



DEVELOPMENT PERMIT NO. DP001244

PACSWELL DEVELOPMENTS NANAIMO INC
Owner(s) of Land (Permittee)

4125 JINGLE POT ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

LOT B, SECTION 5, WELLINGTON DISTRICT, PLAN EPP124196
PID No. 031-881-696

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Subject Property Map
Schedule B Site Plan
Schedule C Building Elevations and Details
Schedule D Site Sections
Schedule E Landscape Plan
Schedule F Schedule D – Amenity Requirements for Additional Density

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

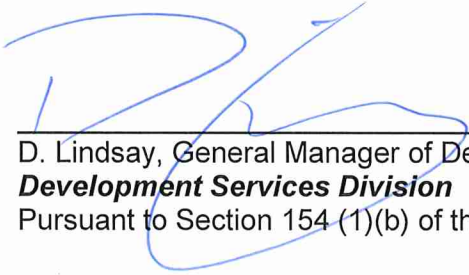
CONDITIONS OF PERMIT

1. The subject property is developed generally in accordance with the Site Plan prepared by BJK Architecture Inc., dated 2022-DEC-12, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by BJK Architecture Inc., dated 2021-SEP-15, as shown on Schedule C.
3. The development is in substantial compliance with the Landscape Plan prepared by LADR Landscape Architects, received 2022-OCT-28, as shown on Schedule E.
4. The subject property is developed in accordance with the "Schedule D – Amenity Requirements for Additional Density" prepared by BJK Architecture Inc., dated 2021-SEP-14, as shown on Schedule F.
5. Discharge of existing sanitary sewer statutory right-of-way (SRW) EH134630 and associated plan 3520W, and replacement with current standard charge documents and revised SRW prior to building occupancy.

REVIEWED AND APPROVED ON

2023-APR-14

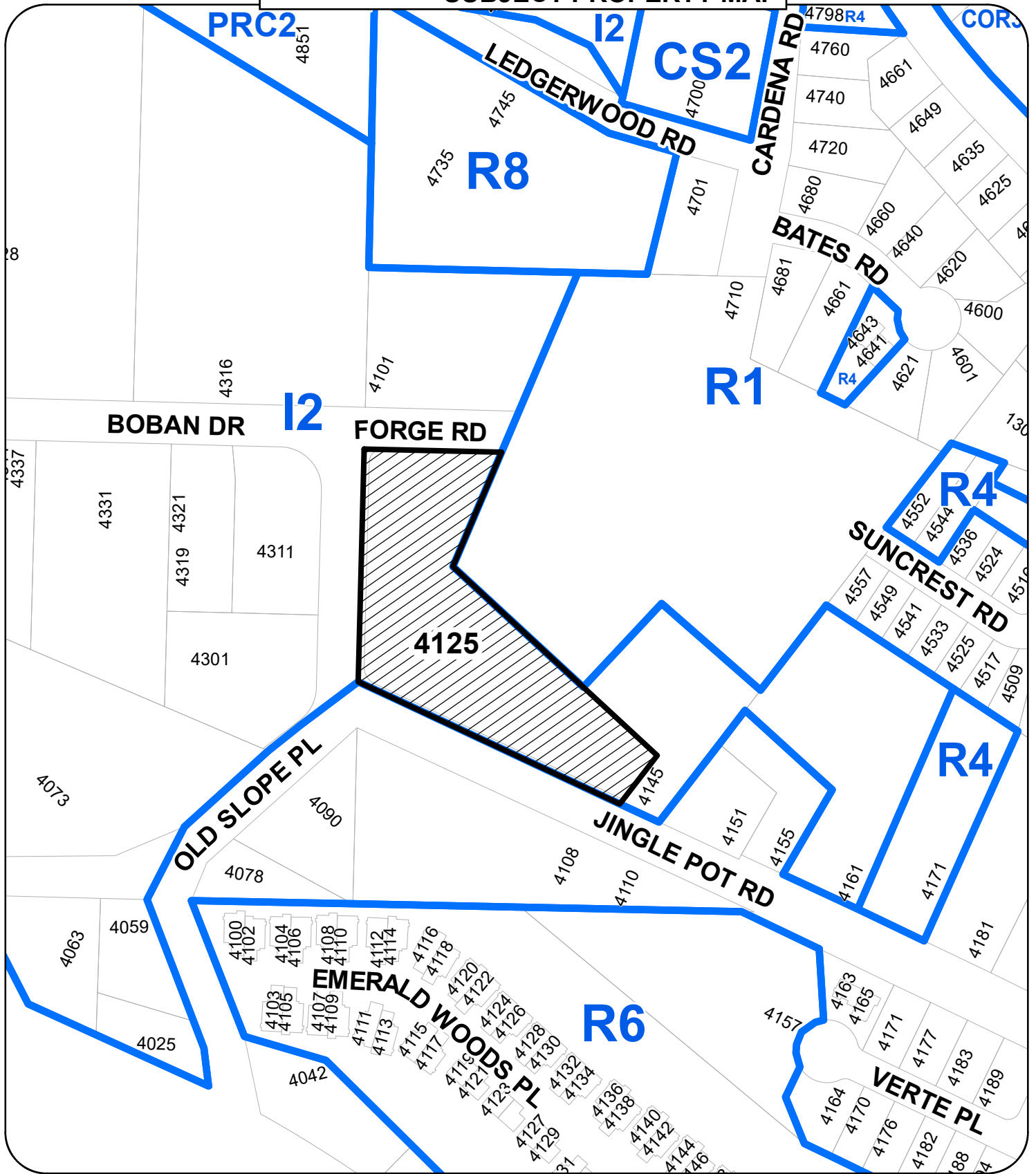
Date


D. Lindsay, General Manager of Development Services
Development Services Division
Pursuant to Section 154 (1)(b) of the Community Charter

CH/bb

Prospero attachment: DP001244

SUBJECT PROPERTY MAP



 4125 JINGLE POT ROAD

PHASE 1

SITE AREA TOTAL - 10,958
BLDG. FOOTPRINT TOTAL - 4710.9m²
SITE COVERAGE TOTAL - 43%

JINGLEPOT ZONING DATA

USEABLE FLOOR AREAS

	BUILDING A	BUILDING B	TOTAL
MAIN FLOOR	2839.1m ²	1785.1m ²	4624.2m ²
MEZZANINE	125.3m ²	205.6m ²	330.9m ²
UG OFFICE	507.8m ²	235.4m ²	743.2m ²
TOTAL	3472.2m²	2226.1m²	5698.3m²

BUILDING FOOTPRINT

2839.1m ²	1871.8m ²	4710.9m ²
----------------------	----------------------	----------------------

PARKING - STALLS

USE RATIO	INDUSTRIAL 1 STALL/100m ²	INDUSTRIAL 1 STALL/100m ²	TOTAL
TOTAL REQUIRED	34.7	22.3	58
TOTAL PROVIDED	35	23	58

BUILDING HEIGHT

7.01m (23')	7.01m (23')
10.6m (35')	10.6m (35')

FROM MAIN FLOOR
FROM STREET FACE

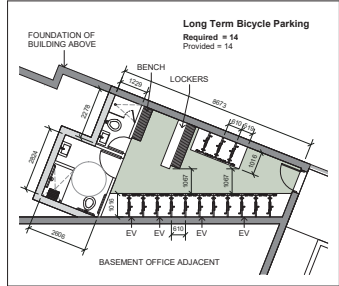
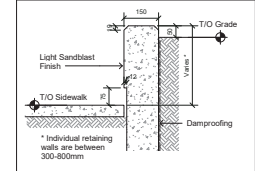
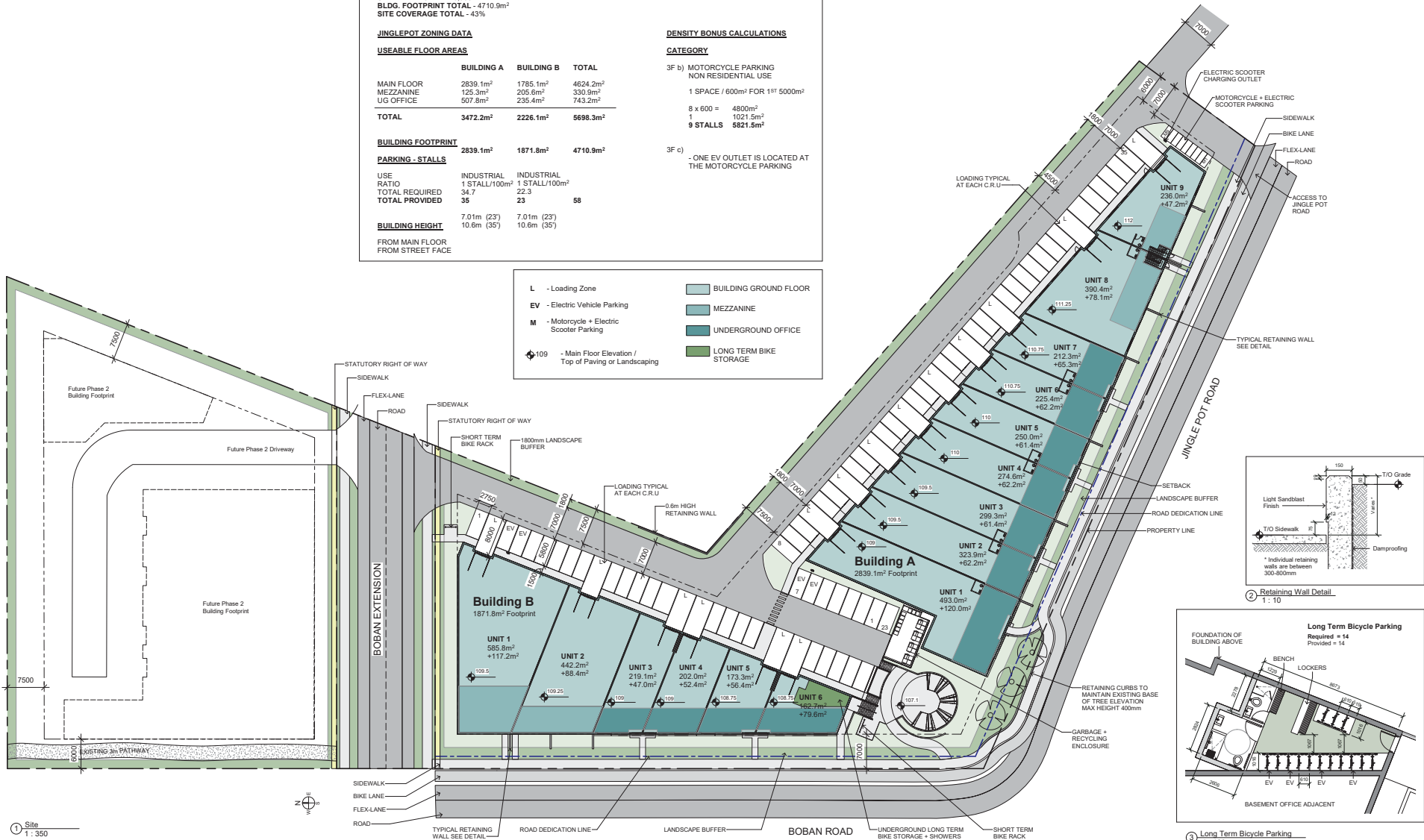
DENSITY BONUS CALCULATIONS

CATEGORY

3F b) MOTORCYCLE PARKING
NON RESIDENTIAL USE
1 SPACE / 600m² FOR 191' 5000m²
8 x 600 = 4800m²
1 1021.5m²
9 STALLS 5821.5m²

3F c) - ONE EV OUTLET IS LOCATED AT THE MOTORCYCLE PARKING

- L - Loading Zone
- EV - Electric Vehicle Parking
- M - Motorcycle + Electric Scooter Parking
- 109 - Main Floor Elevation / Top of Paving or Landscaping
- BUILDING GROUND FLOOR
- MEZZANINE
- UNDERGROUND OFFICE
- LONG TERM BIKE STORAGE



1 Site
1: 350

3 Long Term Bicycle Parking
1: 100

RECEIVED
DP 1244
2022-DEC-13
COURTESY PLANNING

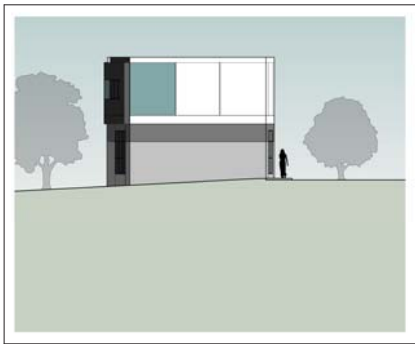
Development Permit No. DP001244 Schedule C
 4125 Jingle Pot Road
BUILDING ELEVATIONS AND DETAILS



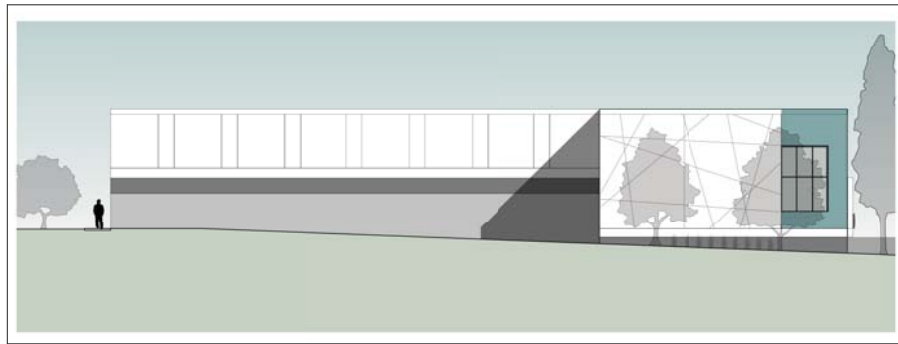
① Elevation - Building A South (Jingle Pot)
 1 : 135



② Elevation - Building A North
 1 : 135



③ Elevation - Building A East
 1 : 135



④ Elevation - Building A West
 1 : 135

RECEIVED
DP1244
 2021-SEP-15
 Current Planning

SCALE: 1 : 135
 DRAWN BY: ART
 CHECKED BY: BJK
 DATE: 09/15/2021

bjk
 architecture inc.

2122 Brandon Road, Shawnigan Lake, BC
 250-271-2296

ISSUED FOR DP
 09/15/2021

Jingle Pot

4101 & 4125 Jingle Pot Road, Nanaimo BC

Building A Elevations

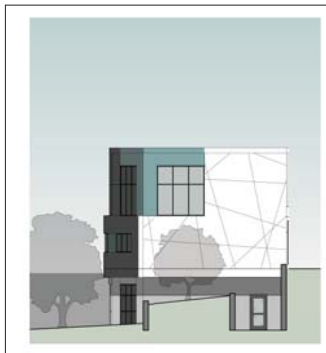
D3.0



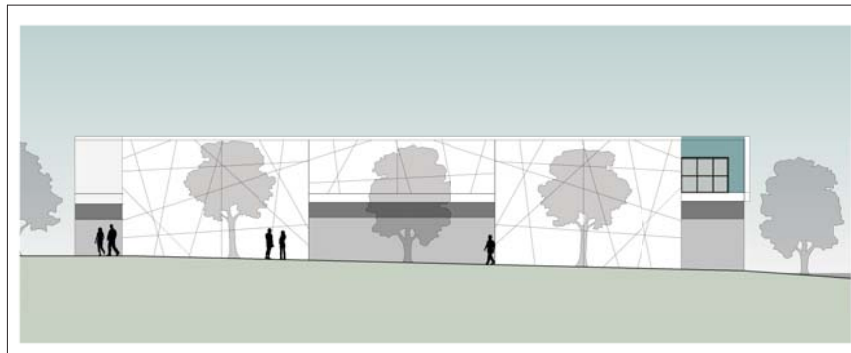
① Elevation - Building B West (Boban)
1 : 135



② Elevation - Building B East
1 : 135

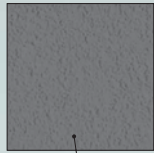


③ Elevation - Building B South (Jingle Pot)
1 : 135



④ Elevation - Building B North (Boban Ext.)
1 : 135

TILT - UP CONCRETE
PAINTED EMU
GREY



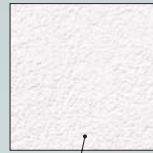
TILT - UP CONCRETE
PAINTED BLESSED BLUE



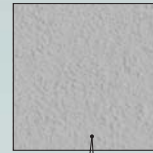
PRE-CAST CONCRETE
PAINTED DOVES WING
WHITE



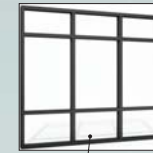
TILT - UP CONCRETE
PAINTED DOVES WING
WHITE



TILT - UP CONCRETE
PAINTED TIN MAN
GREY



WINDOWS AND DOORS
IN BLACK FRAME



TILT - UP CONCRETE
WITH GEOMETRIC REVEALS
PAINTED DOVES WING

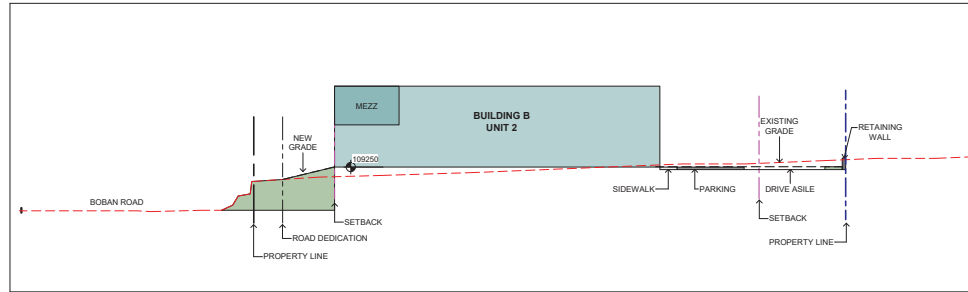


(VISIBLE ON SIDE ELEVATIONS)

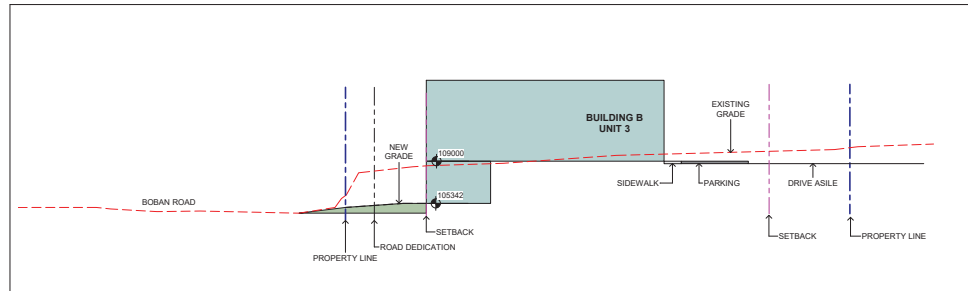


Development Permit No. DP001244 Schedule D
4125 Jingle Pot Road

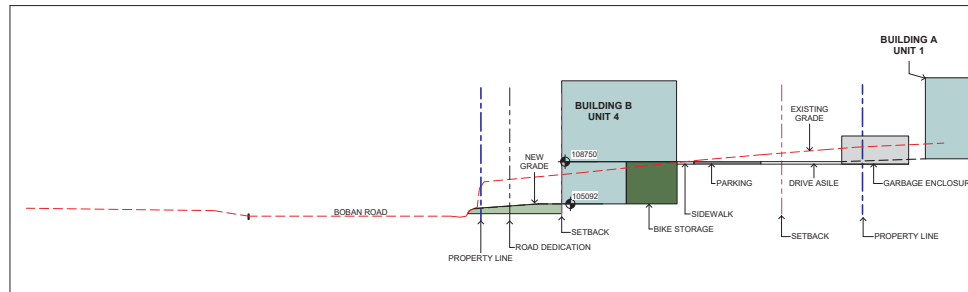
SITE SECTIONS



① Building B Section1
1: 200



② Building B Section2
1: 200



③ Building B Section3
1: 200

RECEIVED
DP1244
2021-SEP-15
Current Planning

bjk
architecture inc.

2122 Brandon Road, Shawnigan Lake, BC
250-271-2296

ISSUED FOR DP
09/15/2021

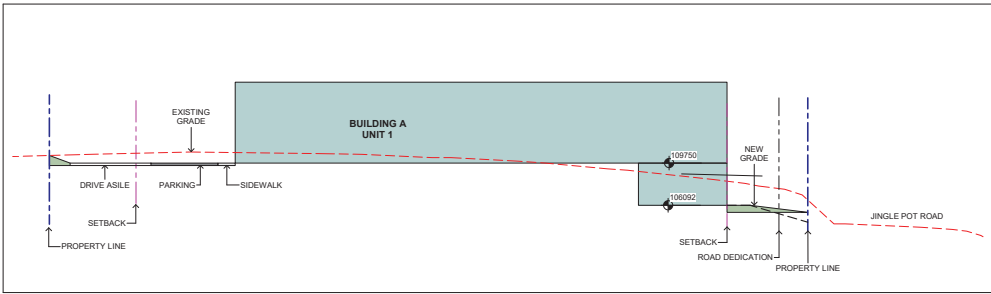
Jingle Pot

4101 & 4125 Jingle Pot Road, Nanaimo BC

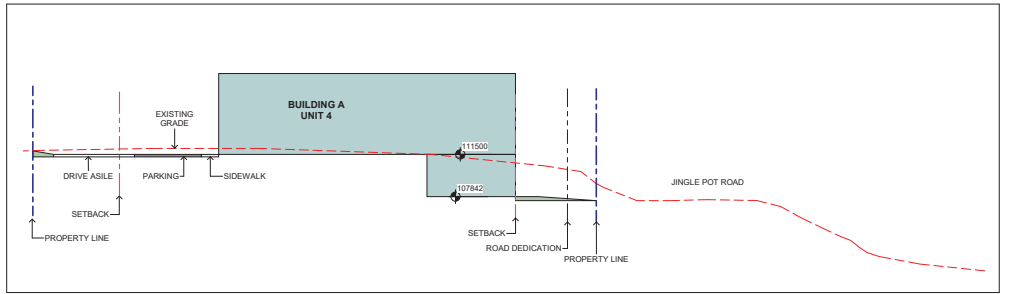
Site Sections

SCALE: 1: 200
DRAWN BY: ART
CHECKED BY: BJK
DATE: 09/15/2021

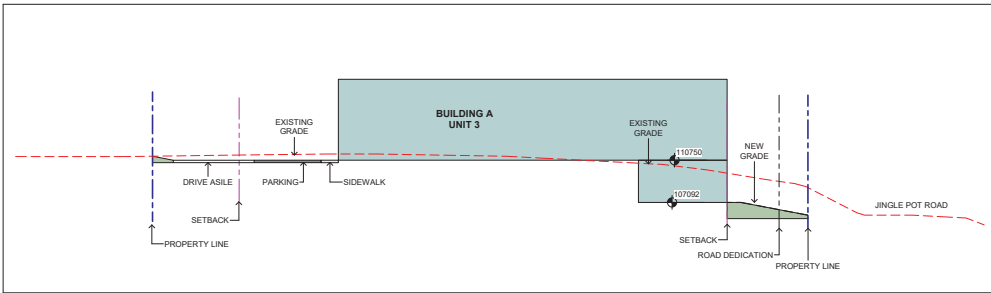
D2.0



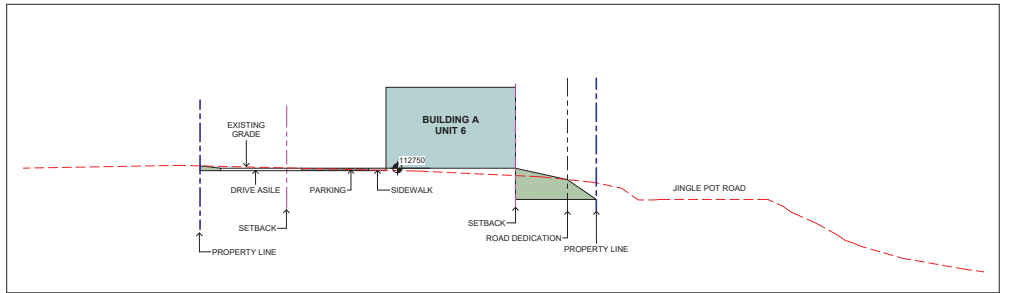
① Building A Section 1
1 : 200



③ Building A Section 3
1 : 200



② Building A Section 2
1 : 200



④ Building A Section 4
1 : 200

Development Permit No. DP001244 Schedule E
4125 Jingle Pot Road
LANDSCAPE PLAN

Requested Nursery Stock

Trees	Botanical Name	Common Name	Size
Total: 57	Acer griseum	Paperbark Maple	6cm cal.
	Acer rubrum 'October Glory'	October Glory Red Maple	6cm cal.
	Cardiophyllum japonicum	Katsura Tree	6cm cal.
	Cercis canadensis 'Forest Pansy'	Forest Pansy Redbud	6cm cal.
	Stewartia pseudocamellia	Japanese Stewartia	5cm cal.

Large Shrubs	Botanical Name	Common Name	Size
Total: 440	Abutilon unedo 'Compacta'	Compact Strawberry Bush	#5 pot
	Lonicera nitida 'Baggesen's Gold'	Baggesen's Gold Box Honeysuckle	#5 pot
	Pieris japonica 'Valley Valentine'	Valley Valentine Lily Of The Valley	#5 pot

Medium Shrubs	Botanical Name	Common Name	Size
Total: 455	Cornus sericea 'Pacific Fire'	Dwarf Red Twig Dogwood	#3 pot
	Cornus sericea 'Stolonifera'	Redoster Dogwood	#5 pot
	Leucocoe fontanesiana 'Zebbid'	Scarlet® Fetterbush	#5 pot
	Nandina domestica 'Gulf Stream'	Gulf Stream Heavenly Bamboo	#5 pot

Small Shrubs	Botanical Name	Common Name	Size
Total: 537	Arctostaphylos uva-ursi	Kinnikinnick	#1 pot
	Gaultheria shallon	Santal	#1 pot
	Hebe pinguifolia 'Sutherland'	Sutherland Hebe	#1 pot

Perennials, Annuals and Ferns	Botanical Name	Common Name	Size
Total: 1022	Calamagrostis x acutiflora 'Karl Foerster'	Karl Foerster Feather Reed Grass	#1 pot
	Helictotrichon sempervirens	Blue Oat Grass	#1 pot
	Nassella tenuissima	Mexican Feather Grass	#1 pot

Vines	Botanical Name	Common Name	Size
Total: 15	Parthenocissus quinquefolia	Virginia Creeper	#1 pot

Notes:
1. All work to be completed to current CSLA Landscape Standards
2. All soft landscape to be irrigated with an automatic irrigation system
3. 89 trees of the 105 required are proposed due to space limitations (16 trees are proposed as cash-in-lieu.) 57 Trees are proposed for Phase 1; 32 Trees are proposed for Phase 2



4101+4125 Jingle Pot Road - P1 Landscape Concept Plan

RECEIVED
DP1244
2022-OCT-28
Current Planning

July 7-22

LADR LANDSCAPE ARCHITECTS

Project No: 2133 July 07 - 2021 #3-864 Queens Ave. Victoria B.C. V8T 1M5
 Phone: (250) 598-0105

SCHEDULE D - AMENITY REQUIREMENTS FOR ADDITIONAL DENSITY

Date: September 14, 2021

Density Bonus Rationale

Development Permit Application – 4101 & 4125 Jingle Pot Rd. – Nanaimo

Zoning Density Data:

- The current I2 – Light Industrial zone allows a maximum site coverage of 40%
- Lot Area = 10, 958 m2 (4101 B & 4125)
- Building Area = 4,739 m2
- Propose Site Coverage = **43.2%**

As per the Zoning Bylaw - Part 13 Industrial, 13.6 Size of Buildings, an additional 15% lot coverage is allowable when sufficient amenity is provided. This project will include the following amenities as a part of this development.

Schedule D - Amenity Requirements for Additional Density

Category 3 – Parking and Sustainable Transportation (10 points required)

A	Long term protected bicycle storage, including shower and change facilities	3
B	Car share / Coop exclusive use of one marked parking space	1
D	Electric Vehicle Charging Station	1
F	Covered and designated spaces for motorized scooters, including electric charging station.	2
H	Parking does not exceed minimum bylaw requirements	2
I	Site signage regarding sustainable transportation alternative	1
	Total	10

End of Rationale

RECEIVED
DP1244
2021-SEP-15
Current Planning