



**DEVELOPMENT PERMIT NO. DP001235**

**BARRINGTON TOWNHOMES LTD**

Owner(s) of Land (Permittee)

**3401 BARRINGTON ROAD**

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 2, DISTRICT LOT 56, WELLINGTON DISTRICT, PLAN EPP47501,  
EXCPET PLAN VIS3935 (PHASE 4)  
PID No. 029-659-167**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Subject Property Map**

**Schedule B Master Site Plan**

**Schedule C Site and Parking Plans**

**Schedule D Building Elevations and Details**

**Schedule E Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
6. This permit prevails over the provisions of the bylaw in event of conflict.

### TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 6.10.2 Fence Height* – to increase the maximum allowable height for a combined retaining wall and fence from 2.4m to 5.2m within the side yard, and from 3.0m to 5.2m outside of the required setbacks.
2. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height from 9m to:
  - Building 1 – 9.8m
  - Building 5 – 9.7m
  - Building 7 – 10.4m

### CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site and Parking Plans prepared by G3 Architecture Inc., dated 2023-MAY-17, as shown on Schedule C.
2. The development is in substantial compliance with the Building Elevations and Details prepared by G3 Architecture Inc., dated 2023-MAY-12 respectively, as shown on Schedule D.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Architecture Panel Inc., dated 2023-MAY-19, as shown on Schedule E.
4. Installation of high-visibility fencing is to be installed prior to Building Permit issuance to protect areas of natural vegetation proposed for retention.

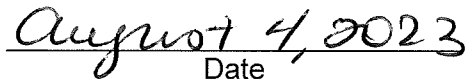
AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 10TH DAY OF JULY, 2023.

  
Corporate Officer

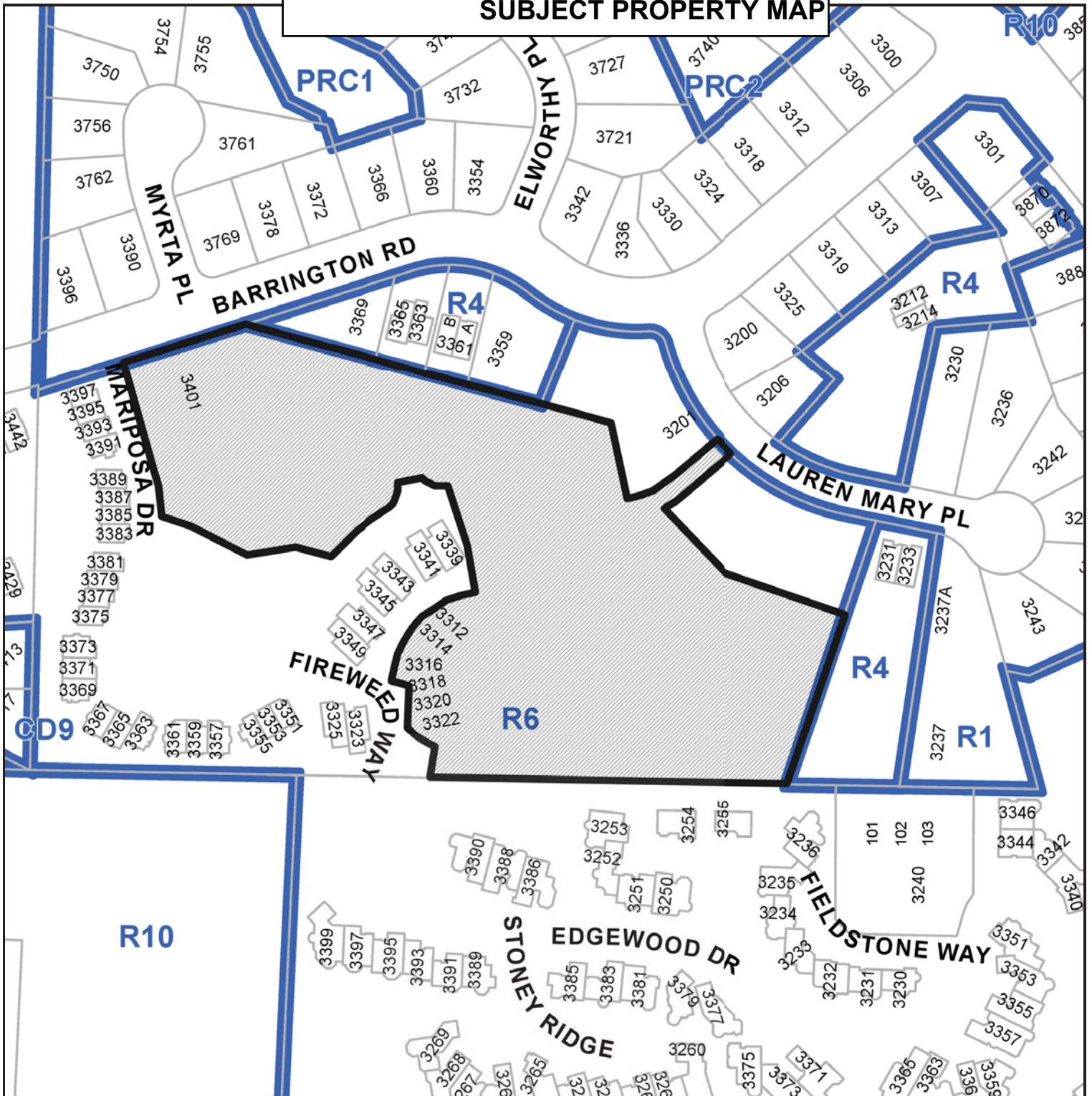
Sheila Gurrie  
Corporate Officer  
City of Nanaimo

SR/bb

Prospero attachment: DP001235

  
Date

**SUBJECT PROPERTY MAP**



3401 BARRINGTON ROAD

# MASTER SITE PLAN

## BUILDING HEIGHTS

BLOCK #1  
AVERAGE FINISHED GRADE  
(133.147+133.147+136.494+136.494)/4 = 442.32 FT 134.82 M  
PROPOSED BUILDING HEIGHT ELEVATION = 474.38 FT 144.59 M  
PROPOSED BUILDING HEIGHT = 32.05 FT 9.77 M

BLOCK #2  
AVERAGE FINISHED GRADE  
(130.254+131.300+134.000+133.401)/4 = 433.86 FT 132.24 M  
PROPOSED BUILDING HEIGHT ELEVATION = 461.58 FT 140.69 M  
PROPOSED BUILDING HEIGHT = 27.72 FT 8.45 M

BLOCK #3  
AVERAGE FINISHED GRADE  
(135.036+136.652+139.999+138.983)/4 = 457.28 FT 139.38 M  
PROPOSED BUILDING HEIGHT ELEVATION = 485.86 FT 148.09 M  
PROPOSED BUILDING HEIGHT = 28.58 FT 8.71 M

BLOCK #4  
AVERAGE FINISHED GRADE  
(132.309+133.789+137.990+136.347)/4 = 442.85 FT 134.98 M  
PROPOSED BUILDING HEIGHT ELEVATION = 471.26 FT 143.64 M  
PROPOSED BUILDING HEIGHT = 28.41 FT 8.66 M

BLOCK #5  
AVERAGE FINISHED GRADE  
(137.26+138.074+141.421+140.809)/4 = 458.76 FT 139.83 M  
PROPOSED BUILDING HEIGHT ELEVATION = 490.55 FT 149.52 M  
PROPOSED BUILDING HEIGHT = 31.79 FT 9.69 M

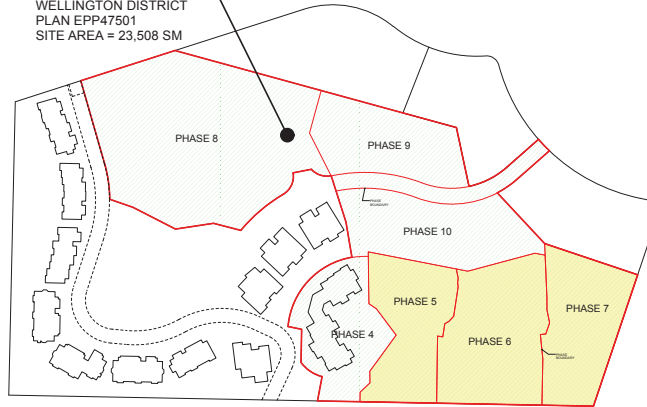
BLOCK #6  
AVERAGE FINISHED GRADE  
(133.850+134.600+138.760+137.846)/4 = 447.05 FT 136.26 M  
PROPOSED BUILDING HEIGHT ELEVATION = 475.16 FT 144.83 M  
PROPOSED BUILDING HEIGHT = 28.12 FT 8.57 M

BLOCK #7  
AVERAGE FINISHED GRADE  
(138.033+139.649+142.996+141.777)/4 = 461.81 FT 140.76 M  
PROPOSED BUILDING HEIGHT ELEVATION = 495.70 FT 151.09 M  
PROPOSED BUILDING HEIGHT = 33.89 FT 10.33 M

PROPOSED VARIANCES TO THE MAXIMUM ALLOWABLE BUILDING HEIGHT OF 9.0M ARE AS FOLLOWS:

BLOCK 1 - PROPOSED HEIGHT = 9.77M, PROPOSED HEIGHT VARIANCE = 0.77M  
BLOCK 2 - PROPOSED HEIGHT = 8.45M, PROPOSED HEIGHT VARIANCE = NONE  
BLOCK 3 - PROPOSED HEIGHT = 8.71M, PROPOSED HEIGHT VARIANCE = NONE  
BLOCK 4 - PROPOSED HEIGHT = 8.66M, PROPOSED HEIGHT VARIANCE = NONE  
BLOCK 5 - PROPOSED HEIGHT = 9.69M, PROPOSED HEIGHT VARIANCE = 0.69M  
BLOCK 6 - PROPOSED HEIGHT = 8.57M, PROPOSED HEIGHT VARIANCE = NONE  
BLOCK 7 - PROPOSED HEIGHT = 10.33M, PROPOSED HEIGHT VARIANCE = 1.33M

SUBJECT SITE:  
LOT 2, DISTRICT LOT 56  
WELLINGTON DISTRICT  
PLAN EPP47501  
SITE AREA = 23,508 SM



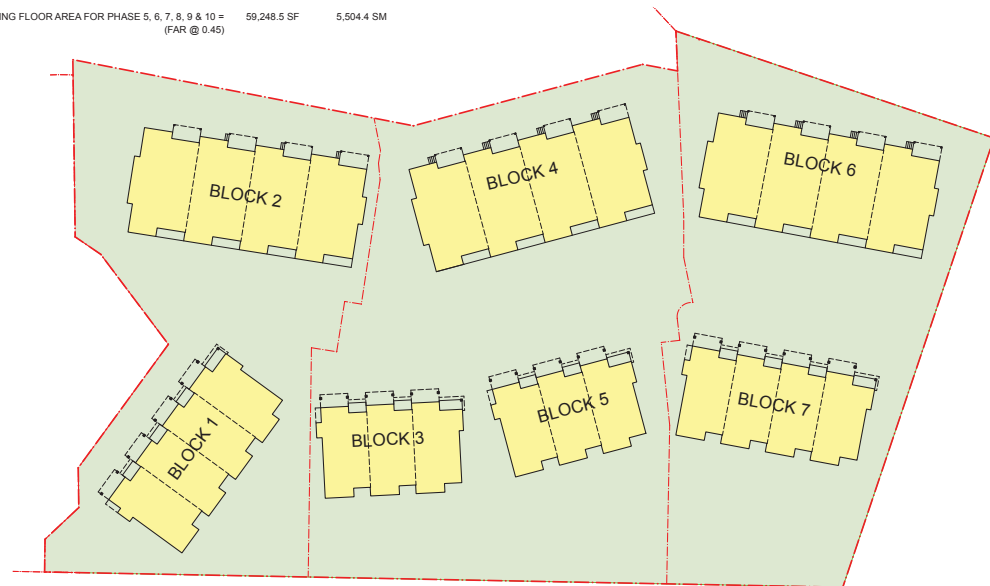
MASTER SITE PLAN (FAR)  
(N.T.S. FOR REFERENCE ONLY)

TOTAL SITE AREA =	253,046.2 SF	23,508.8 SM
(PHASE 4 TO 10)		
MAXIMUM ALLOWABLE FAR @ 0.45 =	113,870.8 SF	10,578.9 SM
PROPOSED FLOOR AREA (PHASE 5) =	13,235.6 SF	1,229.6 SM
PROPOSED FLOOR AREA (PHASE 6) =	16,464.7 SF	1,529.6 SM
PROPOSED FLOOR AREA (PHASE 7) =	13,170.7 SF	1,223.6 SM
TOTAL PROPOSED FLOOR AREA (PHASE 5, 6, & 7) =	42,871.0 SF	3,982.8 SM
FLOOR AREA ALREADY USED IN PHASE 4 (DP1116) =	11,751.3 SF	1,091.7 SM
EXISTING AND PROPOSED TOTAL FLOOR AREA (PHASE 4, 5, 6, & 7) =	54,622.3 SF	5,074.6 SM
PROPOSED FAR =	0.22	
(LESS THAN MAX. 0.45 ALLOWED)		
REMAINING FLOOR AREA FOR PHASE 5, 6, 7, 8, 9 & 10 =	59,248.5 SF	5,504.4 SM
(FAR @ 0.45)		



KEY SITE PLAN  
(N.T.S. FOR REFERENCE ONLY)

SUBJECT SITE  
(PHASES 5 & 6 & 7)  
AREA = 7,954.9SM (85,629SF)



SITE AREA: (PHASE 5 + 6 + 7 ONLY) 86,855.4 SF 8,069.13 SM

LOT COVERAGE:  
MAX ALLOWABLE 40.0% 34,742.2 SF 3,227.65 SM

PROPOSED COVERAGE  
BLOCK #1 3,397.5 SF 315.64 SM  
BLOCK #2 4,810.9 SF 446.95 SM  
BLOCK #3 2,565.7 SF 238.36 SM  
BLOCK #4 4,810.9 SF 446.95 SM  
BLOCK #5 2,565.7 SF 238.36 SM  
BLOCK #6 4,810.9 SF 446.95 SM  
BLOCK #7 3,397.5 SF 315.64 SM  
TOTAL PROPOSED LOT COVERAGE 30.3% 26,359.1 SF 2,469.95 SM

19/11/01	DESIGN DEVELOPMENT
20/05/10	DEVY PERMIT COORDINATION
20/12/05	ISSUED FOR DP: PRE-APPLICATION
21/04/12	ISSUED FOR DEVY PERMIT APPLICATION
21/08/27	REVO PER DAP COMMENTS
22/10/25	REVO PER FORM E & COMP. LETTER 21/12/201
22/11/06	MINOR REVISIONS / CLARIFICATIONS
23/02/24	ADD SIDEWALK, REVISE BLDG LOCATIONS
23/05/12	REVISED AND REISSUED FOR DEVY PERMIT

DO NOT SCALE OFF DRAWING. THIS DRAWING IS NOT FOR CONSTRUCTION PURPOSES UNLESS EXPRESSLY STATED. ALL RIGHTS RESERVED AND REPRODUCTION IN ANY FORM MUST BE APPROVED BY G3 ARCHITECTURE INC.

ARCHITECT: **G3 ARCHITECTURE INC.**  
#130 - 1959 - 152ND STREET  
SURREY, B.C.  
V4A 0C4  
TEL: 604-916-8582  
EMAIL: gus@g3projects.com



26 UNIT  
TOWNHOUSE DEVELOPMENT  
3401 BARRINGTON ROAD  
NANAIMO, BC  
DEVELOPMENT PERMIT #DP001235

TITLE: **KEY SITE PLAN  
AREA SUMMARY  
BUILDING HEIGHT SUMMARY**  
RECEIVED  
DP1235  
2023-MAY-17

SCALE: N.T.S.  
DATE: 23/05/12  
DRAWING NO.: **A100**



Development Permit No. DP001235 Schedule C  
3401 Barrington Road  
**SITE AND PARKING PLANS**

**BUILDING SETBACKS:**

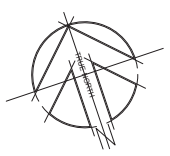
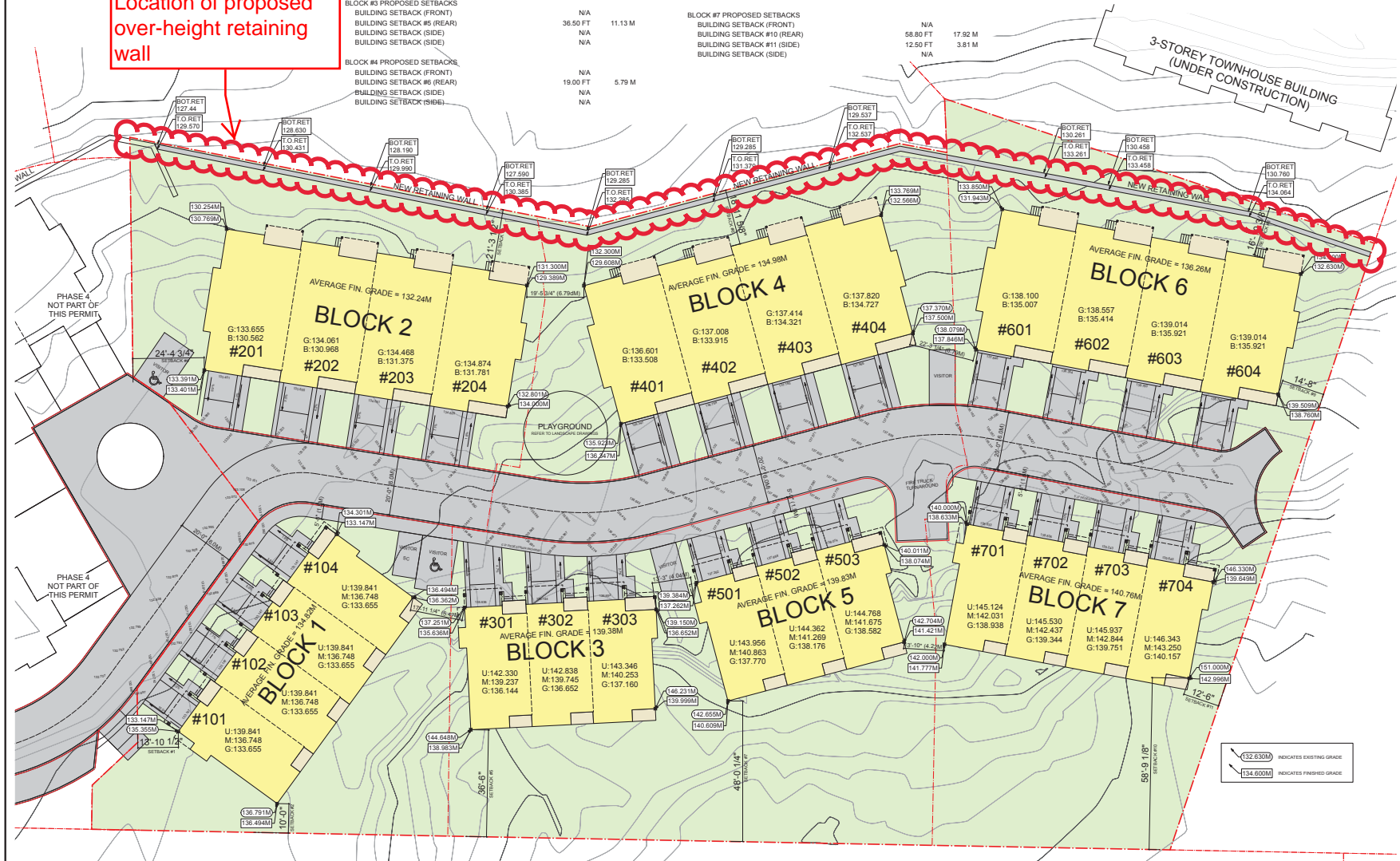
- BLOCK #1 PROPOSED SETBACKS**  
BUILDING SETBACK #1 (FRONT)  
BUILDING SETBACK #2 (REAR)  
BUILDING SETBACK (SIDE)  
BUILDING SETBACK (SIDE)
- BLOCK #2 PROPOSED SETBACKS**  
BUILDING SETBACK (FRONT)  
BUILDING SETBACK #3 (REAR)  
BUILDING SETBACK #4 (SIDE)  
BUILDING SETBACK (SIDE)
- BLOCK #3 PROPOSED SETBACKS**  
BUILDING SETBACK (FRONT)  
BUILDING SETBACK (FRONT)  
BUILDING SETBACK #5 (REAR)  
BUILDING SETBACK (SIDE)  
BUILDING SETBACK (SIDE)
- BLOCK #4 PROPOSED SETBACKS**  
BUILDING SETBACK (FRONT)  
BUILDING SETBACK #6 (REAR)  
BUILDING SETBACK (SIDE)  
BUILDING SETBACK (SIDE)

13.87 FT	4.23 M
10.00 FT	3.05 M
N/A	N/A
N/A	N/A
N/A	N/A
N/A	N/A
21.30 FT	6.49 M
24.40 FT	7.44 M
N/A	N/A
N/A	N/A
N/A	N/A
N/A	N/A
36.50 FT	11.13 M
N/A	N/A
N/A	N/A
N/A	N/A
19.00 FT	5.79 M
N/A	N/A
N/A	N/A

- BLOCK #5 PROPOSED SETBACKS**  
BUILDING SETBACK (FRONT)  
BUILDING SETBACK #7 (REAR)  
BUILDING SETBACK (SIDE)  
BUILDING SETBACK (SIDE)
- BLOCK #6 PROPOSED SETBACKS**  
BUILDING SETBACK (FRONT)  
BUILDING SETBACK #8 (REAR)  
BUILDING SETBACK #9 (SIDE)  
BUILDING SETBACK (SIDE)
- BLOCK #7 PROPOSED SETBACKS**  
BUILDING SETBACK (FRONT)  
BUILDING SETBACK #10 (REAR)  
BUILDING SETBACK #11 (SIDE)  
BUILDING SETBACK (SIDE)

N/A	N/A
48.02 FT	14.64 M
N/A	N/A
N/A	N/A
N/A	N/A
N/A	N/A
N/A	N/A
16.90 FT	5.15 M
14.66 FT	4.47 M
N/A	N/A
N/A	N/A
N/A	N/A
58.80 FT	17.92 M
12.50 FT	3.81 M
N/A	N/A

Location of proposed over-height retaining wall



19/11/01	DESIGN DEVELOPMENT
20/05/10	DEVT PERMIT COORDINATION
20/12/05	ISSUED FOR DP: PRE-APPLICATION
21/04/12	ISSUED FOR DEVT PERMIT APPLICATION
21/08/27	REVD PER DAP COMMENTS
22/10/25	REVD PER FORM E & COMP. LETTER 21/10/201
22/11/06	MINOR REVISIONS / CLARIFICATIONS
23/02/24	ADD SIDEWALK, REVISE BLDG LOCATIONS
23/05/12	REVISED AND REISSUED FOR DEVT PERMIT
23/05/17	REVD PARKING, ADD DIMENSIONS

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ARCHITECT: **G3 ARCHITECTURE INC.**  
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TEL: 604-916-8582  
EMAIL: gus@g3projects.com

**26 UNIT TOWNHOUSE DEVELOPMENT**  
**3401 BARRINGTON ROAD**  
**NANAIMO, BC**  
DEVELOPMENT PERMIT #DP001235

TITLE: **PROPOSED SITE PLAN**

RECEIVED  
**DP1235**  
**2023-MAY-17**  
Drawing Number

SCALE: 1/16" = 1'-0"

DATE: 23/05/17

DRAWING NO.: **A110**

REFER ALSO TO LANDSCAPE DRAWINGS

**PARKING SUMMARY:**

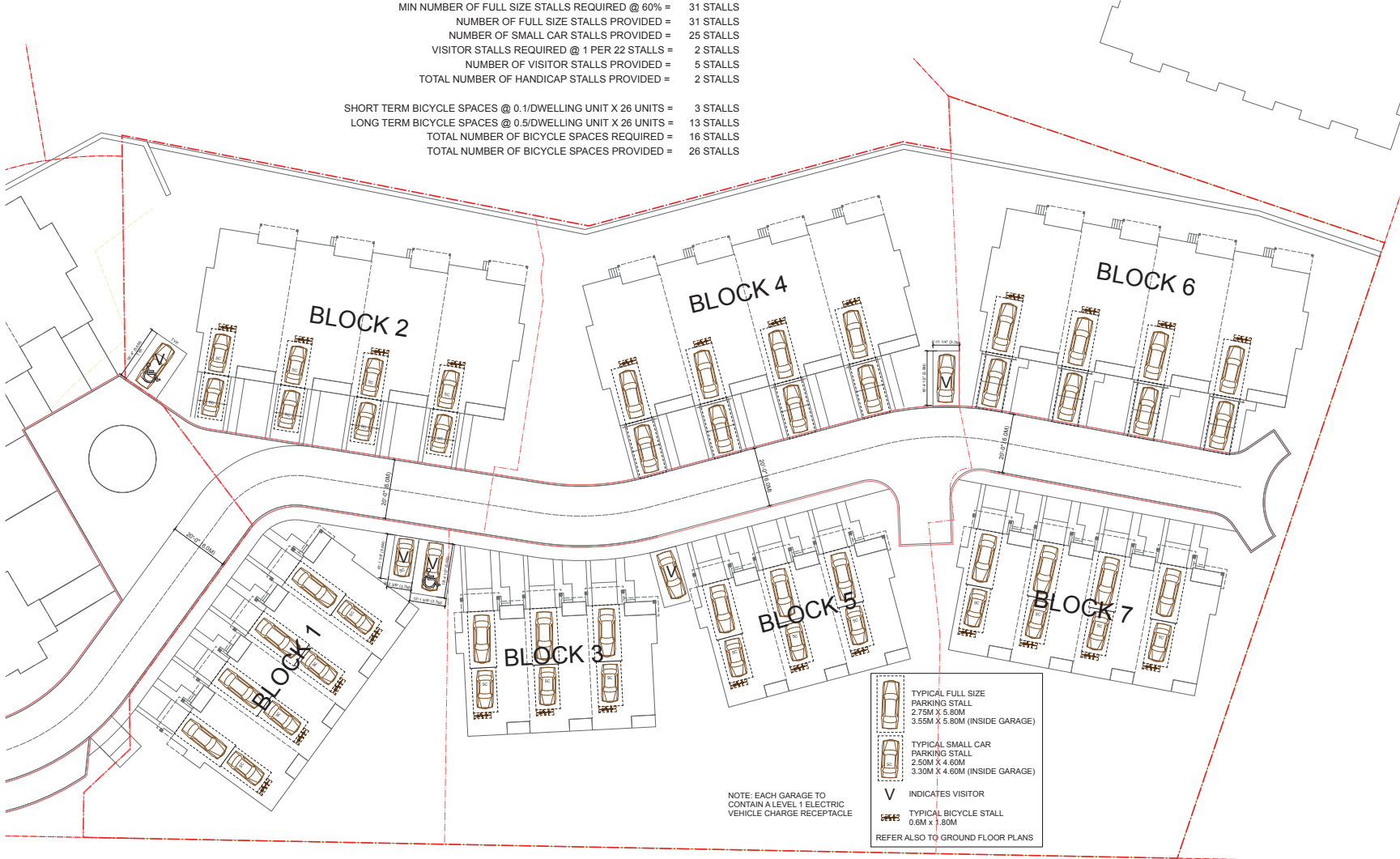
PER BYLAW 7266, PART VII - MULTIPLE FAMILY DWELLING TABLE 7.1-AREA 1

TOTAL # OF 3-BDRM DWELLING UNITS = 26 UNITS  
PARKING STALLS REQUIRED @ 2.0 STALLS PER UNIT = 52 STALLS

TOTAL NUMBER OF STALLS REQUIRED = 52 STALLS  
TOTAL NUMBER OF STALLS PROVIDED = 57 STALLS

MIN NUMBER OF FULL SIZE STALLS REQUIRED @ 60% = 31 STALLS  
NUMBER OF FULL SIZE STALLS PROVIDED = 31 STALLS  
NUMBER OF SMALL CAR STALLS PROVIDED = 25 STALLS  
VISITOR STALLS REQUIRED @ 1 PER 22 STALLS = 2 STALLS  
NUMBER OF VISITOR STALLS PROVIDED = 5 STALLS  
TOTAL NUMBER OF HANDICAP STALLS PROVIDED = 2 STALLS

SHORT TERM BICYCLE SPACES @ 0.1/DWELLING UNIT X 26 UNITS = 3 STALLS  
LONG TERM BICYCLE SPACES @ 0.5/DWELLING UNIT X 26 UNITS = 13 STALLS  
TOTAL NUMBER OF BICYCLE SPACES REQUIRED = 16 STALLS  
TOTAL NUMBER OF BICYCLE SPACES PROVIDED = 26 STALLS



19/11/01	DESIGN DEVELOPMENT
20/05/10	DEVT PERMIT COORDINATION
20/12/05	ISSUED FOR DP: PRE-APPLICATION
21/04/12	ISSUED FOR DP: PERMIT APPLICATION
21/08/27	REVO PER DAP COMMENTS
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22/11/06	MINOR REVISIONS / CLARIFICATIONS
23/02/24	ADD SIDEWALK, REVISE BLDG LOCATIONS
23/05/12	REVISED AND REISSUED FOR DEVT PERMIT
23/05/17	REVO PARKING, ADD DIMENSIONS

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**26 UNIT  
TOWNHOUSE DEVELOPMENT  
3401 BARRINGTON ROAD  
NANAIMO, BC**  
DEVELOPMENT PERMIT #DP001235

**PARKING PLAN**

**RECEIVED  
DP1235  
2023-MAY-17**

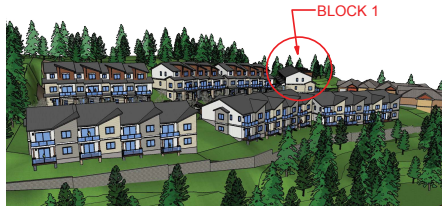
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DATE: 23/05/17

DRAWING NO.:  
**A160**

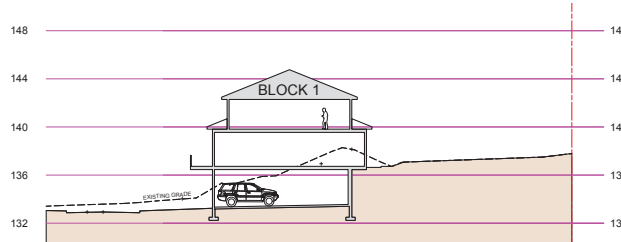
## BUILDING ELEVATIONS AND DETAILS



AERIAL VIEW FROM NORTHWEST



AERIAL VIEW FROM NORTHEAST

FRONT AND SIDE (WEST END) OF BUILDING  
N.T.S.FRONT AND SIDE (EAST END) OF BUILDING  
N.T.S.SITE SECTION (SCHEMATIC)  
N.T.S.REAR OF BUILDING (SOUTH)  
N.T.S.

BLOCK #1

AVERAGE FINISHED GRADE

 $(133.147 + 133.147 + 136.494 + 136.494) / 4 =$ 

442.32 FT

134.82 M

PROPOSED BUILDING HEIGHT ELEVATION =

474.38 FT

144.59 M

PROPOSED BUILDING HEIGHT =

32.05 FT

9.77 M

19/11/01	DESIGN DEVELOPMENT
20/05/10	DEVT PERMIT COORDINATION
20/12/05	ISSUED FOR DP: PRE-APPLICATION
21/04/12	ISSUED FOR DP: PERMIT APPLICATION
21/08/27	REVO PER DP COMMENTS
22/10/25	REVO PER FORM E & COMP. LETTER 21/12/1
23/05/12	REVISED & REISSUED FOR DEVT. PERMIT

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EMAIL: gus@g3projects.com

26 UNIT  
TOWNHOUSE DEVELOPMENT  
FIREWEED WAY  
NANAIMO, BC  
DEVELOPMENT PERMIT #DP001235

TITLE:  
**BLOCK 1  
BUILDING ELEVATIONS  
SITE SECTION**

RECEIVED

DP1235

2023-MAY-17

G3 ARCHITECTURE

SCALE: AS SHOWN

DATE: 23/05/12

DRAWING NO.:

A300

BARRIST / 180527





**AERIAL VIEW FROM NORTHWEST**

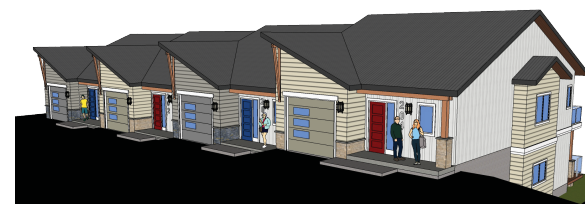


**AERIAL VIEW FROM NORTHEAST**



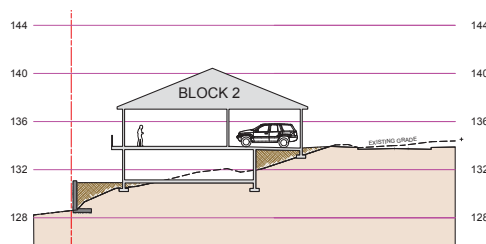
FRONT AND SIDE (WEST END) OF BUILDING

N.T.S.



FRONT AND SIDE (EAST END) OF BUILDING

FROM  
N.T.S.



**SITE SECTION (SCHEMATIC)**

N.T.S.



REAR OF BUILDING (NORTH)

N.T.S.



BLOCK #2

AVERAGE FINISHED GRADE

$$(130.254 + 131.300 + 134.000 + 133.401) / 4 =$$

PROPOSED BUILDING HEIGHT ELEVATION =

PROPOSED BUILDING HEIGHT =

433.86 FT      132.24 M

461.58 FT	140.69 M
-----------	----------

27.72 FT 8.45 M

[illegible]

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ARCHITECT:



G3 ARCHITECTURE INC.

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SURREY, B.C.  
V4A 0C4

TEL: 604-916-8582  
EMAIL: gus@g3projects.com

26 UNIT  
TOWNHOUSE DEVELOPMENT  
FIREWEED WAY  
NANAIMO, BC

DEVELOPMENT PERMIT #DP001235

TITLE: **BLOCK 2  
BUILDING ELEVATIONS  
SITE SECTION**

RECEIVED

DP1235

2023-MAY-1  
Current Planning

DRAWING NO.:

SCALE: AS SHOWN

AS SHOW

DATE: 23/05/12

DRAWING NO.:
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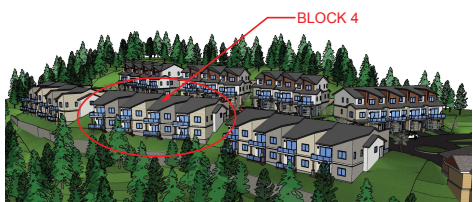
A310

A310

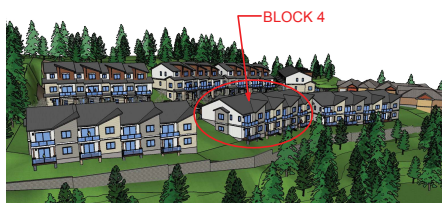
**DISCUSSION**







**AERIAL VIEW FROM NORTHWEST**



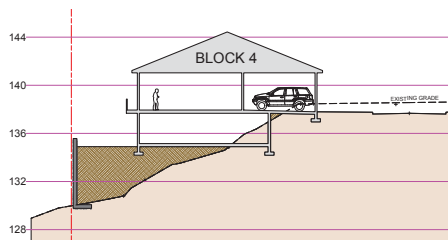
**AERIAL VIEW FROM NORTHEAST**



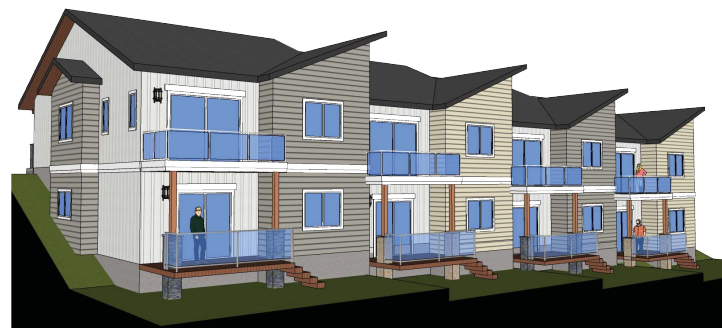
FRONT AND SIDE (WEST END) OF BUILDING



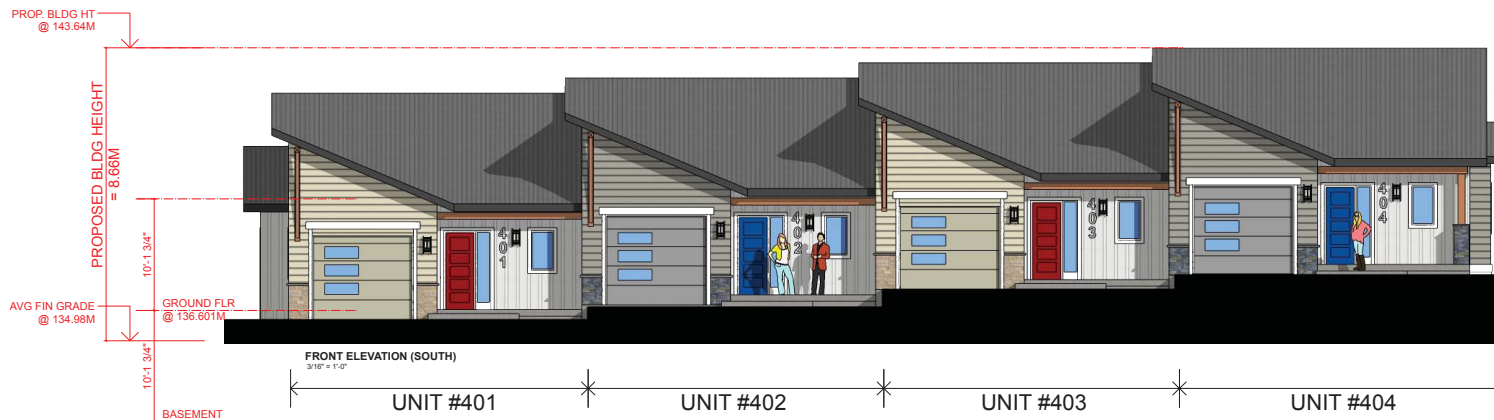
FRONT AND SIDE (EAST END) OF BUILDING



### SITE SECTION (SCHEMATIC)



REAR OF BUILDING (NORTH)



BLOCK #4		
AVERAGE FINISHED GRADE		
(132.300+133.769+137.500+136.347)/4 =	442.85 FT	134.98 M
PROPOSED BUILDING HEIGHT ELEVATION =	471.26 FT	143.64 M
PROPOSED BUILDING HEIGHT =	28.41 FT	8.66 M

[illegible]

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ARCHITECT:

 **G3 ARCHITECTURE INC.**  
#130 - 1959 - 152ND STREET  
SURREY, B.C.  
V4A 0C4

TEL: 604-916-8582  
EMAIL: [gus@g3projects.com](mailto:gus@g3projects.com)

**26 UNIT  
TOWNHOUSE DEVELOPMENT  
FIREWEED WAY  
NANAIMO, BC**  
DEVELOPMENT PERMIT #DP001235

TITLE: **BLOCK 4  
BUILDING ELEVATIONS  
SITE SECTION** RECEIVED  
DD1235

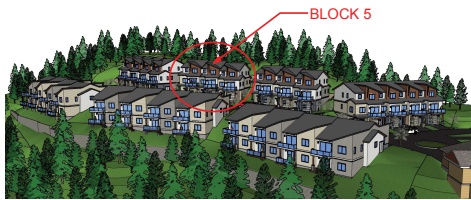
SCALE: AS SHOWN

DATE: 23/05/12

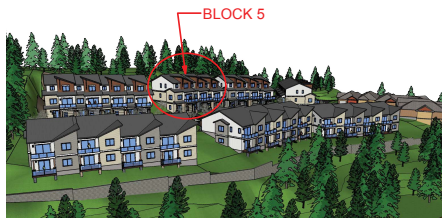
DRAWING NO.:
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	A330
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04/08/2017 / 10:01



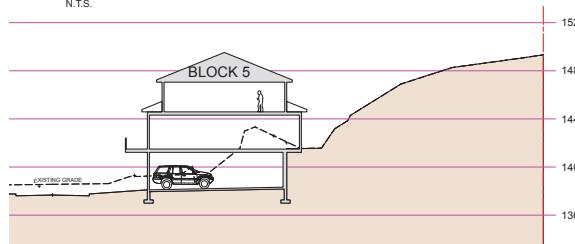
AERIAL VIEW FROM NORTHWEST



AERIAL VIEW FROM NORTHEAST



FRONT AND SIDE (WEST END) OF BUILDING



SITE SECTION (SCHEMATIC)



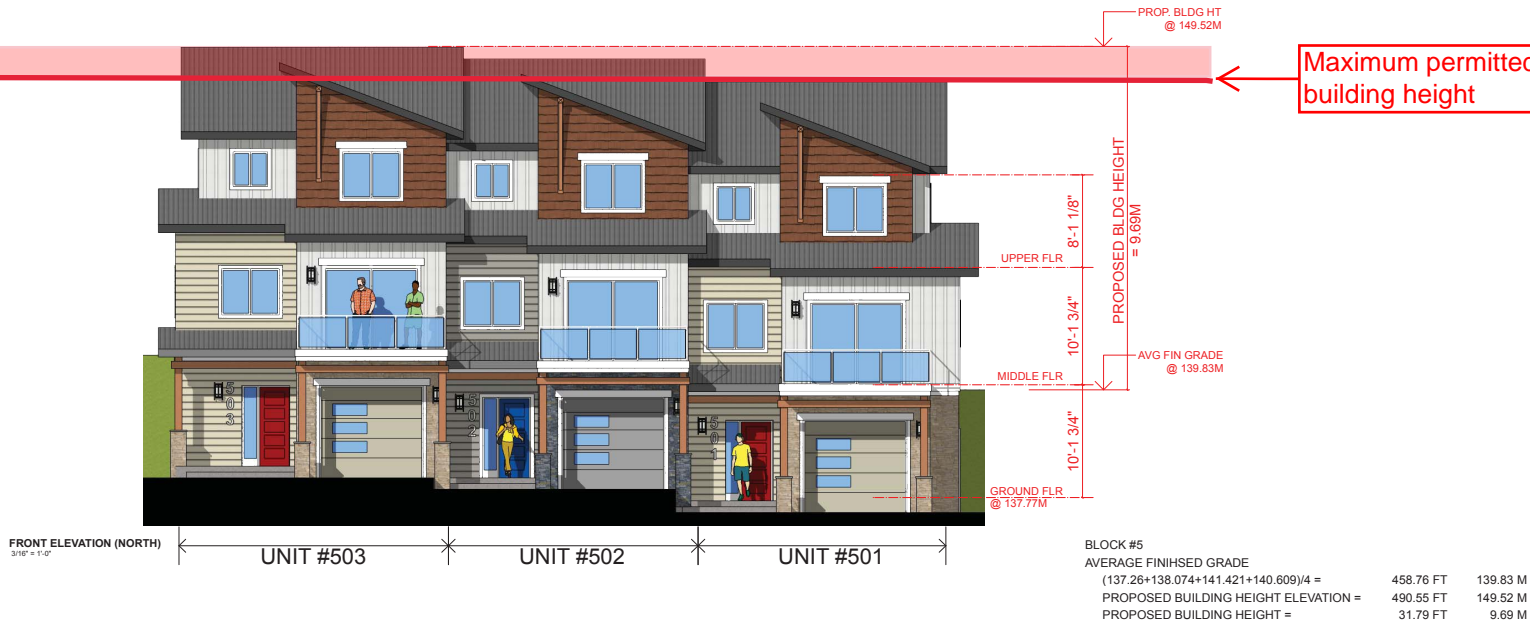
FRONT AND SIDE (EAST END) OF BUILDING



REAR OF BUILDING (SOUTH)

Area of  
proposed height  
variance

Maximum permitted  
building height



19/11/01	DESIGN DEVELOPMENT
20/05/10	DEVT PERMIT COORDINATION
20/12/05	ISSUED FOR DP: PRE-APPLICATION
21/04/12	ISSUED FOR DP: PRE-APPLICATION
21/08/27	REVO PER DAP COMMENTS
22/10/25	REVO PER FORM E & COMP LETTER 21/12/1
23/05/12	REVISED & REISSUED FOR DEVT. PERMIT

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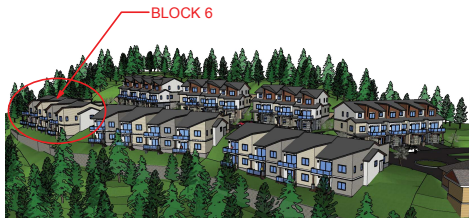
ARCHITECT:  
**G3 ARCHITECTURE INC.**  
#130 - 1959 - 152ND STREET  
SURREY, B.C.  
V4A 0C4  
TEL: 604-916-8582  
EMAIL: gus@g3projects.com

26 UNIT  
TOWNHOUSE DEVELOPMENT  
FIREWEED WAY  
NANAIMO, BC  
DEVELOPMENT PERMIT #DP001235

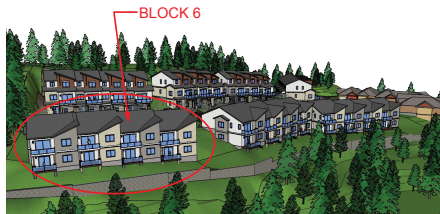
TITLE:  
**BLOCK 5  
BUILDING ELEVATIONS  
SITE SECTION**

SCALE: AS SHOWN	DRAWING NO.: <b>A340</b>
DATE: 23/05/12	





**AERIAL VIEW FROM NORTHWEST**



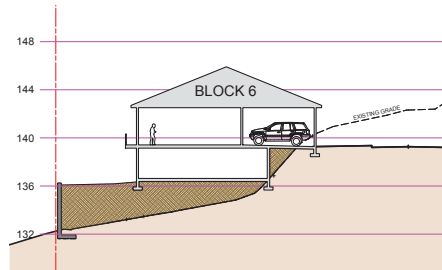
**AERIAL VIEW FROM NORTHEAST**



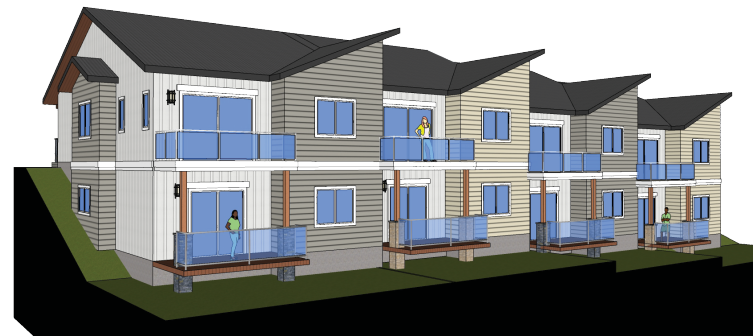
**FRONT AND SIDE (WEST END) OF BUILDING**  
N.T.S.



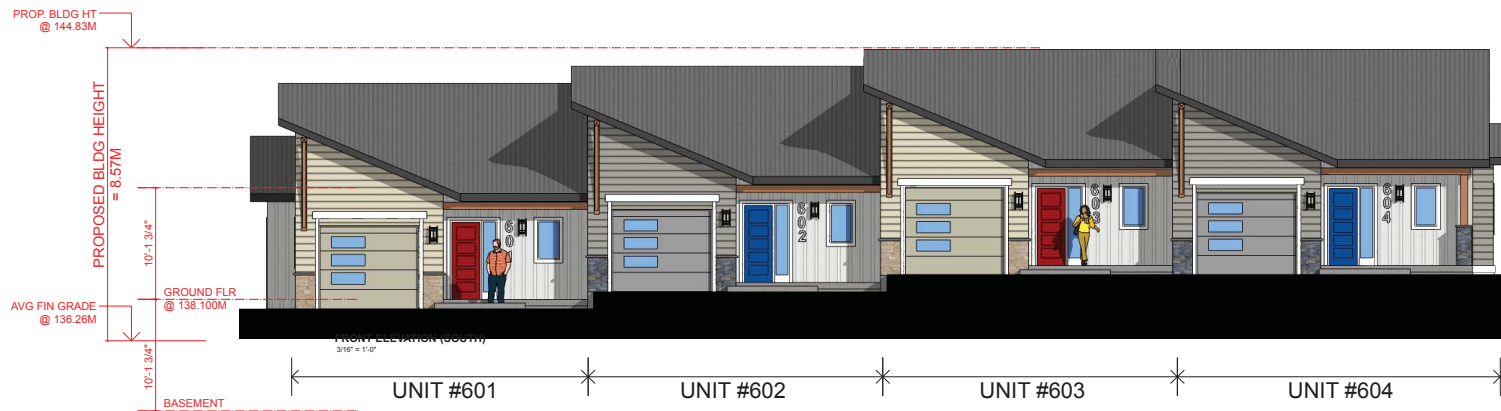
**FRONT AND SIDE (EAST END) OF BUILDING**  
N.T.S.



**SITE SECTION (SCHEMATIC)**  
N.T.S.



**REAR OF BUILDING (NORTH)**  
N.T.S.



**PROPOSED BLDG HEIGHT**  
**= 8.57M**

AVG FIN GRADE  
@ 136.26M

GROUND FL  
@ 138.100M

**BASEMENT**

FRONT ELEVATION (SOUTH)  
3/16" = 1'-0"

$$3/16^{\circ} = 1^{\circ} 0'$$

UNIT #601

UNIT #602

UNIT #603

UNIT #604

BLOCK #6

AVERAGE FINISHED GRADE

(133.850+134.600+138.760+137.846)/4 =  
PROPOSED BUILDING HEIGHT ELEVATION =  
PROPOSED BUILDING HEIGHT =

475.16 FT      144.83 M

28.12 FT      8.57 M

19/11/01	DESIGN DEVELOPMENT
20/05/10	DEVT PERMIT COORDINATION
20/12/05	ISSUED FOR DP- PRE APPLICATION
21/04/12	ISSUED FOR DEVT PERMIT APPLICATION
21/08/27	REVD PER DAP COMMENTS
22/10/25	REVD PER FORM E & COMP LETTER 21/12/11
23/05/12	REVISED & REISSUED FOR DEVT. PERMIT

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TEL: 604-916-8582

EMAIL: gus@

---

**26 UNIT  
TOWNHOUSE DEVELOPMENT  
FIREWEED WAY  
NANAIMO, BC**  
DEVELOPMENT PERMIT #DP001235

TITLE: **BLOCK 6  
BUILDING ELEVATIONS  
SITE SECTION** RECEIVED  
DP1235

SCALE: \_\_\_\_\_

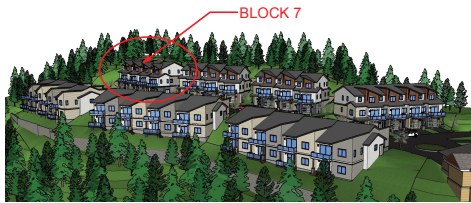
DATE: 23/05/12

DRAWING NO.:  
**A350**

A350

DARR267 / 18052

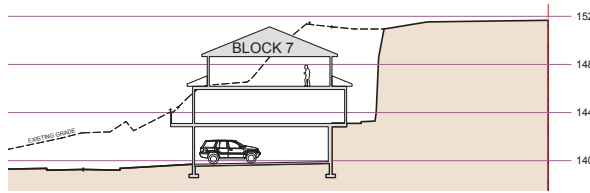




AERIAL VIEW FROM NORTHWEST



AERIAL VIEW FROM NORTHEAST

FRONT AND SIDE (WEST END) OF BUILDING  
N.T.S.FRONT AND SIDE (EAST END) OF BUILDING  
N.T.S.SITE SECTION (SCHEMATIC)  
N.T.S.REAR OF BUILDING (SOUTH)  
N.T.S.

Area of  
proposed height  
variance

FRONT ELEVATION (NORTH)  
3/16" = 1'-0"

UNIT #704

UNIT #703

UNIT #702

UNIT #701

BLOCK #7

AVERAGE FINISHED GRADE

$$(138.633 + 139.649 + 142.996 + 141.777) / 4 =$$

461.81 FT 140.76 M

$$\text{PROPOSED BUILDING HEIGHT ELEVATION} =$$

495.70 FT 151.09 M

$$\text{PROPOSED BUILDING HEIGHT} =$$

33.89 FT 10.33 M

PROP. BLDG HT  
@ 151.09MPROPOSED BLDG HEIGHT  
= 10.33MUPPER FLR  
8'-1 1/8"MIDDLE FLR  
10'-1 3/4"GROUND FLR  
10'-1 3/4"AVG FIN GRADE  
@ 140.76M

Maximum permitted  
building height

19/11/01	DESIGN DEVELOPMENT
20/05/10	DEVT PERMIT COORDINATION
20/12/05	ISSUED FOR DP: PRE-APPLICATION
21/04/12	ISSUED FOR DP: PERMIT APPLICATION
21/08/27	REVO PER DAP COMMENTS
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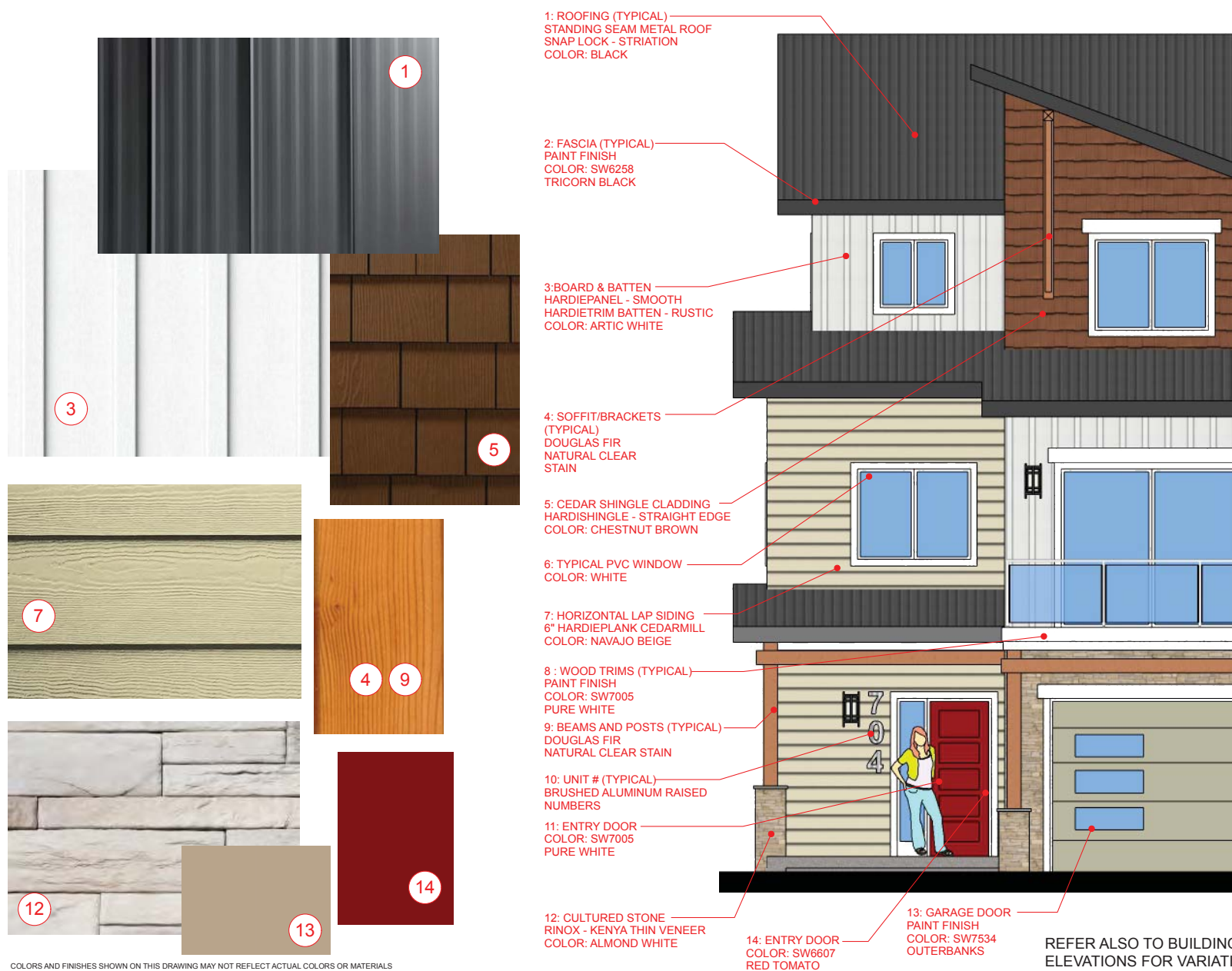
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TEL: 604-916-8582  
EMAIL: gus@g3projects.com

26 UNIT  
TOWNHOUSE DEVELOPMENT  
FIREWEED WAY  
NANAIMO, BC  
DEVELOPMENT PERMIT #DP001235

TITLE:  
**BLOCK 7  
BUILDING ELEVATIONS  
SITE SECTION**  
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DP1235  
2023-MAY-17  
CITY OF NANAIMO

SCALE: AS SHOWN  
DATE: 23/05/12  
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**A360**

B400007 / 180527



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[illegible]

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TEL: 604-916-8582  
EMAIL: [gus@g3projects.com](mailto:gus@g3projects.com)

**26 UNIT  
TOWNHOUSE DEVELOPMENT  
FIREWEED WAY  
NANAIMO, BC**  
DEVELOPMENT PERMIT #DP001235

TITLE: **TYPICAL EXTERIOR FINISHES  
TYPE "A" (LIGHT)** RECEIVED  
**DP1235**  
**2023-MAY-17**

SCALE: N.T.S.

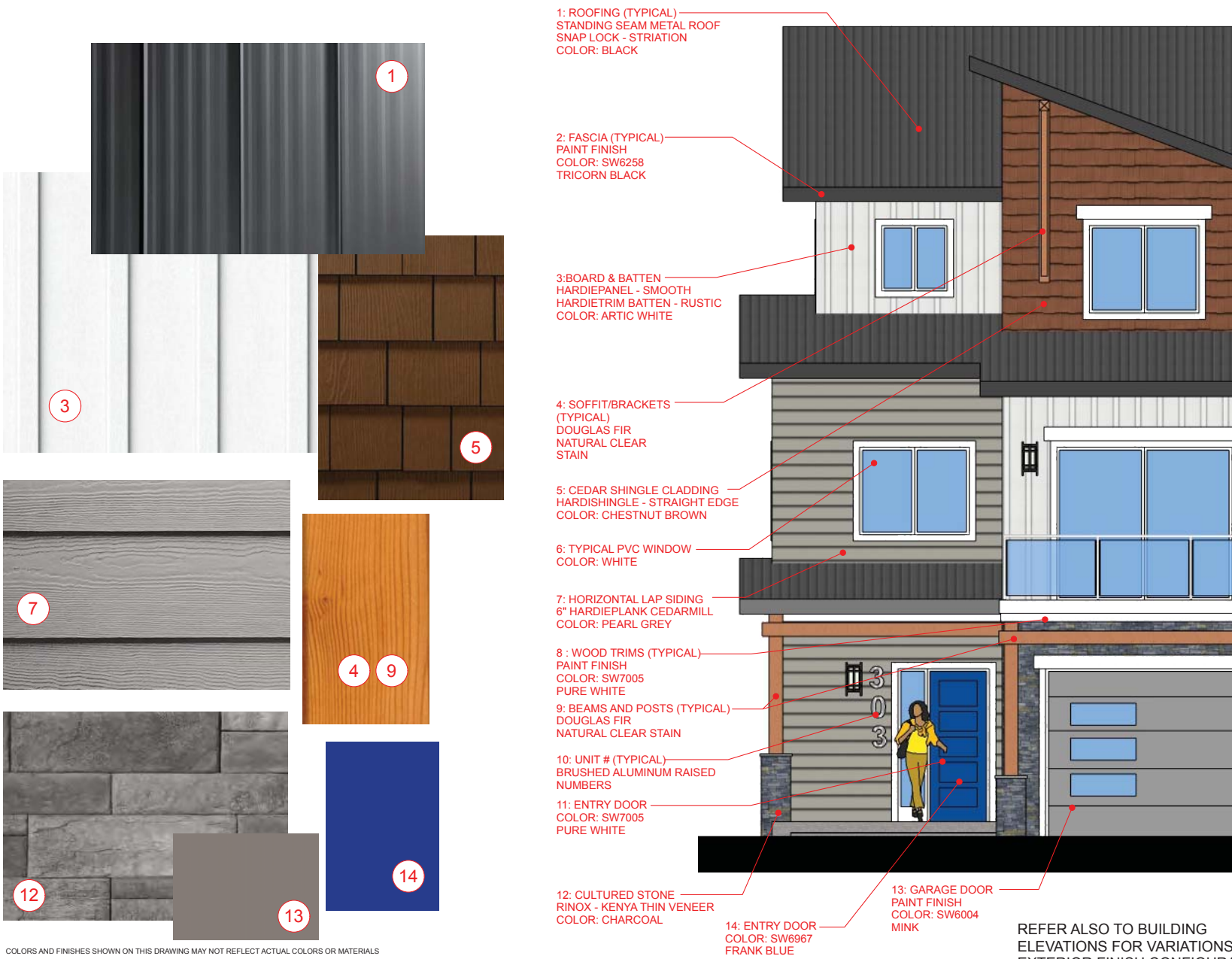
DATE: 23/05/12

ORDINANCE NO.

A400

MAY 2007 / 1907

REFER ALSO TO BUILDING  
ELEVATIONS FOR VARIATIONS OF  
EXTERIOR FINISH CONFIGURATIONS



COLORS AND FINISHES SHOWN ON THIS DRAWING MAY NOT REFLECT ACTUAL COLORS OR MATERIALS

REFER ALSO TO BUILDING  
ELEVATIONS FOR VARIATIONS OF  
EXTERIOR FINISH CONFIGURATIONS

19/11/01	DESIGN DEVELOPMENT
20/05/10	DEVT PERMIT COORDINATION
20/12/05	ISSUED FOR DP: PRE-APPLICATION
21/04/12	ISSUED FOR DEVT PERMIT APPLICATION
21/08/27	REVO PER DAP COMMENTS
22/10/25	REVO PER FORM E & COMP. LETTER 21/12/1
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EMAIL: gus@g3projects.com

26 UNIT  
TOWNHOUSE DEVELOPMENT  
FIREWEED WAY  
NANAIMO, BC  
DEVELOPMENT PERMIT #DP001235

TITLE:  
TYPICAL EXTERIOR FINISHES  
TYPE "B" (DARK)  
RECEIVED  
DP1235  
2023-MAY-17  
DATE: 23/05/12

SCALE: N.T.S.  
DRAWING NO.: A410



Development Permit No. DP001235 Schedule E  
3401 Barrington Road  
**LANDSCAPE PLAN AND DETAILS**



**DESIGN RATIONALE AND SUMMARY**

The topography in this project adds character to the landscape which can be visible for residents from the private patios and balconies on the front and rear ends of the units. In addition to the sloping terrain, the building layouts create wedged spaces between buildings which are proposed to be filled with a palette of vibrant plants, creating unique and interesting experience that can be enjoyed by residents in each of such wedges.

Units in blocks (1,3,5,7) have south facing patios and grass yard overlooking the rock face and an uphill layered landscape with varying trees, shrubbery and meadows. The grassed yards are also proposed to be divided by rock walls and a shrubbery buffer to create a more defined and private space for each unit.

Units in blocks (2,4,6) have a south facing front yard maintained by low shrubs and a privacy screen, as well as private elevated north facing patios that are also proposed to be separated with a privacy screen and a small garden area.

The amenity space, surrounded by shade and flowering trees offer different seating options, benches in addition to a playground set with play equipments. The surface treatment of the proposed hardscape are used to establish the movement hierarchy as well as the wayfinding in the complex. The southern edge of the complex is lined with an afforested ridge of conifers which are carefully punctuated in the foreground by the columnar deciduous trees acting as focal elements.

The northern edge of the complex is protected by a continuous retaining wall that is proposed to be treated with a hardy and vibrant surface climbing 'Boston Ivy'.

**GENERAL NOTES**

All materials and workmanship to CLS Standards, latest edition. Soil depths and subgrade preparation, soil quality and plant sizes to meet or exceed that standard. The installers are advised to search and review, make plant material available to the Landscape Architect for optional review at the source of supply. Area of search to include Lower Mainland and Fraser Valley. 'Substitutions' must obtain written approval from the Landscape Architect prior to making any substitutions to specified material. Unapproved substitutions will be rejected. Allow a minimum of five working days prior to delivery for request to substitute. Substitutions are subject to the Landscape Standard.

All plant material must be provided from the certified 'Disease Free' nursery. All plant material must conform to the latest edition of the 'BC Landscape Standard'. Provide certification upon request. All landscaping and landscape materials to conform to the latest edition of the BCLNA/BCSLA standards.

Min. growing medium depths over prepared subgrade shall be:

- Lawn areas 300mm
- Ground Cover Areas 450mm
- Shrub Areas 450mm
- Tree Pits 300mm (around root balls)

Growing medium shall have physical and chemical properties as described in the standards for 'Ground' areas, except for the areas over structures where the medium shall conform to the requirements for level 1 applications. Processing and mixing of the growing medium shall be done off-site using a mechanized screening process. Proposed growing medium shall be tested by a recognized laboratory. The contractor shall guarantee that the soil submitted for testing is a sample representative of the soil to be used at the site.

On-Site or imported soils shall satisfy the requirements of the standards for growing medium. Soils shall be virtually free from subsoil, wood including woody plant parts, weed or reproductive parts of the weeds, plant pathogenic organisms, toxic material, stones over 30mm, and foreign objects.

All planting beds shall receive min. 50mm bark mulch. The contractor shall maintain clean working conditions, remove all refuse and debris present the site in a safe and clean condition upon completion of all works. Plant species and varieties may not be substituted without the approval of the Landscape architect. All wood fences to be cedar, with one coat of clear penetrating preservative.

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Project  
**26 UNIT TOWNHOUSE  
DEVELOPMENT FIREWEED WAY**

Owner  
**Bill Beadle**

Sheet Title  
**KEY PLAN**

Total Sheets 5	Sheet No. LT
Drawn By SSS	Checked By SD
Reviewed By RD	Status DP Application
Contractors	Consultants G3 ARCHITECTURE INC.

AHJ  
City of Nanaimo

Documents

No	Date	Issue Notes
A	2021-03-17	DP Application
B	2021-09-10	Re-issued for DP Application
C	2022-01-21	Re-issued for DP Application
D	2022-11-29	Re-issued for DP Application
E	2023-04-14	Re-issued for DP Application
F	2023-05-19	Re-issued for DP Application

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Project  
**26 UNIT TOWNHOUSE  
DEVELOPMENT FIREWEED WAY**

Owner  
**Bill Beadle**

Sheet Title  
**CONCEPT PLAN**

Total Sheets	Sheet No.
5	L2
Drawn By	Checked By
SSS	SD
Reviewed By	Status
RD	DP Application
Contractors	Consultants
	G3 ARCHITECTURE INC.

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Documents

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CLIMATE PLANNING



1 CONCEPT PLAN  
Scale: 1:192

Uphill layered landscape with varying trees, shrubbery and meadows.

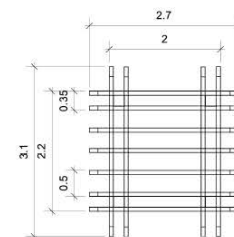
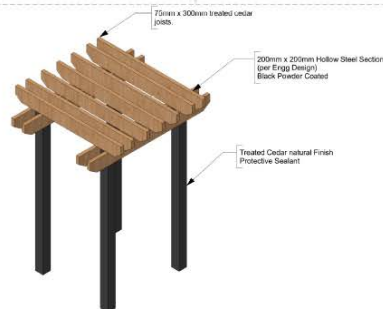
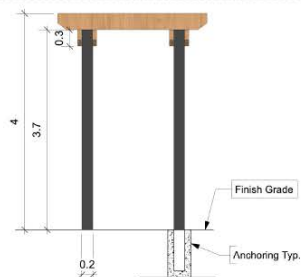
Rock walls and shrubbery buffer to create a more defined and private space.

Wedged spaces between buildings which are proposed to be filled with a palette of vibrant plants.

Undisturbed Mixed Existing Trees and Veg. Along Top of New Rock Face.

Fire truck turn around.

New Rock Face



2 Schematic Detail: Harbour Over Seating Area (F6)  
Scale: 1:48





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Project  
**26 UNIT TOWNHOUSE DEVELOPMENT FIREWEED WAY**

Owner  
**Bill Beadle**

Sheet Title  
**HARDSCAPE PLAN**

Total Sheets	5	Sheet No.	L3
Drawn By	SSS	Checked By	SD
Reviewed By	RD	Status	DP Application
Contractors		Consultants	G3 ARCHITECTURE INC.

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Documents

No	Date	Issue Notes
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C	2022-01-21	Re-issued for DP Application
D	2022-11-29	Re-issued for DP Application
E	2023-04-14	Re-issued for DP Application
F	2023-05-19	Re-issued for DP Application

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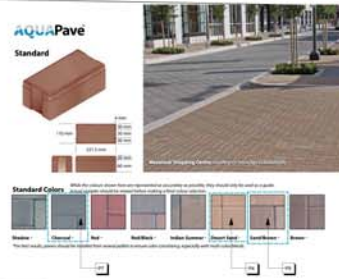
**Not for Construction**



1 HARDSCAPE PLAN  
Scale: 1:192



2 Abbotsford Aristokrat® Series Slabs (P1) and (P6)  
Scale: NTS



3 AQUAPave in Desert Sand(P4), Sand/Brown(P5), Charcoal(P7)  
Scale: NTS

#### FURNISHING LEGEND

F1	Global Industrial™ 4' Plastic Park Bench With Backrest, Tan. See L5/1
F2	Patio/Driveway Maglin Privacy Screen. See L5/2
F3	Roadway Pole Lamp By Beacon. See L5/3
F4	LED Outdoor Bollard by Tech Lighting. 7000BTUR - Sean Lavin - See L5/4
F5	Arbour Over Seating Area. See L2/2
F6	Bike Rack. See L5/5
F7	PLAY EQUIPMENT 1. See L5/6
F8	PLAY EQUIPMENT 2. See L5/7
F9	The PisaLite® Wall System In Color Natural. See L5/8

#### HARDSCAPE LEGEND

P1	Abbotsford Aristokrat® Series 2cm Porcelain Slabs In Cascade Granite. See L3/2
P2	Rockery Retain
P3	Saw Cut CIP Concrete, Broom Finish.
P4	AQUAPave In Shadow. See L3/3
P5	AQUAPave In Sand/Brown. See L3/3
P6	Abbotsford Aristokrat® Series 2cm Porcelain Slabs In Arctic Mist. See L3/2
P7	AQUAPave In Charcoal. See L3/3
P8	Asphalt
P9	Fall Zone Spec. Wood Chip Surfacing Light Cedar
P10	Broom finished concrete with diagonal sawcuts





## LIST OF TREES

Image	ID	Quantity	Latin Name	Common Name	Scheduled Size
	Ac.ci	21	Acer circinatum	Vine maple	3.0m ht.
	APB	18	Acer palmatum Bloodgood	Bloodgood Japanese Maple	6 cm. Cal.
	Pnlg	13	Pinus nigra	Austrian Pine	3 m
	C.nut	10	Cornus nuttallii 'National'	National Dogwood	3.0 m. ht. clump
	Mste	8	Magnolia stellata	Star Magnolia	6 cm. Cal.
	Ar.Ma	4	Acer macrophyllum	Red Maple, Swamp Maple	6 cm. Cal.
	AR	5	Acer rubrum 'Bowhall'	Bowhall red maple	6 cm. cal.
	PIOm	38	Picea glauca	Serbian Spruce	3 m
	Ma.Gr	16	Magnolia grandiflora	Southern Magnolia	7 cm. cal.
	PIGlc	1	Picea glauca	White Spruce	3 m

## LIST OF SHRUBS

Image	ID	Quantity	Latin Name	Common Name	Scheduled Size
	PM	268	Polystichum munium	swordfern	#3 pot
	Pmug	106	Pinus mugo 'Jakobsen'	Jakobsen Mugo Pine	---
	P	639	Polystichum polyblepharum	Tassel Fern	#2 pot
	AJ1	109	Aucuba japonica 'Picturata'	Picturata Aucuba	#3 pot
	RR	199	Rosa rugosa 'Champlain'	Champlain Hardy Shrub Rose	#2 por
	R	164	Rosa Nulkana	Nootka Rose	#2 pot
	M	365	Mahonia nervosa	Dull Oregon grape	#1 pot
	HM	8	Hydrangea macrophylla 'nikko blue'	Hydrangea	#3 pot
	SJ	98	Skimmia japonica	Japanese Skimmia	#2 pot
	Tx	9	Taxus sp	Yew, hedge variety	1.5 m. ht.
	PJ	68	Pieris japonica 'Mountain Fire'	Mountain Fire Lily Of The Valley	#3 pot
	Rh.Gp	95	Rhododendron 'Gumpo Pink'	Pink Gumpo Azalea	#7 pot
	SL	75	Gaulltheria shallon	Lemon Leaf	#2 pot
	RF	102	Rudbeckia fulgida var. fulgida	Orange Coneflower	#1 pot
	Ptri	36	Parthenocissus tricuspidata	Boston Ivy	1 pot
	RS	46	Ribes sanguineum 'King Edward VII'	King Edward VII Flowering Currant	#3 pot
	PV	20	Philadelphus x virginalis	Mock Orange	#5 pot
	CS	9	Cornus sericea 'Iston/fera'	Redosier Dogwood	#2 pot
	AU1	324	Arctostaphylos uva-ursi 'Vancouver Jade'	Vancouver Jade Kinnikinnick	#1 por
	VO	15	Vaccinium ovatum 'Thunderbird'	evergreen huckleberry	#3 pot

## LEGEND

- Grass, Seeded
- Seeded Wildflower Meadow Mix From Richardson Seed.
- Acrostaphylos uva-ursi to be planted

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Project  
26 UNIT TOWNHOUSE  
DEVELOPMENT FIREWEED WAY

Owner  
Bill Beadle

Sheet Title  
PLANTING PLAN

Total Sheets	Sheet No.
5	L4
Drawn By	Checked By
SSS	SD
Reviewed By	Status
RD	DP Application
Contractors	Consultants
	G3 ARCHITECTURE INC.

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No	Date	Issue Notes
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F	2023-05-19	Re-issued for DP Application

**Equiparc**



**BP 1423-BN** Bench with backrest

**SPECIFICATIONS**

Material: Steel 3.05mm (1/8") 3.0" steel bar  
 Finish: Hot Dip Galvanized  
 Dimensions: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")  
 Weight: 150kg (330lb)  
 Seats: 3  
 Backrest: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")  
 Backrest: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")

**CONNECTIONS**

Base: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")  
 Backrest: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")  
 Backrest: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")

**OPTIONS**

1. Backrest: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")  
 2. Backrest: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")  
 3. Backrest: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")

**CONCRETE SLABS AND RICHES**

1. 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")  
 2. 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")  
 3. 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")

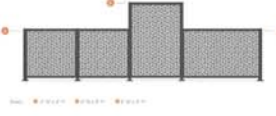
**GLOBAL INDUSTRIAL™ 4' Plastic Park Bench With Backrest, Tan (F1)**

**1 EQUIPARC BENCH (F1)**  
Scale: NTS

**BEACON**

**URBAN SERIES**

**DESIGN WITH THE FLEX COLLECTION BY MAGLIN**



**FEATURES**

- Durable, modern style lighting fixture series is suitable for outdoor lighting and wall mounting.
- Two universal shades and style options.
- LED (not factory option available).
- Integral Surge and Thermal Protection.

**ROADWAY POLE LAMP BY BEACON (F3)**

**2 PATIO/DRIVEWAY PRIVACY SCREEN (F2)**  
Scale: NTS

**BEACON**

**URBAN SERIES**

**ROADWAY POLE LAMP BY BEACON (F3)**



**Scale: NTS**

**3 ROADWAY POLE LAMP BY BEACON (F3)**  
Scale: NTS

**KIMLIGHTING**

**SL1 LED**

**Specifications**


SL1 LED  
 Material: 304 SS  
 Dimensions: 1800mm (6'0") x 450mm (1'6") x 950mm (3'1")  
 Weight: 150kg (330lb)

**BOLLARD LIGHT (F4)**

**4 BOLLARD LIGHT (F4)**  
Scale: NTS

**INTRODUCING THE ICONIC BIKE RACK**

**CONNECTIONS & DETAILS**



**PROPOSED BIKE RACK (F6)**

**5 PROPOSED BIKE RACK (F6)**  
Scale: NTS

**Hendevon**

**GREEN ROOTS PLAY EQUIPMENT (F7)**



**Scale: 1:64**

**6 GREEN ROOTS PLAY EQUIPMENT (F7)**  
Scale: 1:64

**URBAN DESIGN**

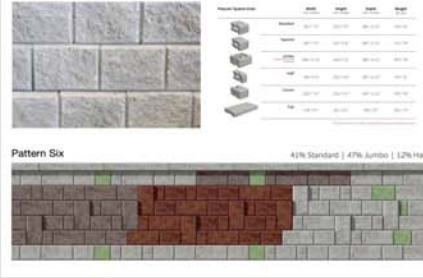
**PLAY EQUIPMENT - 2 (F8)**



**Scale: NTS**

**7 PLAY EQUIPMENT - 2 (F8)**  
Scale: NTS

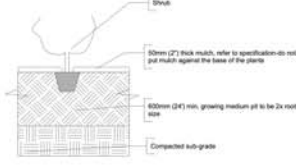
**PisaLite® Wall System in Color Natural (F9)**



**Scale: NTS**

**8 The PisaLite® Wall System in Color Natural (F9)**  
Scale: NTS

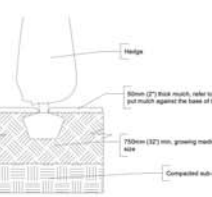
**DETAILS: SHRUB AT GRADE**



**Scale: NTS**

**9 DETAILS: SHRUB AT GRADE**  
Scale: NTS

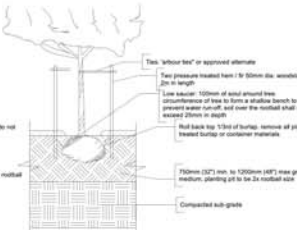
**DETAILS: HEDGE AT GRADE**



**Scale: NTS**

**10 DETAILS: HEDGE AT GRADE**  
Scale: NTS

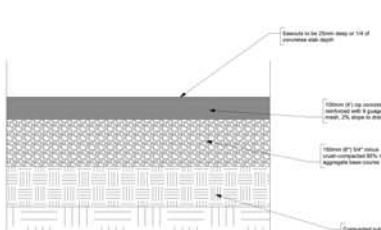
**DETAILS: TREE AT GRADE**



**Scale: NTS**

**11 DETAILS: TREE AT GRADE**  
Scale: NTS

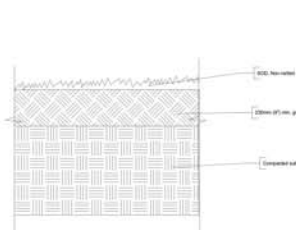
**DETAILS: CONCRETE ON GRADE**



**Scale: NTS**

**12 DETAILS: CONCRETE ON GRADE**  
Scale: NTS

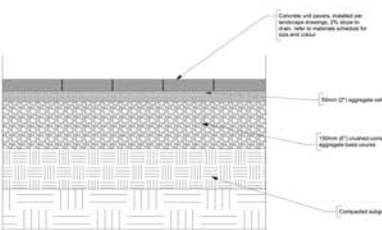
**DETAILS: SOD AT GRADE**



**Scale: NTS**

**13 DETAILS: SOD AT GRADE**  
Scale: NTS

**DETAILS: CONCRETE UNIT PAVERS ON GRADE**



**Scale: NTS**

**14 DETAILS: CONCRETE UNIT PAVERS ON GRADE**  
Scale: NTS

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 DP1235  
 2023-JUN-21



**ARCHITECTURE PANEL INC.**  
 ARCHITECTURE | LANDSCAPE ARCHITECTURE | URBAN DESIGN

Unit 103, 15505 Marine Drive, White Rock, BC  
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Project  
 26 UNIT TOWNHOUSE  
 DEVELOPMENT FIREWEED WAY

Owner  
 Bill Beadle

Sheet Title  
 DETAILS

Total Sheets	5	Sheet No.	L5
Drawn By	SSS	Checked By	SD
Reviewed By	RD	Status	DP Application
Contractors		Consultants	G3 ARCHITECTURE INC.

AHJ  
 City of Nanaimo

No	Date	Issue Notes
A	2021-03-17	DP Application
B	2021-09-10	Re-issued for DP Application
C	2022-01-21	Re-issued for DP Application
D	2022-11-29	Re-issued for DP Application
E	2023-04-14	Re-issued for DP Application
F	2023-05-19	Re-issued for DP Application

**Not for Construction**

Scale  
 N