cm o.c.
Fv	47	Fragaria vesca	Woodland Strawberry	10cm	45 cm o.c.
Ga	20	Gaullthera shallon	Sial	#1	60cm o.c.
Mn	55	Maltonia nervosa	Dull Oregon Grape	#1	60cm o.c.
Pm	137	Polystichum muratum	Sword fern	#1	60cm o.c.
Ornamental Grasses					
Hm	25	Hakonechloa macra	Japanese Forest Grass	#1	60cm o.c.
Mj	6	Miscanthus yaku jima	Maiden Grass	#1	1m o.c.
Pa	42	Pennisetum alopecuroides 'Hameln'	Dwarf Fountain grass	#1	60cm o.c.
Rf	85	Festuca roemerii	Roemers Fescue	10cm	30cm o.c.
Perennials					
Ac	85	Allium cernuum	Nodding Onion	10cm	45cm o.c.
Ar	85	Armeria maritima	Sea Thrift	10cm	45cm o.c.
Np	51	Nepeta x faasseni 'Drogmore'	Catmint	#1	60cm o.c.
Sn	14	Salvia nemorosa 'Caradonna'	Purple Wood Sage	#1	60cm o.c.
Sa	85	Sedum album	Sedum	10cm	30cm o.c.
Se	16	Sedum 'Autumn Joy'	Sedum	#1	60cm o.c.
Sr	85	Sedum rupestre	Sedum Angelina	10cm	30cm o.c.
Tg	9	Tellima grandiflora	Fringecup	10cm	45cm o.c.
Vine					
Ca	15	Clematis armandi 'Snowflake'	Evergreen Clematis	#1	1m o.c.
Lc	10	Lonicera ciliosa	Western Trumpet Honeysuckle	#1	1m o.c.

PLANTING NOTES

- All landscape installation and maintenance to meet or exceed the current edition of the Canadian Landscape Standards as a minimal acceptable standard.
- Growing medium to meet or exceed the properties outlined in the Canadian Landscape Standard per Section 6 Growing Medium, Table T-6.3.5.3. Properties of Growing Media Level 2 "Groomed" - 2P.
- Growing Medium Depths:
Tree Planting Areas: 1 c.u. m. per tree
Shrub & Ground Cover Areas: 450mm (18") depth
Seeded Areas: 150mm (6") depth
- Mulch to be Compost per Section 10 Mulching of the Canadian Landscape Standard. Mulch depth to be 70mm minimum depth pver all tree, shrub, and groundcover planting areas.
- Plant material quality, transport and handling shall comply with the CNLA standards for Nursery Stock.
- All plant material shall match type and species as indicated on the planting plan. Contact the Landscape Architect for approval of substitutions. No substitutions will be accepted without prior written approval of the Landscape Architect.
- Check for locations of water lines and other underground services prior to digging tree pits. Excavated plant pits shall have positive drainage. Plant pits when fully flooded with water shall drain within one hour after filling.
- No plants requiring pruning or major branches due to disease, damage or poor form will be accepted.
- All tree, shrub, groundcover and lawn areas shall be watered via an underground automatic irrigation system utilizing Smart (ET/Weather-based) irrigation control. Irrigation emission devices to be high efficiency low volume rotary nozzles or drip irrigation equipment.

TREE MANAGEMENT NOTES

- EXISTING TREE**
(1) Douglas Fir (only existing tree) to be removed
See sheet L1.02 Landscape Plan L1 Nicol Street for location.
- REPLACEMENT TREES**
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Refer to **Sheet L1.02** for Landscape Plan L1 Nicol Street
Refer to **Sheet L1.03** for Landscape Plan L0 Parking Garage
Refer to **Sheet L1.04** for Landscape Plan Roof

NOT FOR CONSTRUCTION

PLANT LIST & NOTES

L1.05

SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY

In order for a development to include the additional Tier 1 density provided for within this Bylaw, the proposed development must achieve sufficient minimum points required in at least three of the categories set out in the following table which allocates points for amenities, affordable housing and the location of the development.

In order for a development to include the additional Tier 2 density provided for within this Bylaw, the proposed development must achieve at total of 65 or more points set out in the following table which allocates points for amenities, affordable housing and the location of the development.

Category 1: Site Selection (10 points required) 6

Amenity		Points
A	The proposed development is located on a brownfield site.	5
B	The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks.	3
C	The proposed development is located within 200m of a park or trail network.	1
D	The proposed development is located within 400m of any of the following: <ul style="list-style-type: none"> ● retail store; ● daycare facility; ● Nanaimo Regional District transit bus stop; ● any PRC (Parks, Recreation and Culture) Zoned property; and / or ● a CS-1 (Community Service One) zoned property. 	1 point each 5
E	The proposed development will add any of the following amenities on the site, or immediately adjacent to the site, as part of the proposed development: <ul style="list-style-type: none"> ● retail store or public market; ● daycare facility; ● Nanaimo Regional District transit bus stop; ● any PRC (Parks, Recreation and Culture) Zoned property; ● a CS-1 (Community Service One) zoned property; and / or ● public art. 	1 point each
Total		20

Category 2: Retention and Restoration of Natural Features (8 points required)

4

Amenity		Points
A	The subject property includes a Terrestrial Environmentally Sensitive Area (ESA), as designated by the City Plan “Schedule 6 – DPA1 Environmentally Sensitive Areas” and includes at least a 15m natural area buffer around the ESA.	2
B	The property includes the retention of natural vegetation, trees, shrubs, and under storey for a contiguous area that is equal to or greater than 15% of the property area, exclusive of the required watercourse leavestrip or environmentally sensitive area buffer.	3
C	The proposed development includes at least 50% retention of natural soils.	1
D	The subject property includes at least one significant tree and the proposed development will not result in the loss of any trees included on the list of significant trees within the City of Nanaimo’s Management and Protection of Trees Bylaw.	2
E	The proposed development includes street trees.	1
F	After re-planting, the proposed development does not result in a net loss of trees with a caliper greater than 6cm.	1
G	Post development, the total amount of trees on the property, or adjacent road right-of-way or public space is at least 20% more than the number of trees on the property before development.	2
H	Restore a minimum of 50% of the site area (excluding the building footprint) by maintaining pervious surfaces.	3
I	The development includes permanent educational signage or display(s) regarding the protected or planted plants, trees, animal habitat or other natural features on the site.	1
Total		16

(4500.199; 2022-JUL-04)

Category 3: Parking and Sustainable Transportation (10 points required) **11**

Amenity		Points
A	For a non-residential component of a development, shower and change room facilities are provided to accommodate employees.	2
B	At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op.	1
C	The developer purchases a new car and gifts the car to a recognized car share provider for the inclusion of a car share space on the subject property.	4
D	A minimum of 50% of the parking provided for the proposed development includes access to an electric vehicle charging station.	2
E	A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.	4
F	The proposed development includes covered and designated parking spaces for a motorized or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces: a) multiple family residential developments: 1 motorized or electric scooter or motorcycle space per 15 dwelling units; or b) non-residential uses: 1 motorized or electric scooter or motorcycle space per 600m ² of Gross Floor Area for the first 5000m ² plus one space per 1500m ² of additional Gross Floor Area.	2
G	A pedestrian network is included in the proposed development that connects the buildings on the site with the public road right-of-way and, the pedestrian network from the adjacent site to which there is access by perpetual easement or right-of-way, provided the City agrees to accept the right-of-way.	2
H	Parking does not exceed minimum parking requirements within the City of Nanaimo "Off-Street Parking Regulations Bylaw 2018 No. 7226" and amendments thereto, and any subsequent bylaw or bylaws which may be enacted in the substitution thereof.	2
I	The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.	1
Total		20

(4500.182; 2021-DEC-06)

Category 4: Building Materials (8 points required) **2**

Amenity		Points
A	Wood is the primary building material.	1
B	The proposed development uses salvaged, refurbished or reused materials; the sum of which constitutes at least 10% of the total value of materials on the project.	2
C	At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC), the Sustainable Forestry Initiative (SFI), the Canadian Standards Association – Sustainable Forest Management Standard (CSA-SFM), or recognized equivalent.	3
D	The proposed development uses materials with recycled content such that the sum of the postconsumer recycled material constitutes at least 25%, based on costs, of the total value of the materials in the project.	2
E	The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled.	2
F	At least 75% of the materials used in construction are renewable resources.	2
G	The property includes an existing building and at least 75% of existing building structure or shell is retained.	3
H	The development includes permanent educational signage or display(s) regarding the sustainable use of building materials used during construction of the project.	1
Total		16

Category 5: Energy Management (11 points required) **31**

Amenity		Points
A	The proposed development meets at least the requirements of Step 2 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by one step.*	10*
B	The proposed development meets at least the requirements of Step 3 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by two steps.*	15*
C	The proposed development is considered a Part 3 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 (Net Zero Ready) within the BC Energy Step Code; or The proposed development is considered a Part 9 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 or 5 within the BC Energy Step Code.*	30*
D	The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite.	1
Total		31

* Points will be awarded for only one of A, B, or C.

54

Category 6: Water Management (8 points required) **7**

Amenity		Points
A	At least 50% of the property is covered with a permeable surface area which may include a green roof.	2
B	The proposed buildings on the property include plumbing features which will use 35% less water than the BC Building Code standard.	2
C	A green roof is installed to a minimum 30% of the roof area.	3
D	A living wall is installed to cover at least 10% of the total available wall area for the proposed project.	2
E	A non-potable irrigation system is installed and used for all on-site irrigation.	3
F	A water efficient irrigation system (such as drip) is installed.	1
G	The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property.	2
H	The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site.	1
Total		16

61

Category 7: Social and Cultural Sustainability (8 points required) **4**

Amenity		Points
A	At least 10% of the residential dwelling units within a building are no greater than 29m ² in area.	1
B	At least 10% of the residential dwelling units meet all the accessibility requirements within the <i>British Columbia Building Code 2012 (BCBC)</i> or any subsequent Act or Acts which may be enacted in substitution therefore.	3
C	The property owner agrees to enter into a Housing Agreement with the City of Nanaimo to ensure that all residential dwelling units shall not be sold independently for at least ten years after the building receives final occupancy.*	4*
D	The property owner agrees to enter into a Housing Agreement with the City of Nanaimo to ensure that all residential dwelling units shall not be sold independently.*	7*
E	The property owner agrees to enter into a Housing Agreement with the City of Nanaimo to ensure that where residential dwelling units are subdivided under the <i>Strata Property Act</i> or otherwise sold separately, the strata corporation will not place restrictions which prevent the rental of individual residential units.*	2*
F	A permanent public art feature is included on the site in accordance with the City's Community Plan for Public Art.	2
G	A children's play area is provided.	1
H	A dedicated garden space is provided to building residents and/or members of the community in which users are given the opportunity to garden.	1
I	The development site includes permanent heritage interpretive signage or heritage building elements where relevant.	1
J	The development protects and rehabilitates heritage buildings or structures, archaeological resources and cultural landscapes considered to have historical value by the City.	3
Total		19

*Points will be awarded for only one of C, D, or E.

(4500.154; 2019-NOV-04)