



DEVELOPMENT PERMIT NO. DP001233

1303320 BC LTD

Name of Owner(s) of Land (Permittee)

200 HANSEN ROAD

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

LOT B, SECTION 14, RANGE 8, MOUNTAIN DISTRICT, PLAN EPP76054

PID No. 030-471-656

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan

Schedule B Site Plan

Schedule C Building Elevations and Details

Schedule D Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

CONDITIONS OF PERMIT

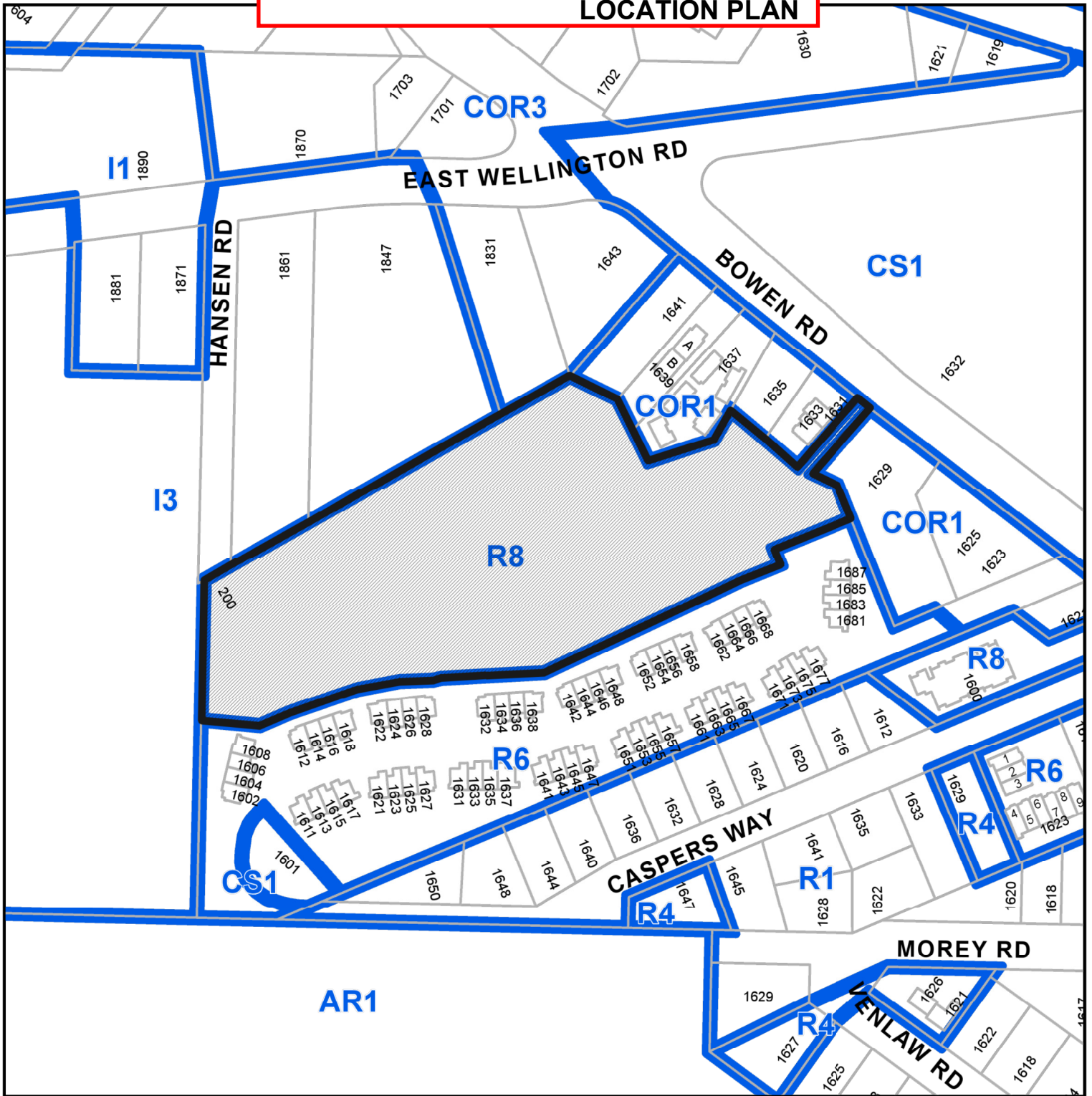
1. The subject property is developed generally in accordance with the Site Plan prepared by Family Tree Developments, dated 2022-JUN-20, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by Family Tree Developments, dated 2022-JUN-20, as shown on Schedule C.
3. The development is in substantial compliance with the Landscape Plan and Details prepared by Small & Rossell Landscape Architects Inc., received 2022-MAR-10, as shown on Schedule D.
4. Discharge of existing sanitary sewer statutory right-of-way (SRW) #EH134630 and associated plan #3250RW along the north property line, and replacement with a new SRW to accommodate the existing sanitary sewer service and future stormwater sewer service to the adjacent properties at 1831 and 1847 East Wellington Road and 1643 Bowen Road, to be registered prior to building permit issuance, with the following information:
 - New SRW to reflect the current City of Nanaimo standard charge documents; and
 - Width of SRW plan to reflect the size, number, and depths of pipes as determined by 'Appendix D' of the City of Nanaimo Manual of Engineering Standards and Specifications.

REVIEWED AND APPROVED ON

2022-JUN-28
Date

D. Lindsay
D. Lindsay, General Manager of Development Services
Community Development
Pursuant to Section 154 (1)(b) of the Community Charter

LR/ln
Prospero attachment: DP001233



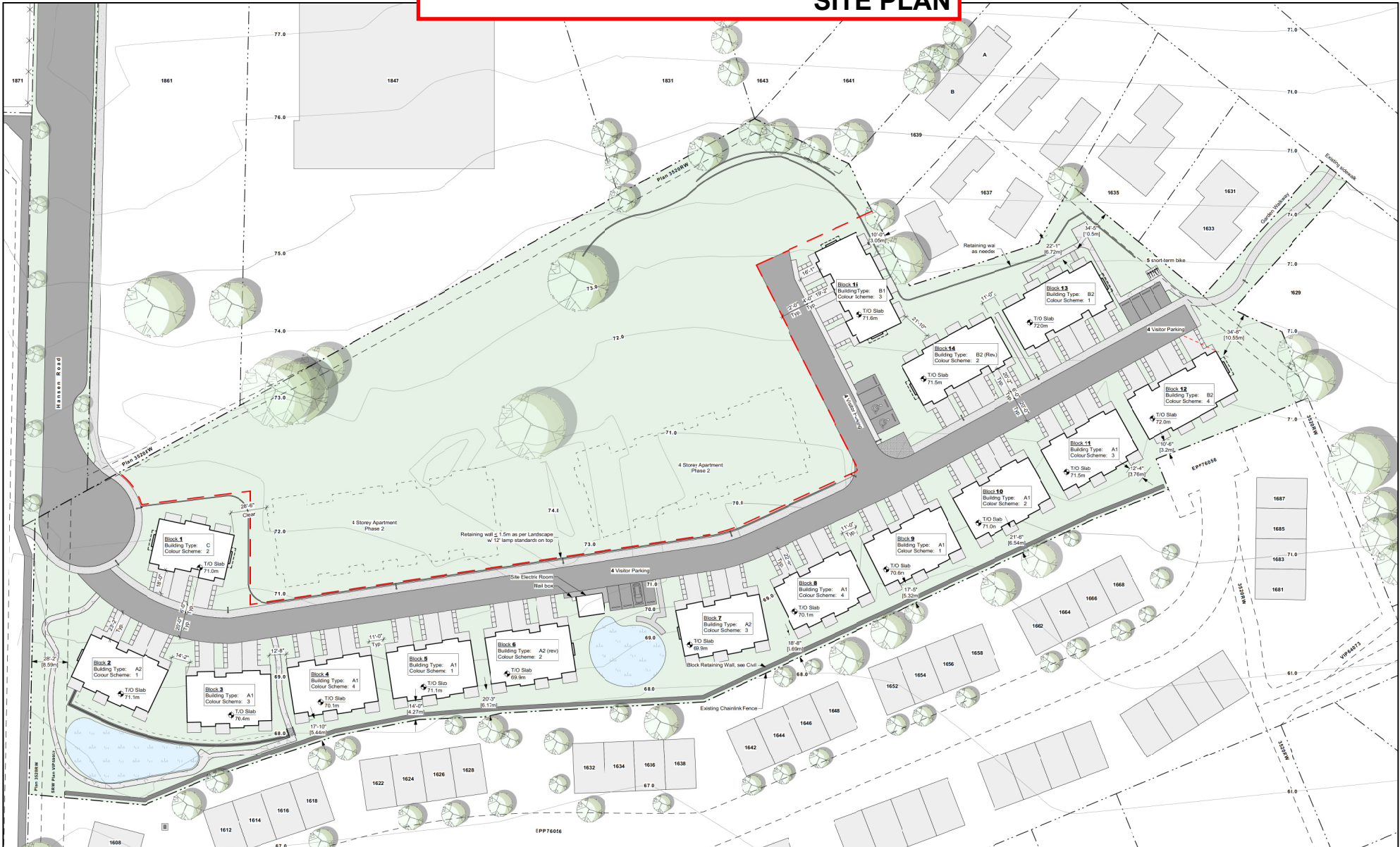
 **Subject Property**

DEVELOPMENT PERMIT APPLICATION NO. DP001233

CIVIC: 200 HANSEN ROAD

LEGAL: LOT B , SECTION 14, RANGE 8, MOUNTAIN DISTRICT, PLAN EPP76054

Development Permit No. DP001233 Schedule B
200 Hansen Road **SITE PLAN**



<p>family tree developments 33 Victoria Crescent, Nanaimo, B.C. V9R 5B8 tel: 250.797.6469 email: info@familytreedevelopments.ca</p>	<p>Project Hansen Road Development Nanaimo 200 Hansen Road, Nanaimo B.C. Lot B, Section 14, Range 8, Mountain District, Plan EPP76054</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>Date</th> <th>Issue Notes</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>2021 05 11</td> <td>DP Application</td> </tr> <tr> <td>02</td> <td>2021 05 30</td> <td>Coordination Set</td> </tr> <tr> <td>03</td> <td>2021 12 03</td> <td>Comprehensive Letter Response</td> </tr> <tr> <td>04</td> <td>2022 06 20</td> <td>Revised Elevations</td> </tr> </tbody> </table>	#	Date	Issue Notes	01	2021 05 11	DP Application	02	2021 05 30	Coordination Set	03	2021 12 03	Comprehensive Letter Response	04	2022 06 20	Revised Elevations	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>#</th> <th>Date</th> <th>Revision Notes</th> </tr> </thead> <tbody> <tr> <td>01</td> <td>2021 06 17</td> <td>Missing Site Plan provided</td> </tr> </tbody> </table>	#	Date	Revision Notes	01	2021 06 17	Missing Site Plan provided	<p>Sheet Title: Site Plan - Key Plan Phase 1</p>	<p>Drawn: 2014</p> <p>Checked: 2014</p> <p>Scale: As Noted</p> <p>Date: Jun 20, 2022</p> <p>Scale: Current Planning</p> <p style="font-size: 24pt; font-weight: bold; text-align: center;">A1.1</p>
	#	Date	Issue Notes																							
01	2021 05 11	DP Application																								
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04	2022 06 20	Revised Elevations																								
#	Date	Revision Notes																								
01	2021 06 17	Missing Site Plan provided																								
<p>RECEIVED DP1233 2022-JUN-20 Current Planning</p>																										



Site Legend:

- Landscape
- Asphalt Roads & Pathway
- Concrete Public Pathway - Broom Finish
- Concrete Private Pathways & Driveways - Raised aggregate
- Gravel Private Pathway
- Paver Surface
- Storm Water Detention Pond

Building Colour Schemes:

1	Lap Siding Kayan - Sandalwood
2	Lap Siding Kayan - Willow Green
3	Lap Siding Kayan - Prestige Beige
4	Lap Siding Kayan - Linen

Note:
 1. See Elevations for complete material schedule in each Colour Scheme.
 2. See A1.0 - Cover Page for Site Key Plan & Unit's.
 3.



111 Cheilan Place, Nanaimo, B.C. V9R 6S2
 tel: 250.767.6869
 email: info@familytreedevelopments.ca

#	Date	Issue Notes
01	2021 05 11	DP Application

#	Date	Revision Notes
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Hansen Road Development
 Nanaimo
 200 Hansen Road, Nanaimo, B.C.
 Lot B, Section 14, Range 8, Mountain District, Plan EPP76054

Sheet Title:
Site Plan 01
 Blocks 1 - 4

Drawn: RH
 Checked: RH

Job No.: 2014
 Scale: As Noted
 Date: Jun 20, 2022

CAD File:
 Hansen Rd. Development - Plans 07.vrx

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2022-JUN-20
 Current Planning

A1.2



Site Legend:

- Landscape
- Asphalt Roads & Pathway
- Concrete Public Pathway - Broom Finish
- Concrete Private Pathways & Driveways - Raised aggregate
- Gravel Private Pathway
- Paver Surface
- Storm Water Detention Pond

Building Colour Schemes:

- 1 Lap Siding
Kaycan - Sandalwood
- 2 Lap Siding
Kaycan - Willow Green
- 3 Lap Siding
Kaycan - Prestige Beige
- 4 Lap Siding
Kaycan - Linen

Notes:
 1. See Elevations for complete material schedule in each Colour Scheme.
 2. See A1.0 - Cover Page for Site Key Plan & Utl's.
 3.



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#	Date	Issue Notes
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#	Date	Revision Notes
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Hansen Road Development
 Nanaimo
 200 Hansen Road, Nanaimo, B.C.
 Lot B, Section 14, Range 8, Mountain District, Plan EPP76054

Sheet Title:
Site Plan 02
Blocks 5 - 7

Drawn: RH
 Checked: RH

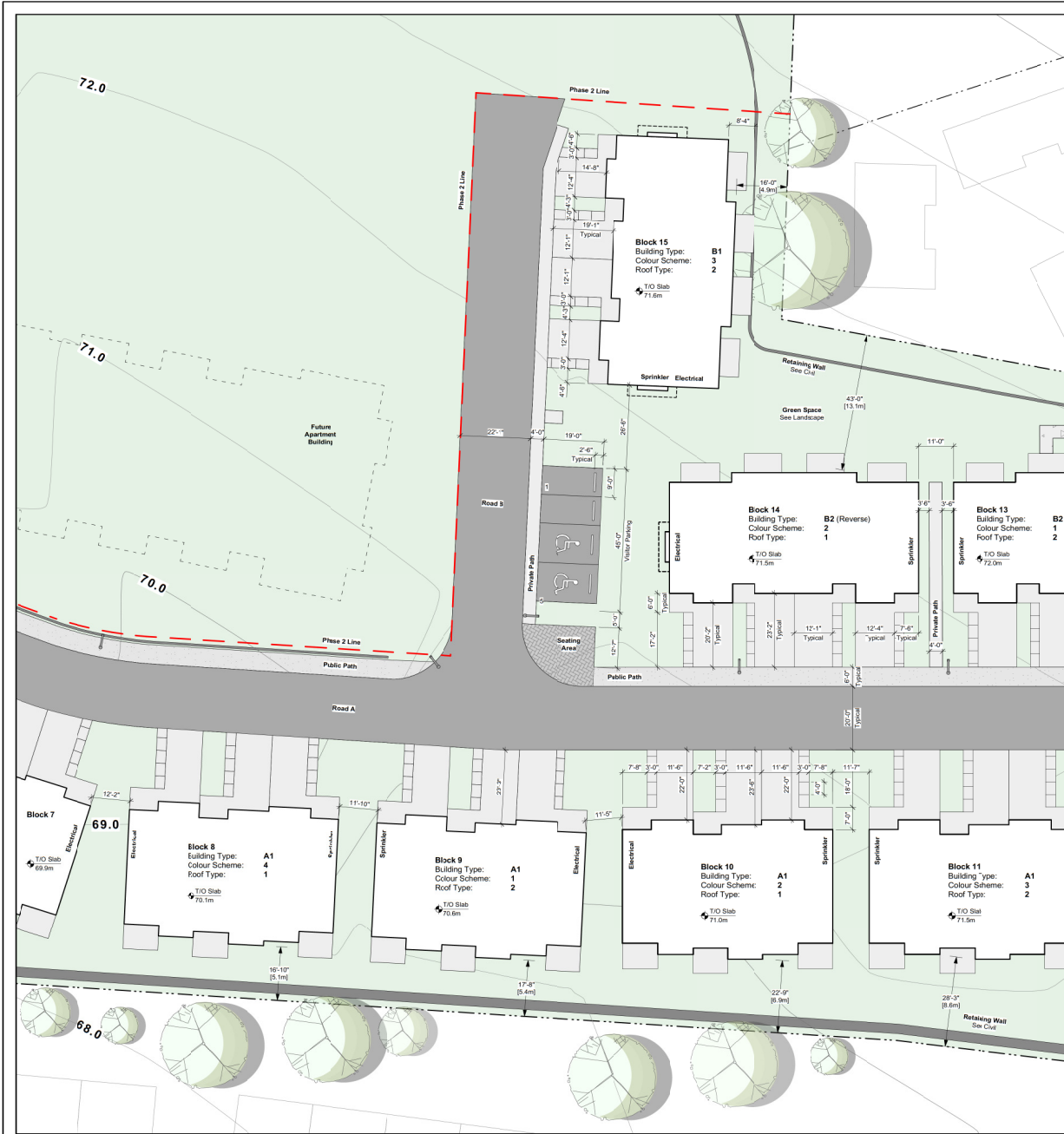
Job No.: 2014
 Scale: As Noted

Date: Jun 20, 2022

CAD File: Hansen Rd. Development - Plans 07.vrx

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A1.3



Site Legend:

- Landscape
- Asphalt Roads & Pathway
- Concrete Public Pathway - Broom Finish
- Concrete Private Pathways & Driveways - Raised aggregate
- Gravel Private Pathway
- Paver Surface
- Storm Water Detention Pond

Building Colour Schemes:

- Lap Siding, Kaycan - Sandalwood
- Lap Siding, Kaycan - Willow Green
- Lap Siding, Kaycan - Prestige Beige
- Lap Siding, Kaycan - Linen

Note:

- See Elevations for complete material schedule in each Colour Scheme.
- See A1.0 - Cover Page for Site Key Plan & Unit's.
- Building Type A:
- Roof Type 1 = Shac
- Roof Type 2 = Flat
- Building Type B:
- Roof Type 1 = Front bumpout @ L2 & L1 (center units)
- Roof Type 2 = Front bumpout @ L2 (center units)



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Hansen Road Development
Nanaimo
200 Hansen Road, Nanaimo, B.C.
Lot B, Section 14, Range 8, Mountain District, Plan EPP76054

Sheet Title:
Site Plan 03
Blocks 8 - 10, 14, 15

Drawn: RH
Checked: RH

Job No.: 2014
Scale: As Noted
Date: Jun 20, 2022
CAD File: Hansen Rd. Development - Plans 07.vrx

Sheet No.: **A1.4**

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Site Legend:

- Landscape
- Asphalt Roads & Pathway
- Concrete Public Pathway - Broom Finish
- Concrete Private Pathways & Driveways - Raised aggregate
- Gravel Private Pathway
- Paver Surface
- Storm Water Detention Pond

Building Colour Schemes:

1	Lap Siding Koycan - Sandalwood
2	Lap Siding Koycan - Willow Green
3	Lap Siding Koycan - Prestige Beige
4	Lap Siding Koycan - Linen

- Notes:**
- See Elevations for complete material schedule in each Colour Scheme.
 - See A1.0 - Cover Page for Site Key Plan & Unit's.
 - Building Type A:
 - Roof Type 1 = Shic
 - Roof Type 2 = Flat
 - Building Type B:
 - Roof Type 1 = From bumpout @ L2 & L1 (center units)
 - Roof Type 2 = From bumpout @ L2 (center units)



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#	Date	Revision Notes

Hansen Road Development
 Nanaimo
 200 Hansen Road, Nanaimo, B.C.
 Lot B, Section 14, Range 8, Mountain District, Plan EPP76054

Sheet Title:
Site Plan 04
Blocks 11-13

Drawn: RH
 Checked: RH

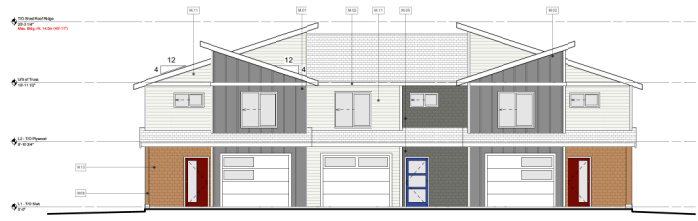
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 Scale: As Noted
 Date: Jun 20, 2022

Sheet No.: **A1.5**

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BUILDING ELEVATIONS AND DETAILS



1 Roof Type 2
Building Type: A1
1/8" = 1'-0" Front Elevation



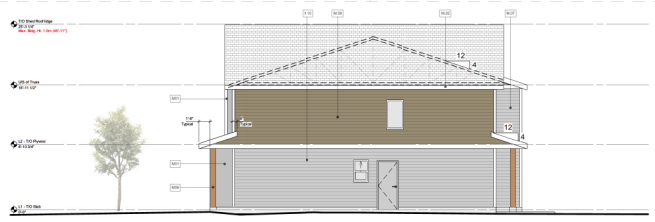
2 Roof Type 1
Building Type: A1
1/8" = 1'-0" Front Elevation



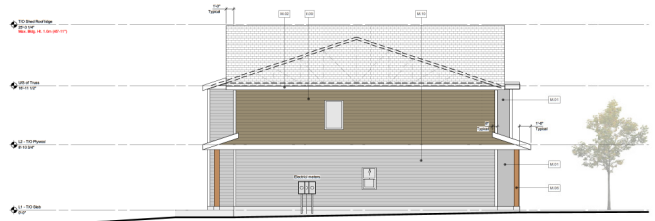
4 Building Type: A1
1/8" = 1'-0" Rear Elevation

Front Roof Variation

Base Building Type

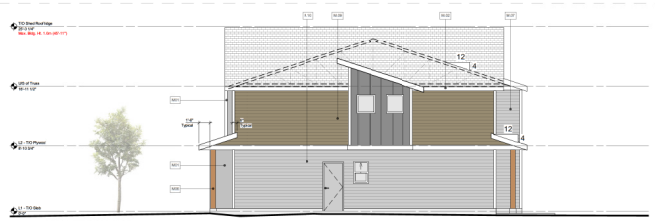


3 Building Type: A1
1/8" = 1'-0" Right Elevation



5 Building Type: A1
1/8" = 1'-0" Left Elevation

Side Roof Variation



6 Building Type: A2 or A2 Reverse
1/8" = 1'-0" Left or Right Elevation

Material Schedule

Scheme 1 - Silverwood

Tag	Material	Description
001	Board and Batten	Hardi Panel - Night Gray
002	Gutter & Fascia	Paint - White
003	Lap Siding	Kaycan - Sandwood
004	Lap Siding	Kaycan - Waiaki
005	Shake Siding	Kaycan - Castlemore
006	Posts & Accent Trim	Kaycan - Spice
007	Shake Siding	Kaycan - Spice

Scheme 2 - Willow Green

Tag	Material	Description
001	Board and Batten	Hardi Panel - Night Gray
002	Gutter & Fascia	Paint - White
003	Lap Siding	Kaycan - Willow Green
004	Lap Siding	Kaycan - Wicke
005	Shake Siding	Kaycan - Castlemore
006	Posts & Accent Trim	Kaycan - Spice
007	Shake Siding	Kaycan - Spice

Scheme 3 - Prestige Beige

Tag	Material	Description
001	Board and Batten	Hardi Panel - Night Gray
002	Gutter & Fascia	Paint - White
003	Lap Siding	Kaycan - Prestige Beige
004	Lap Siding	Kaycan - Slate Gray
005	Shake Siding	Kaycan - Castlemore
006	Posts & Accent Trim	Kaycan - Spice
007	Shake Siding	Kaycan - Spice

Scheme 4 - Linen

Tag	Material	Description
001	Board and Batten	Hardi Panel - Night Gray
002	Gutter & Fascia	Paint - White
003	Lap Siding	Kaycan - Linen
004	Lap Siding	Kaycan - Stonerest
005	Shake Siding	Kaycan - Castlemore
006	Posts & Accent Trim	Kaycan - Spice
007	Shake Siding	Kaycan - Spice

Note:

1. See Site Plans for which Material Scheme applies to specific blocks.
2. See Site Plans for which Roof Type applies to specific blocks.



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01	2021 05 11	DP Application
02	2022 06 17	Revised Elevations

Date Revision Notes

Project: Hansen Road Development
Naniteituu

200 Hansen Road, Nanaimo, B.C.
Lot B, Section 14, Range 8, Mountain District, Plan EPP76054

Sheet Title:
**Building Type A
Blocks 2-11
Elevations**

Drawn: RH	Checked: RH
Job No: 2014	Sheet No.
Scale: As Noted	A6.1
Date: Jun 20, 2022	
CAD File: Hansen Rd. Development - Plans 07.vrx	

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#	Date	Issue Notes
01	2021 05 11	DP Application
02	2022 06 17	Revised Elevations

#	Date	Revision Notes

Hansen Road Development
 Nanaiñit'u
 200 Hansen Road, Nanaimo, B.C.
 Lot B, Section 14, Range 8, Mountain District, Plan EPP76054

Sheet Title:
**Building Type B
 Blocks 12-15
 Elevations**

Drawn: RH	Checked: RH
Job No: 2014	Sheet No.
Scale: As Noted	A6.2
Date: Jun 20, 2022	
CAD File: Hansen Rd. Development - Plans 07.vrx	

Material Schedule

Scheme 1 - Sandalwood

Tag	Material	Description
001	Board and Batten	Hardi Panel - Night Gray
002	Gutter & Fascia	Paint - White
003	Lap Siding	Kaycan - Sandalwood
004	Lap Siding	Kaycan - Kashi
005	Shake Siding	Kaycan - Castlemore
006	Posts & Accent Trim	Kaycan - Spice
007	Shake Siding	Kaycan - Spice

Material Schedule:

Scheme 2 - Willow Green

Tag	Material	Description
001	Board and Batten	Hardi Panel - Night Gray
002	Gutter & Fascia	Paint - White
003	Lap Siding	Kaycan - Willow Green
004	Lap Siding	Kaycan - Wicker
005	Shake Siding	Kaycan - Castlemore
006	Posts & Accent Trim	Kaycan - Spice
007	Shake Siding	Kaycan - Spice

Material Schedule:

Scheme 3 - Prestige Beige

Tag	Material	Description
001	Board and Batten	Hardi Panel - Night Gray
002	Gutter & Fascia	Paint - White
003	Lap Siding	Kaycan - Prestige Beige
004	Lap Siding	Kaycan - Slate Grey
005	Shake Siding	Kaycan - Castlemore
006	Posts & Accent Trim	Kaycan - Spice
007	Shake Siding	Kaycan - Spice

Material Schedule:

Scheme 4 - Lichen

Tag	Material	Description
001	Board and Batten	Hardi Panel - Night Gray
002	Gutter & Fascia	Paint - White
003	Lap Siding	Kaycan - Lichen
004	Lap Siding	Kaycan - Stonecrest
005	Shake Siding	Kaycan - Castlemore
006	Posts & Accent Trim	Kaycan - Spice
007	Shake Siding	Kaycan - Spice

Note:

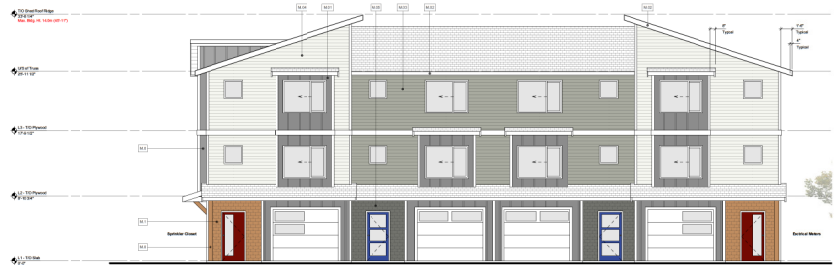
- See Site Plans for which **Material Scheme** applies to specific blocks.
- See Site Plans for which **Roof Type** applies to specific blocks.

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Front Roof Variation

Base Building Type

No Side Roof Variation



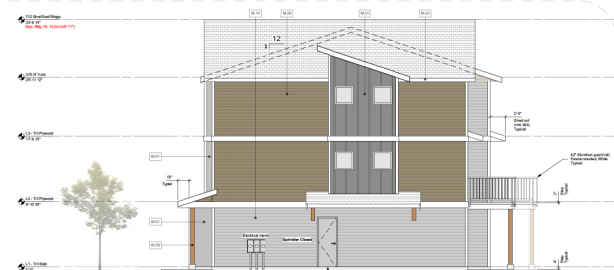
1 Roof Type 2
 Building Type: B1
 1/8" = 1'-0" Front Elevation



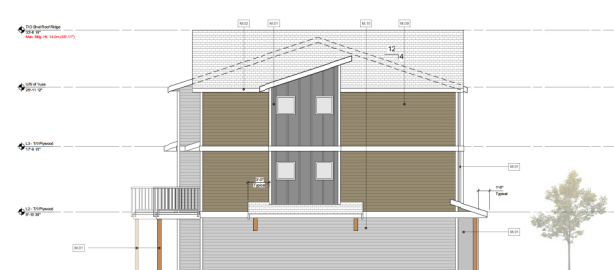
2 Roof Type 1
 Building Type: B1
 1/8" = 1'-0" Front Elevation



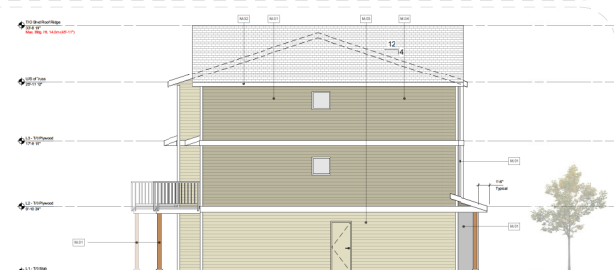
4 Building Type: B1
 1/8" = 1'-0" Rear Elevation



3 Building Type: B1
 1/8" = 1'-0" Right Elevation



5 Building Type: B1
 1/8" = 1'-0" Left Elevation



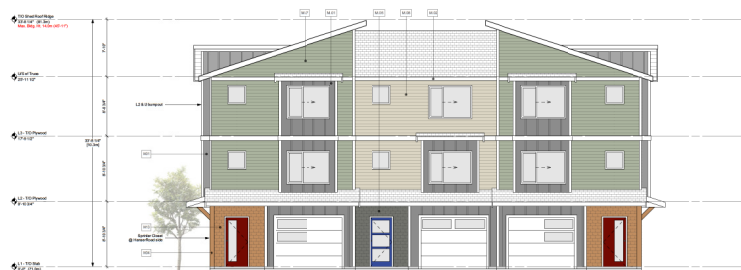
6 Building Type: B2 or B2 Reversed
 1/8" = 1'-0" Left or Right Elevation



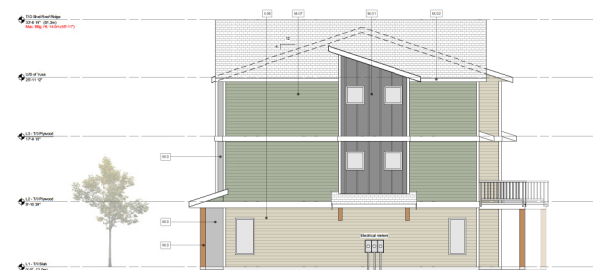
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#	Date	Issue Notes
01	2021 05 11	DP Application
02	2022 06 17	Revised Elevations

Tag	Material	Description
001	Board and Batten	Hardi Panel - Night Gray
002	Gutter & Fascia	Paint - White
003	Lap Siding	Kaycan - Sandalwood
004	Lap Siding	Kaycan - Khaki
005	Shake Siding	Kaycan - Castlemore
006	Roofs & Accent Trim	Kaycan - Spice
007	Shake Siding	Kaycan - Spice



Roof Type 1
 Building Type: C
 2 1/8" = 1'-0" Front Elevation



3 Building Type: C
 1/8" = 1'-0" Right Elevation



4 Building Type: C
 1/8" = 1'-0" Rear Elevation



5 Building Type: C
 1/8" = 1'-0" Left Elevation

Hansen Road Development
 Nanaihitlu
 200 Hansen Road, Nanaimo, B.C.
 Lot B, Section 14, Range 8, Mountain District, Plan EPP76054

Sheet Title:
**Building Type C
 Block 1
 Elevations**

Drawn: RH
 Checked: RH

Job No: 2014
 Scale: As Noted
 Date: Jun 20, 2022

A6.3

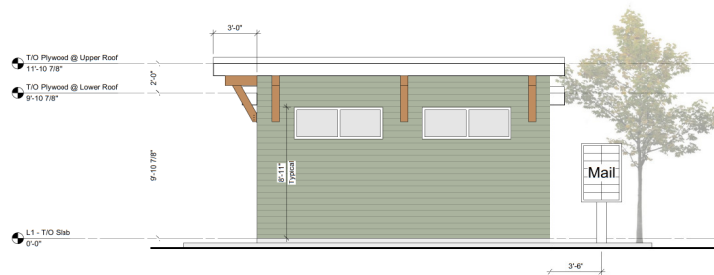
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2022-JUN-20
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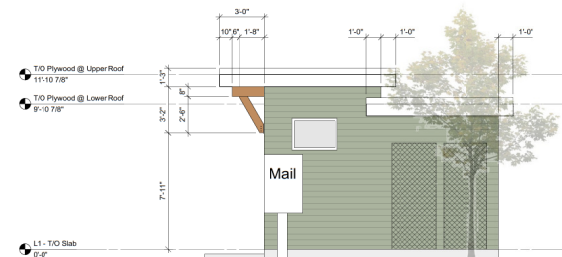
#	Date	Issue Notes
01	2021 05 11	DP Application
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Material Schedule
 Schema 1 - Sandalwood

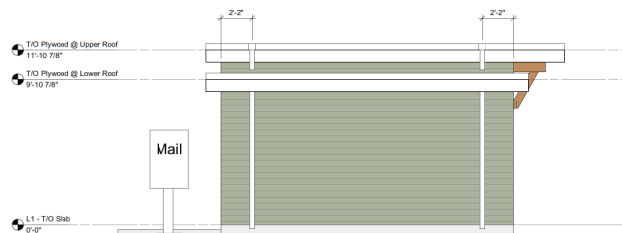
Tag	Material	Description
01	Board and Batten	Hard Panel - Night Gray
02	Gutter & Fascia	Paint - White
03	Lap Siding	Kaycan - Sandalwood
04	Lap Siding	Kaycan - Khaki
05	Lap Siding	Kaycan - Castlemore
06	Posts & Accent Trim	Kaycan - Spice
07	Lap Siding	Kaycan - Spice



4 Front Elevation (North)
 Scale: 1/4" = 1'-0"



5 Right Elevation (West)
 Scale: 1/4" = 1'-0"



6 Rear Elevation (South)
 Scale: 1/4" = 1'-0"



7 Left Elevation (East)
 Scale: 1/4" = 1'-0"

Hansen Road Development
 Nanaimo, B.C.
 200 Hansen Road, Nanaimo, B.C.
 Lot B, Section 14, Range 8, Mountain District, Plan EPP76054

Sheet Title:
Electrical Room
 -
Elevations

Drawn: RH	Checked: RH
Job No: 2014	Sheet No.
Scale: As Noted	A6.4
Date: Jun 20, 2022	
CAD File: Hansen Rd. Development - Plans 07.vrx	

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2022-JUN-20
 CURRENT PLANNING

200 Hansen Road

LANDSCAPE PLAN AND DETAILS

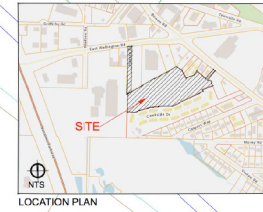
SMALL & ROSSELL
LANDSCAPE ARCHITECTS INC

3012 manzer road, sooke, b.c. v9z 0z9
t: 250-642-6967

design@smallandrossell.com
www.smallandrossell.com

all drawings, designs, specifications used in connection with this project remain the property of Small & Rossell Landscape Architects Inc. and shall not be used for any other project without the written permission of Small & Rossell Landscape Architects Inc.

The drawings shall not be used for construction purposes unless marked "issued for construction"



Legend

- proposed new deciduous trees
- proposed new coniferous trees
- proposed new trees / specimen shrubs
- proposed shrub planting
- proposed grass
- proposed concrete surface
- proposed asphalt surface
- proposed gravel surface (dog run)
- privacy screens
- existing contours, 1.0m intervals
- existing grade
- proposed grade
- site lighting, pole lights, refer to Civil
- bolded lights for pedestrian way finding

LANDSCAPE PLANATION
The landscape plan describes the townhouse site.

Level areas around buildings and patios will be created by building retaining walls at the north and south perimeter; typical heights would be around 1.2m to 1.9m, and would be constructed using modular concrete block system.

This grading strategy provides residents with usable outdoor space and opportunities for play and socializing.

Four seating spaces with bench seats are located; near both rain water detention areas, the dog run and at the lateral road intersection near Building 16. The latter seating space is surfaced with concrete to prevent water from entering the concrete sidewalk to re-enter the east / west "public route" and denote that the northwards lateral road is private.

A new 2m wide asphalt pedestrian path with lighting links the east of the site with Bowen Road.

A dog run would be fenced with a 4' chain link fence and have 1 gate.

Perimeter plantings of trees and shrubs provide privacy screening and buffering between neighbouring residences. Tree and shrub species have been selected for their aesthetic attributes, drought tolerance and ease of maintenance.

Tree planting is proposed on Hansen Road as part of the new road construction.

Between driveways the front gardens include trees and shrub plantings, for privacy and shade. Trees are planted to avoid conflicts with underground utilities.

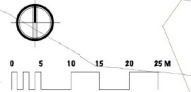
The storm water management detention areas, #1 and #2, would have grass filters and side slopes. Rain water detention is articulated only in times of extreme rainfall.

A selection of proposed plant species is provided on L2, this will be further expanded upon at the final design / Building Permit application stage.

Tree replacement numbers are identified on L2.

GENERAL PROVISIONS
LANDSCAPE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE PROVISIONS OF THE LATEST EDITION OF THE SASKATCHEWAN LANDSCAPE INDUSTRY & SANITARIAN INDUSTRY STOCK (SANSI) AND

ALL PLANTED AND GRASS AREAS SHALL BE PROVIDED WITH FULLY AUTOMATED UNDERGROUND IRRIGATION IN ACCORDANCE WITH THE PROVISIONS OF THE IRRIGATION INDUSTRY ASSOCIATION OF BC (IIABC).



Revision No.	Description	Date
2.0	Response to Design Panel Comments	13 Aug. 2021
2.1	The numbers increased from 114 to 125 & shrub border added to sidewalk at dog run.	
1.0	Response to City Design Comments	28 July 2021
1.1	Shrub species to west of site	
1.2	Log run relocated to west of site	
1.3	Internal ramp surface requires step on east side of site	
1.4	bench seat and 2 trees added	
1.5	bolded lights added to path entrance	
1.6	Site parking added adjacent to Common Building	
1.7	Temporary landscape buffer added to north property	

Issue	Issue Date
Development Permit	4 May 2021



Project: **Townhouse Development, 200 Hansen Road, Nanaimo, BC.**

Sheet Title: **LANDSCAPE PLAN**

Drawn By: CAR Checked: SRLA

Scale: 1:400
Revision: R2 Sheet Number: L1

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Storm Water Management feature #4, (ref. J.E. Anderson SWM Report)

- surface area when flooded 224 sq.m.
- top of freboard @ 69.8m
- over flow @ 61.50m
- floor - 68.05 @ 181 sq.m.
- 300mm soil over floor
- 40' water storage chambers surrounded in drain rock below pond.
- new feature would be lined bottom and sides.

Storm Water Management feature #1, (ref. J.E. Anderson SWM Report)

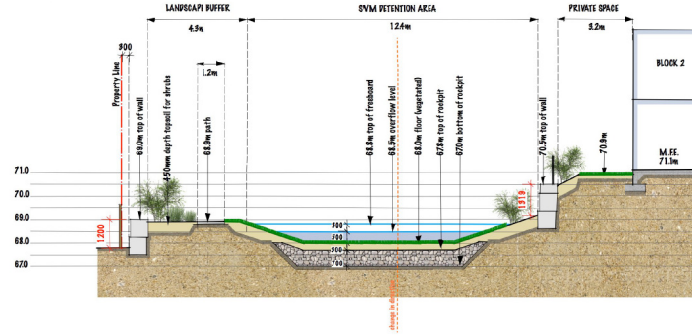
- surface area when flooded 250 sq.m.
- top of freboard @ 61.5m
- over flow - 61.5m
- floor - 61.0m
- 300mm soil over bottom of pond
- bottom of drain rock - 62.0m

Storm Water Management feature #1, (ref. J.E. Anderson SWM Report)

- surface area when flooded 250 sq.m.
- top of freboard @ 61.5m
- over flow - 61.5m
- floor - 61.0m
- 300mm soil over bottom of pond
- bottom of drain rock - 62.0m

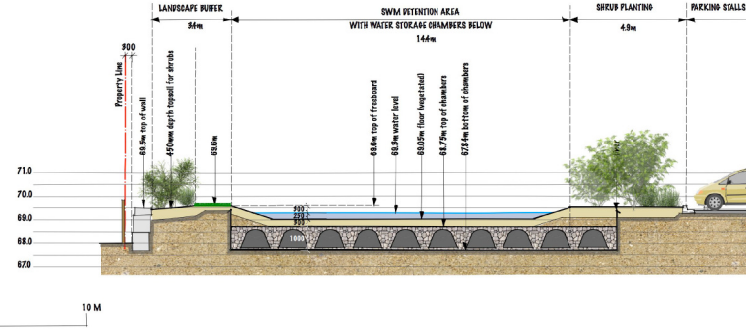
SECTION 1
SWM DETENTION AREA #1
Scale 1: 100

- Pond #1
- = surface area when flooded 250 sq.m.
- = top of freboard 68.5m
- = over flow - 68.5m
- = floor - 68.0m
- = 300mm soil over bottom of pond
- = bottom of drain rock - 67.0m

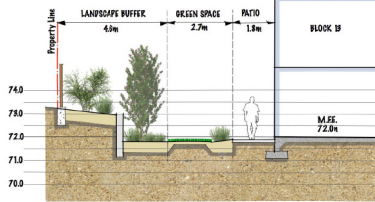


SECTION 2
SWM DETENTION AREA #4
Scale 1: 100

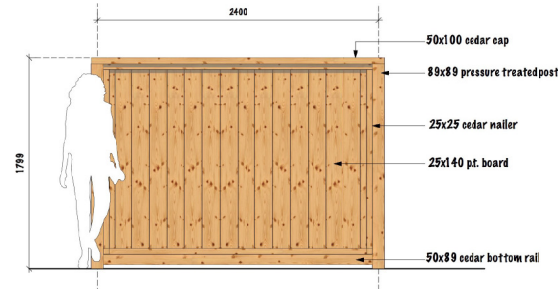
- Pond #2
- = surface area when flooded 224 sq.m.
- = freboard @ 69.0m
- = over flow @ 69.0m
- = floor - 68.0 @ 81 sq.m.
- = 80 water storage chambers surrounded in drain rock below pond.
- = new features would be lined below and sides.



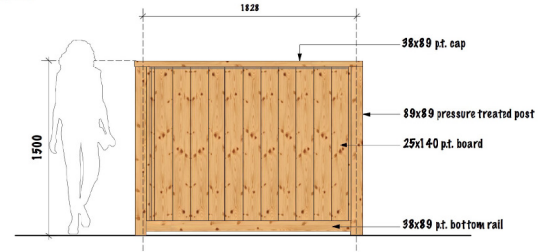
SECTION 3
THROUGH REAR GARDEN SPACE & BLOCK 13
Scale 1: 100



PERIMETER SOLID WOOD FENCE
Scale 1: 20



REAR/SIDE YARD PRIVACY FENCE
Scale : 20



PLANT SCHEDULE

BOTANICAL NAME	COMMON NAME	CALIPER/HT.	QUANTITY
TREES			
HANSEN ROAD			
QUERCUS VARIETANA	BARKEY OAK	40M DAL	7
BITS TREES - PEGIONOUR			
PECELA RUPRESCA	PIPERHARK BIRCH	50M DAL	
CRATAEGUS X LAMALLEI	LAMALLE HAWTHORN	50M DAL	
MANGOLIA X VULCANI	VULCAN MANGOLIA	45M DAL	
NYSSA SPICIFOLIA	BLACK TUPEDO TREE	40M DAL	
PALEXOTIA PERSIDA VANESSA	VANESSA PERSIAN IRONWOOD	40M DAL	
		APPROX. TOTAL #	58
BITS TREES - CONIFEROUS			
PICEA OMORICA 'BURNS'	SERBIAN SPRUCE	~20 POT, 2.0m	21
SMALL TREES / SPECIMEN SHRUBS			
ACERUCIA VOMPAKIA	STRAWBERRY TREE	~15 POT	
MALUS 'VIRGINIANICA' / 'ROYAL CARROUSEL'	ORAB APPLE WAXTRES	~10 POT	
EYEBIRDIA SHARLETI 'JOY'	ILAC	~10 POT	
		APPROX. TOTAL #	48
PERIMETER SOLID PLANTING, 1135 sq.m. planted @ 1 per 1.5m²			
KALITREXIA SHALON	SALAL	~1 POT	
MALONIA AQUIFOLIUM	OREGON DRAP	~2 POT	
PHILIPPOPHYLLOIDES	MOCK ORANGE BLOSSOM	~9 POT	
PHYDOGAEUS DAPIFOLIUS	PACIFIC NINE-BARK	~2 POT	
FIBES SANJUNELM	FLOWERING REDDOCKANT	~1 POT	
ROSA WITKIANA	NOYSE ROSE	~1 POT	
KOSA KURABA	BIRCH ROSE, REF BLENTER FLA	~9 POT	
STYMPHOLOGAEUS ALBUS	SNOWBERRY	~1 POT	
		APPROX. TOTAL #	550
FRONT & REAR YARD PLANTING, total area 1234 sq.m.			
SHRUBS & ORNAMENTAL GRASSES - 85% area PLANTED AT 1 per 1.0m² (802 sq.m)			
CALAMAGROSTIS 'KARL FORKSTER'	FEATHER REED GRASS	~1 POT	
GRISPERA TEXANSA	MEXICAN ORANGE BLOSSOM	~1 POT	
CELOSIA 'CANTONWOOD PINK'	PINK CL. ROSE COBE	~1 POT	
PHYPRANGIA QUERCIFOLIA	OAK LEAF PYRANKEA	~9 POT	
MESANTHUS SINENSIS 'WACHILLMAY'	JAPANESE SILVER GRASS	~2 POT	
MALONIA PUMICIDA 'MOON BAY'	MOON BAY HEAVELY BAMBOO, NON FLOW'ING	~2 POT	
SPERLEA JAPONICA 'SOLPMONIA'	SPERLEA	~1 POT	
YIBERUNUM KONYANTENSIS 'DINK'	PORNYANT YIBERUNUM	~8 POT	
YIBERUNUM CALESISI	KOREAN SPIRE RUSH (SEARANT)	~9 POT	
		APPROX. TOTAL #	602
GROUND COVER PLANTS / PERENNIALS - 35% area planted @ 2 per 1m² (432 sq.m)			
ACETOPISTAPHYLOE UVA URSI	KIMIKIKININ	~1 POT	
OSTONOLATE 'ORCA BEAUTY'	LOW BROWN BROWNASTER	~1 POT	
CONUS SILENEA 'KELSEY'	PWAKE REF TWIA POWWOST	~1 POT	
KALIPROIA PALVA POPSIDE	PWAKE TOROH LUY	~1 POT	
MALONIA NEVADA	PULL OREGON REAF	~1 POT	
		APPROX. TOTAL #	564
TEMPORARY FUTURE PHASE BUFFER PLANTING, 181 lin m planted @ 1.2m o.c.			
GRISPERA TEXANSA	MEXICAN ORANGE BLOSSOM	~1 POT	
MALONIA AQUIFOLIUM	OREGON DRAP	~2 POT	
STYMPHOLOGAEUS ALBUS	SNOWBERRY	~1 POT	
		APPROX. TOTAL #	160

REPLACEMENT TREES

Refer to the Tree Management Report Prepared by Toth and Associates for tree resource information.
Total number of trees to be removed = 36
Total number of trees to replace = 49 comprising:
• Deciduous - 34 trees, the landscape plan proposes 36 medium size trees & 41 small tree species / specimen shrubs.

Trees shall be maintained for a minimum of 2 years.

PLANT SCHEDULE

The plant species, sizes and quantities identifier in the plant schedule are indicative of the planting concepts.
Detailed planting plans will be prepared for all areas for the Building Permit application, and will include plant species, sizes at the time of planting and quantities.

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This drawing shall not be used for construction purposes unless marked "Issued for Construction".

Revision No.	Description	Date
2.0	Response to Design Panel Comments	13 Aug. 2021
1.1	Tree Inventory Increased from 114 to 125 A.	
1.0	Final Review Setback to 10m - 12m @ 8m min.	
0.1	Response to City Design Comments	28 July 2021
0.1	Revised areas & increases in schedule adjusted to reflect drawing updates.	

Issue	Issue Date
Development Permit	4 May 2021



Project
Townhouse Development,
200 Hansen Road,
Nanaimo, BC.

Sheet Title
**CROSS SECTIONS,
FENCE DETAILS &
PLANT SCHEDULE**

Drawn By: CAIR Checked: SRLA

Scale: As shown

Revision: R2 Sheet Number:

