



**DEVELOPMENT PERMIT NO. DP001230**

**JXLCO DEVELOPMENT CORPORATION LTD**

**Name of Owner(s) of Land (Permittee)**

**5768 LINLEY VALLEY DRIVE**

**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 43, DISTRICT LOT 32, WELLINGTON DISTRICT, PLAN EPP17440**

**PID No. 028-872-002**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**

**Schedule B Site Plan**

**Schedule C Building Elevations and Details**

**Schedule D Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

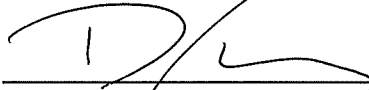
**CONDITIONS OF PERMIT**

1. The subject property is developed in accordance with the Site Plan prepared by GUD Group., dated 2021-OCT-15 as shown on Schedule B.
2. The subject property is developed in substantial compliance with the Building Elevations and Details prepared by GUD Group, dated 2021-OCT-15 as shown on Schedule C
3. The subject property is developed in substantial compliance with the Landscape Plans and Details prepared by Fred Brooks Landscape Architect, dated 2021-NOV-17 and 2021-NOV-24, as shown on Schedule D.

REVIEWED AND APPROVED ON

2022 - MAR - 2

Date



D. Lindsay, GM Development Services / Deputy CAO

**Community Development**

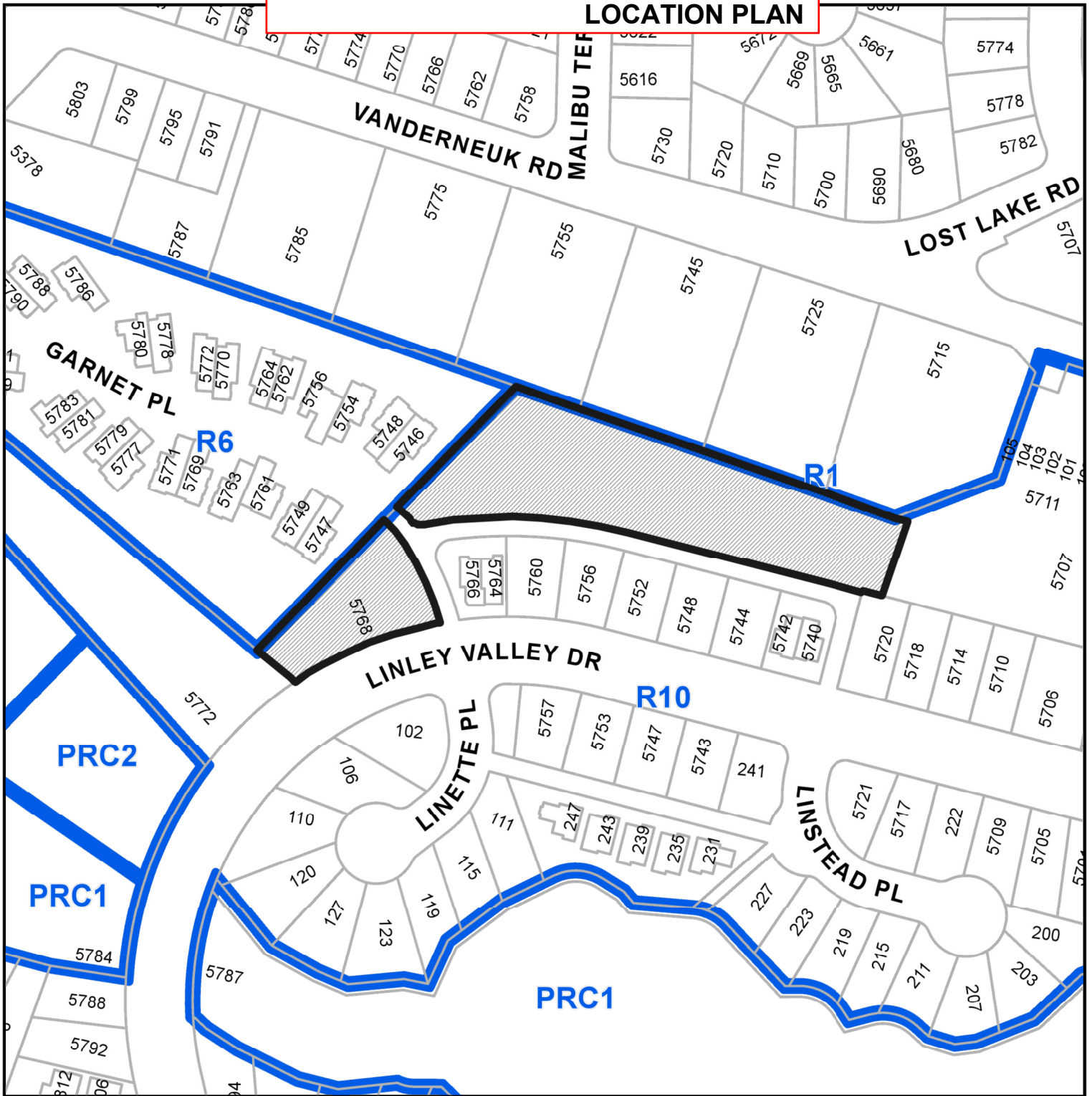
Pursuant to Section 154 (1)(b) of the Community Charter

LB/in

Prospero attachment: DP001230

Development Permit No. DP001230 Schedule A  
5768 Linley Valley Drive

### LOCATION PLAN



### DEVELOPMENT PERMIT APPLICATION NO. DP001230

 **Subject Property**

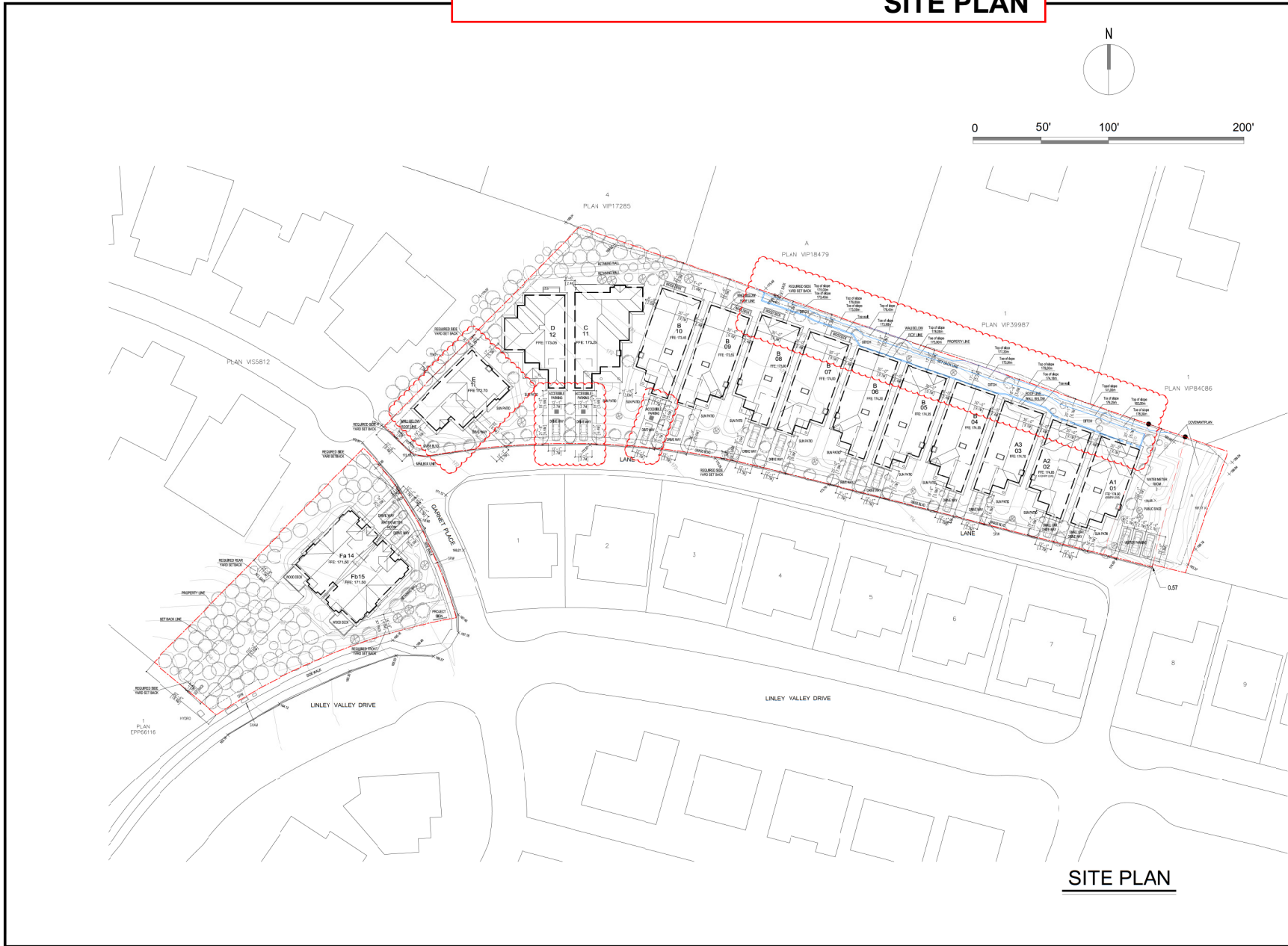
CIVIC: 5768 LINLEY VALLEY DRIVE

LEGAL: LOT 43, DISTRICT LOT 32, WELLINGTON DISTRICT, PLAN EPP17440

Development Permit No. DP001230  
5768 Linley Valley Drive

Schedule B

SITE PLAN



SITE PLAN

NO.	DATE	DESCRIPTION
3	20110	DP REVISION 02
2	20106	DP REVISION 01
1	20104	ISSUED FOR DP

**ISSUES**

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**SEAL**

**CLIENT** 2021-10-15

**MAIN CONSULTANT**

**GUD**  
GUD Group  
500 West Hastings Street  
Vancouver BC V6C 0A6 Canada  
Tel: +1 604-682-0268  
Fax: +1 604-682-0260

**SUB-CONSULTANT**

**SUB-CONSULTANT**

**KEY PLAN**

**RECEIVED**  
DP1230  
2021-OCT-15  
City of Kelowna

**PROJECT/TITLE**  
5763 Linley Valley Drive

PROJECT NO: 82002 B
DRAWN BY: JAMES MA
CHK'D BY: XINMAI
SCALE: 1/32"=1'-0"
DATE: OCT. 2021

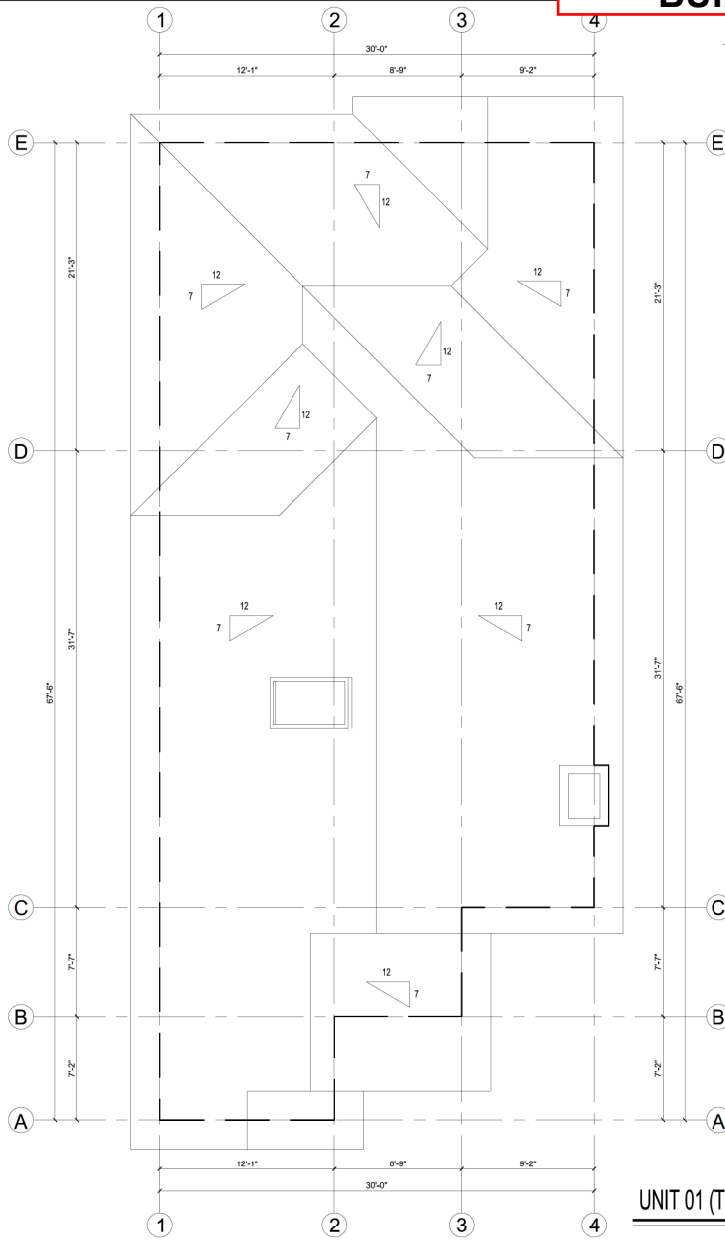
**SHEET TITLE**

SITE PLAN

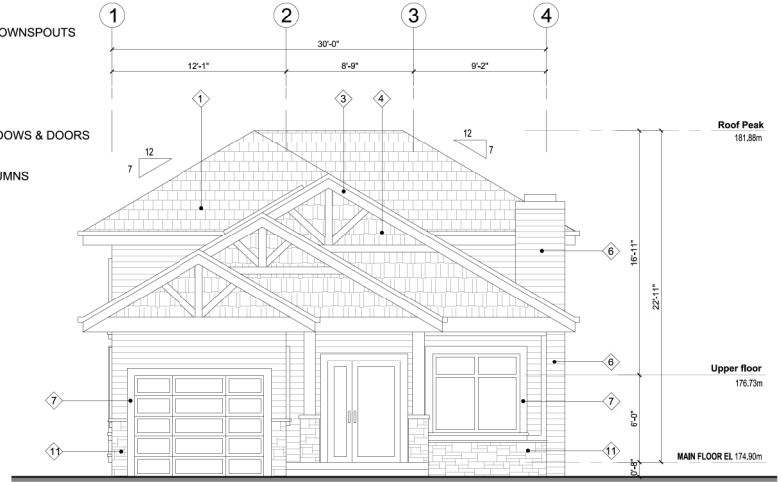
SHEET NUMBER	REV
A-05	

**Development Permit No. DP001230 Schedule C**  
**5768 Linley Valley Drive**  
**BUILDING ELEVATIONS AND DETAILS**

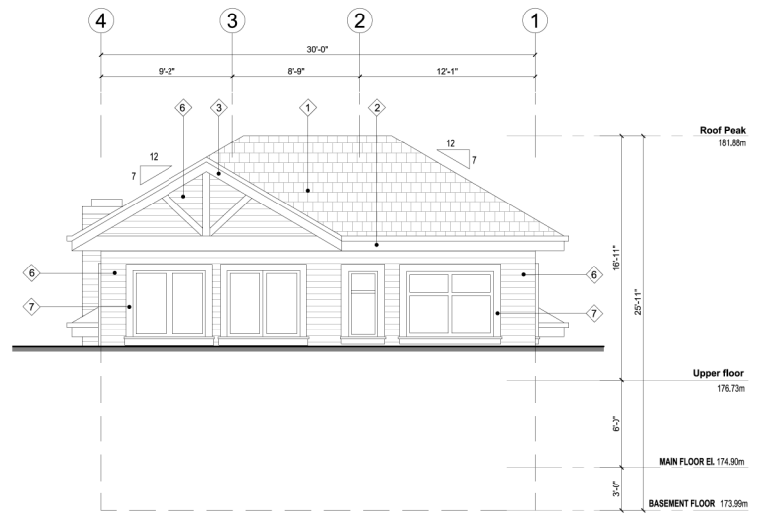
- MATERIAL LEGEND**
- ① ASPHALT SHINGLES
  - ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
  - ③ 12" FASCIA BOARD
  - ④ VINYL SHAKE
  - ⑤ WOOD BRACKET
  - ⑥ VINYL SIDING
  - ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
  - ⑧ WOOD GUARDRAIL
  - ⑨ HARDI-BOARD WRAPPED COLUMNS
  - ⑩ HARDI-BOARD COLUMN CAP
  - ⑪ CULTURED STONE
  - ⑫ STONE TILE STEPS
  - ⑬ WOOD COLUMN



**UNIT 01 (TYPE A) ROOF PLAN**



**UNIT 01 (TYPE A) FRONT ELEVATION**



**UNIT 01 (TYPE A) REAR ELEVATION**

NO.	DATE	DESCRIPTION
3	2021/10	DP REVISION 02
2	2021/06	DP REVISION 01
1	2021/04	ISSUED FOR DP

**ISSUES**

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**SEAL**

**CLIENT** 2021-10-15

**MAIN CONSULTANT**  
  
 GUD Group  
 100 West Hastings Street  
 Vancouver BC V6C 2A6 Canada  
 Tel: +1 604-686-0218  
 Fax: +1 604-686-0212

**SUB-CONSULTANT**

**SUB-CONSULTANT**

**KEY PLAN**

**RECEIVED**  
**DP 1230**  
**2021-OCT-15**  
 OFFICE OF PERMITTING

**PROJECT TITLE**  
 5768 Linley Valley Drive

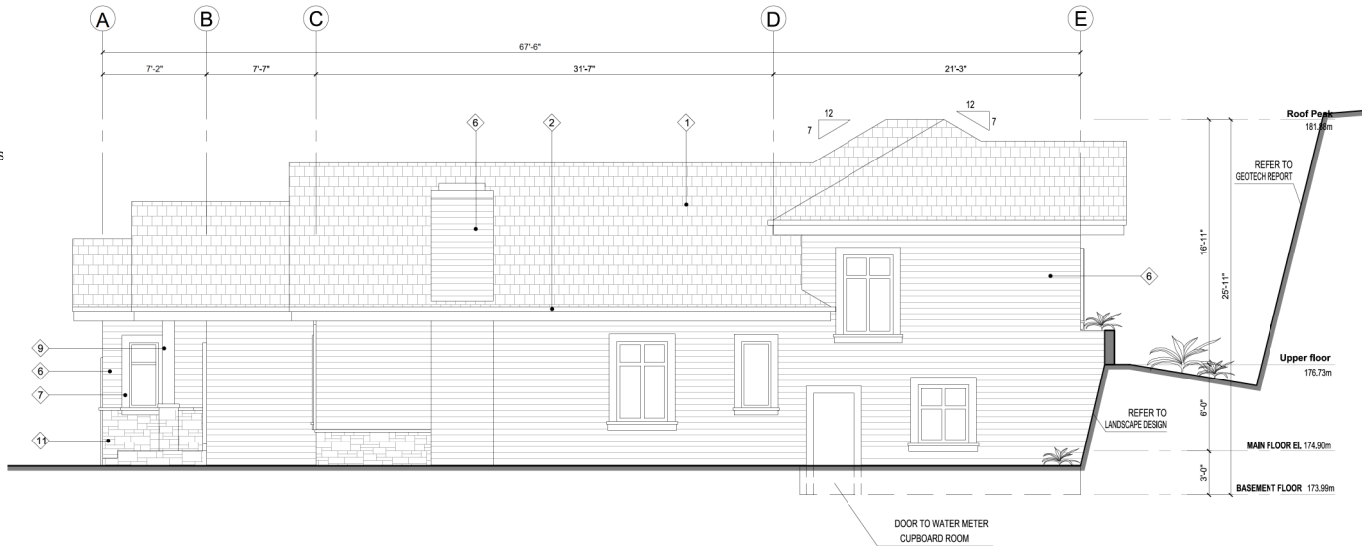
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<b>DRAWN BY:</b> JAMES MA
<b>CHKD BY:</b> XINMAI
<b>SCALE:</b> 1/4"=1'-0"
<b>DATE:</b> OCT. 2021

**SHEET TITLE**  
 UNIT 01 (TYPE A)  
 ROOF PLAN  
 FRONT ELEVATION  
 REAR ELEVATION

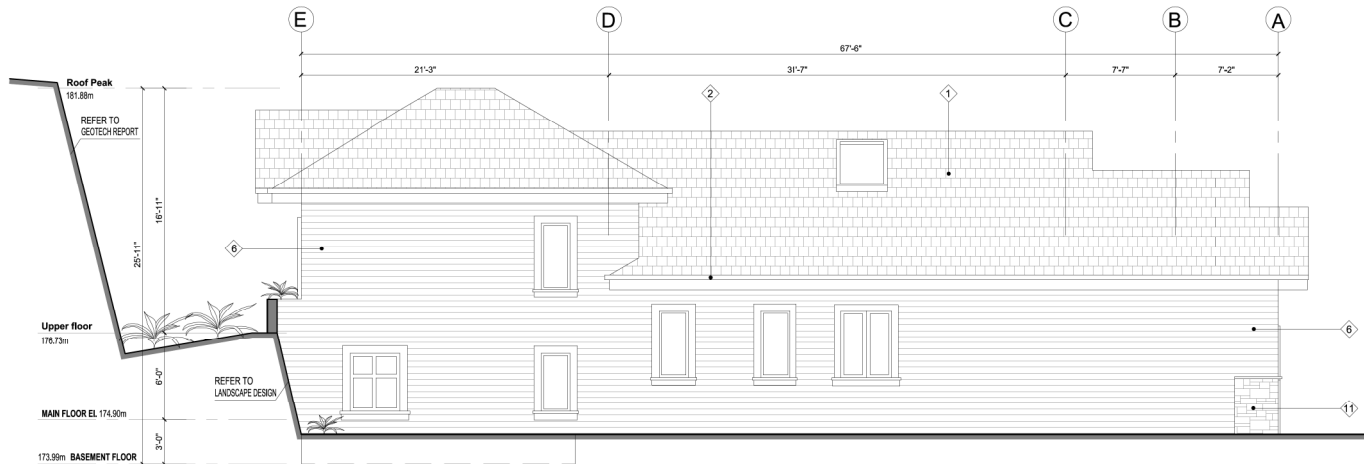
<b>SHEET NUMBER</b>	<b>REV.</b>
A-A 1.2	

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

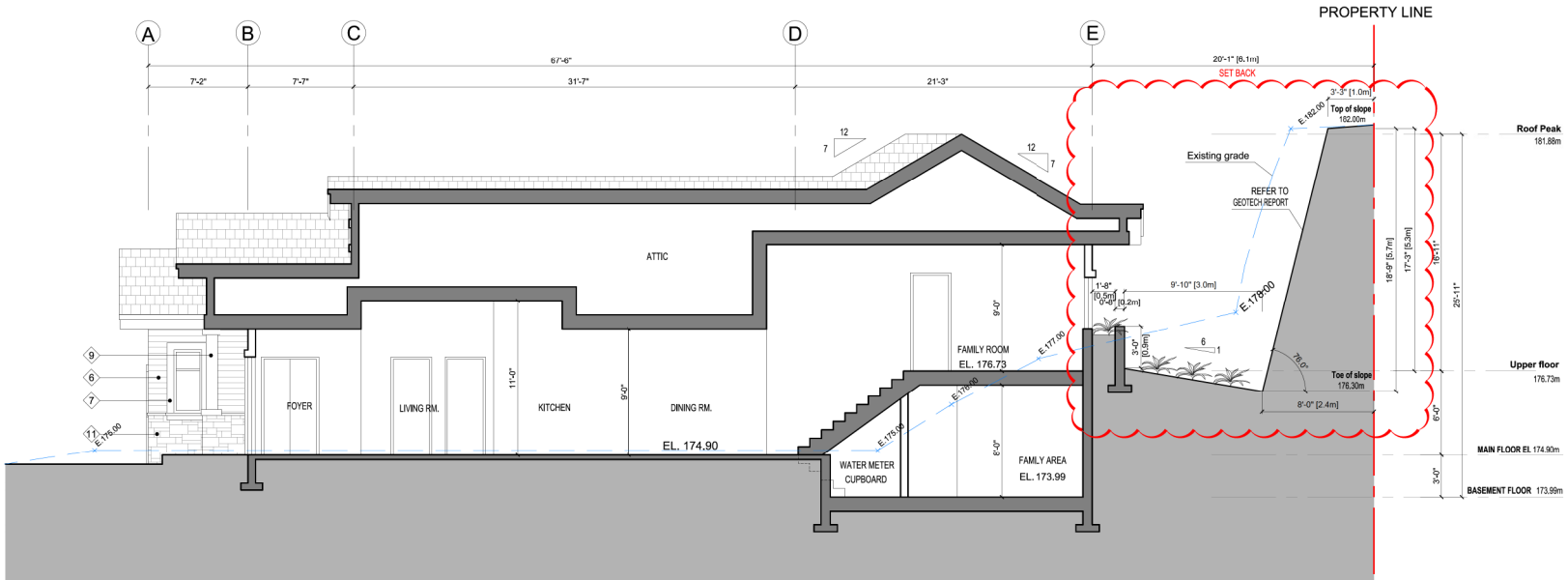


**UNIT 01 (TYPE A) SIDE ELEVATION**

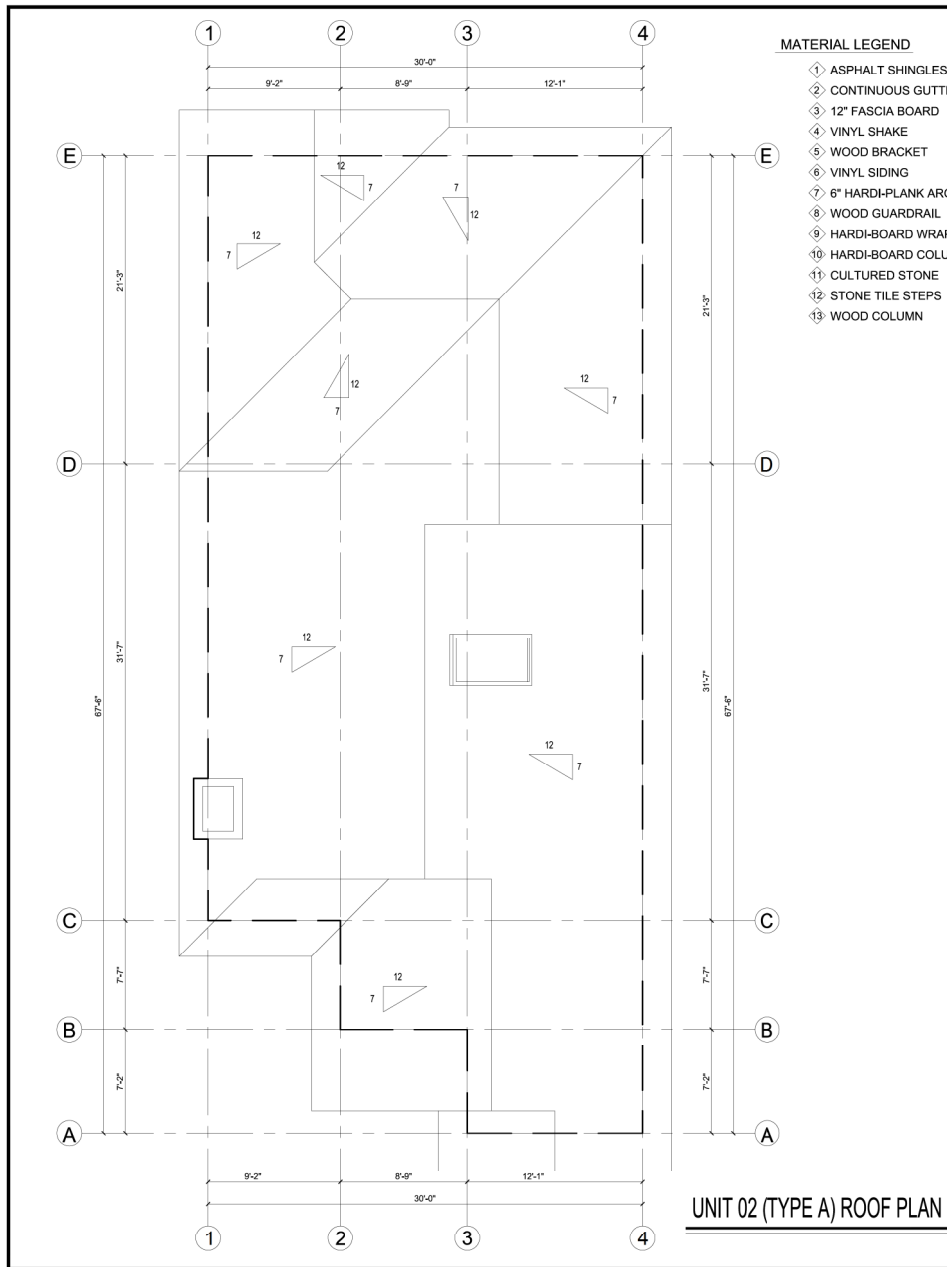


**UNIT 01 (TYPE A) SIDE ELEVATION**

3	202110	DP REVISION 02							
2	202106	DP REVISION 01							
1	202104	ISSUED FOR DP							
NO.	DATE	DESCRIPTION							
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CLIENT		2021-10-15							
MAIN CONSULTANT		GUD Group 100 West Hastings Street Vancouver BC V6C 2A6 Canada Tel: +1 604-686-0288 Fax: +1 604-686-0282							
SUB-CONSULTANT									
SUB-CONSULTANT									
KEY PLAN									
PROJECT TITLE		5768 Linley Valley Drive							
PROJECT NO:		82002 B							
DRAWN BY:		JAMES MA							
CHKD BY:		XINMAI							
SCALE:		1/4"=1'-0"							
DATE:		OCT. 2021							
SHEET TITLE		UNIT 01 (TYPE A) SIDE ELEVATIONS							
SHEET NUMBER		A-A 1.3							
REV.									



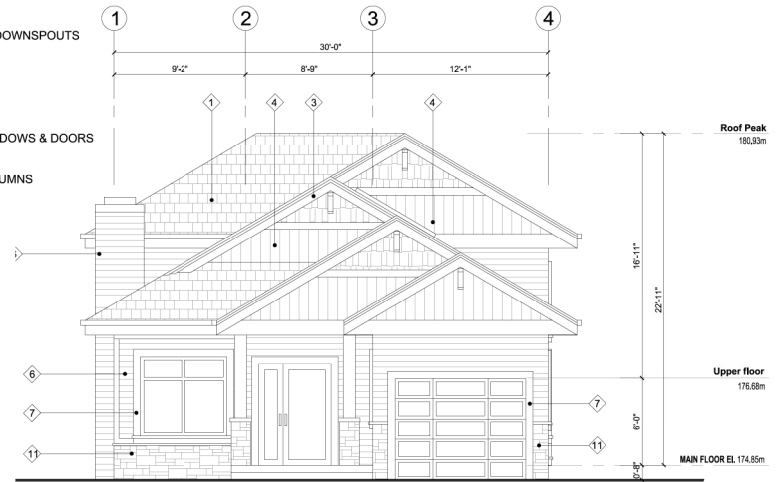
NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP
<b>ISSUES</b>		
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MAIN CONSULTANT	 GUD Group 100 West Hastings Street Vancouver BC V6C 3A5 Canada Tel: +1 604-696-0218 Fax: +1 604-696-0212	
SUB-CONSULTANT		
SUB-CONSULTANT		
KEY PLAN		
RECEIVED <b>DP 1230</b> 2021-OCT-15 GUD GROUP		
PROJECT TITLE 5768 Linley Valley Drive		
PROJECT NO:	82002 B	
DRAWN BY:	JAMES MA	
CHKD BY:	XINMAI	
SCALE:	1/4"=1'-0"	
DATE:	OCT. 2021	
SHEET TITLE UNIT 01 (TYPE A) SECTION		
SHEET NUMBER	REV.	
A-A 1.4		



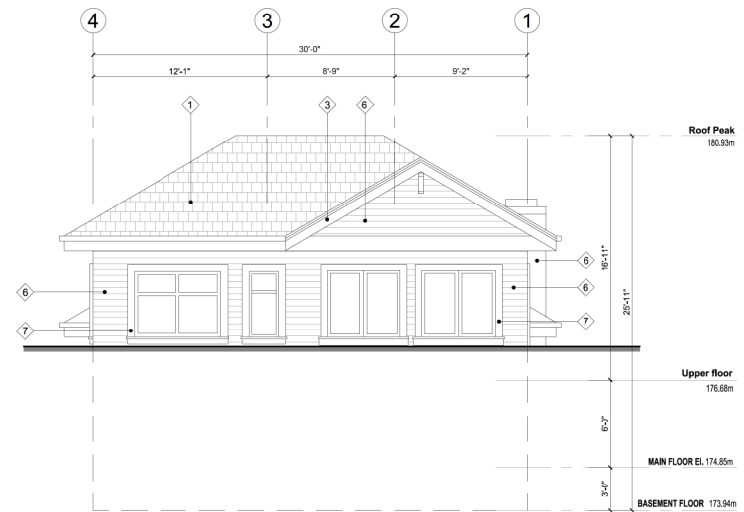
**UNIT 02 (TYPE A) ROOF PLAN**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 02 (TYPE A) FRONT ELEVATION**



**UNIT 02 (TYPE A) REAR ELEVATION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

**ISSUES**

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**SEAL**

**CLIENT** 2021-10-15

**MAIN CONSULTANT**

**GUD** GUD Group  
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**SUB-CONSULTANT**

**SUB-CONSULTANT**

**KEY PLAN**

**RECEIVED**  
OCT 15 2021  
CITY OF VANCOUVER

**PROJECT TITLE**  
5768 Linley Valley Drive

**PROJECT NO:** 82002 B

**DRAWN BY:** JAMES MA

**CHKD BY:** XINMAI

**SCALE:** 1/4"=1'-0"

**DATE:** OCT. 2021

**SHEET TITLE**  
UNIT 02 (TYPE A)  
ROOF PLAN  
FRONT ELEVATION  
REAR ELEVATION

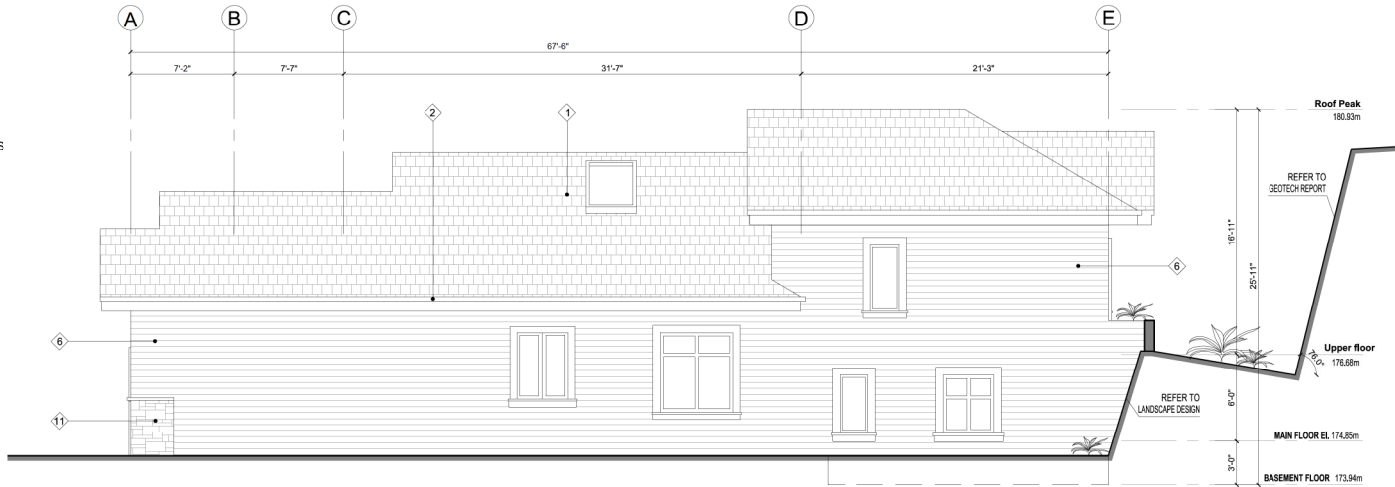
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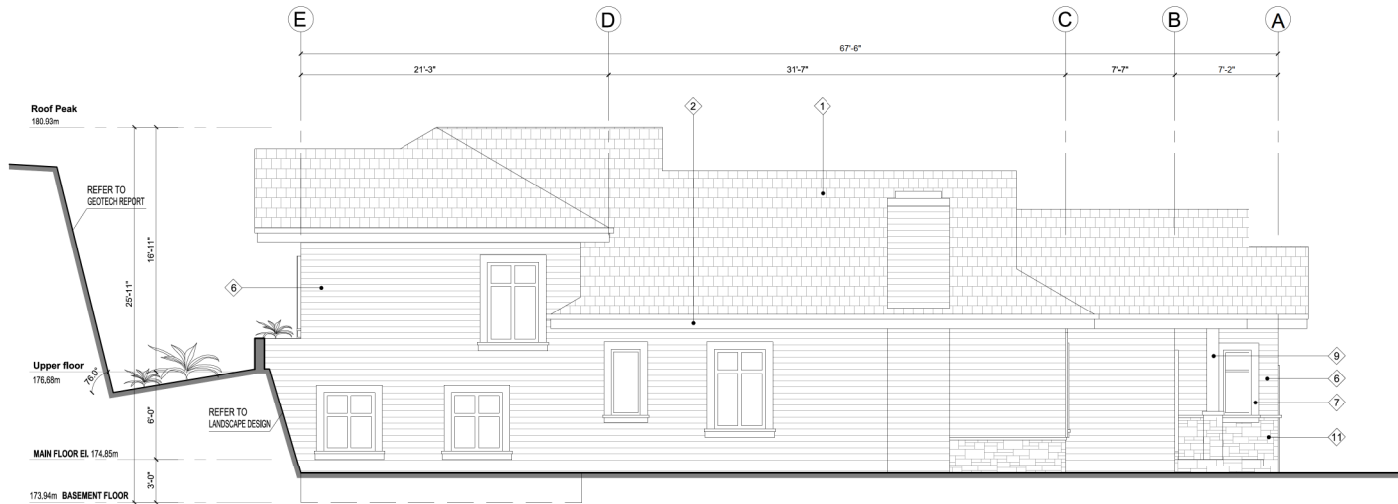


**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
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- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

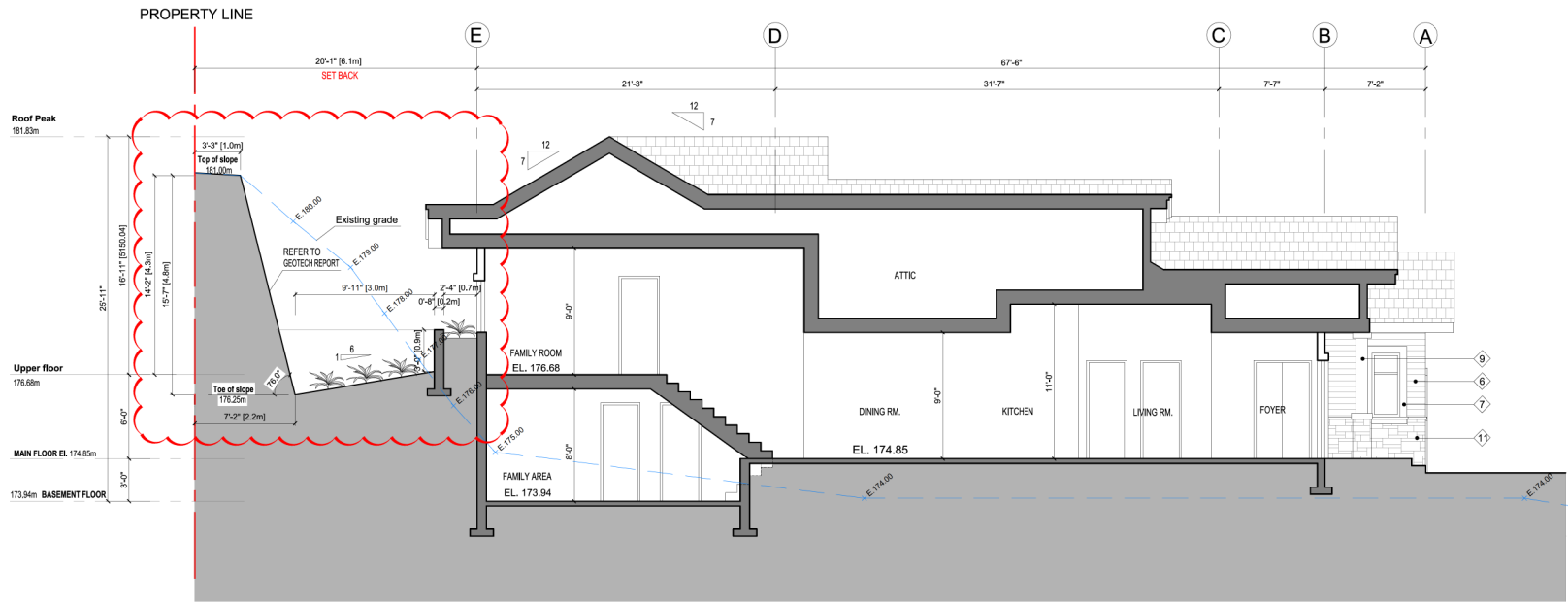


**UNIT 02 (TYPE A) SIDE ELEVATION**



**UNIT 02 (TYPE A) SIDE ELEVATION**

3	202110	DP REVISION 02							
2	202106	DP REVISION 01							
1	202104	ISSUED FOR DP							
NO.	DATE	DESCRIPTION							
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CLIENT		2021-10-15							
MAIN CONSULTANT		GUD Group 100 8th Street West Vancouver BC V6C 2G6 Canada Tel: +1 604-696-0218 Fax: +1 604-696-0262							
SUB-CONSULTANT									
SUB-CONSULTANT									
KEY PLAN									
PROJECT TITLE		5768 Linley Valley Drive							
PROJECT NO:		82002 B							
DRAWN BY:		JAMES MA							
CHKD BY:		XINMAI							
SCALE:		1/4"=1'-0"							
DATE:		OCT. 2021							
SHEET TITLE		UNIT 02 (TYPE A) SIDE ELEVATIONS							
SHEET NUMBER		A-A 2.3							
REV.									



**UNIT 02 (TYPE A) SECTION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

**ISSUES**

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**CLIENT**

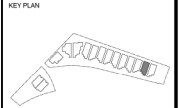
2021-10-15

**MAIN CONSULTANT**

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 100 West Hastings Street  
 Vancouver BC V6C 2A5 Canada  
 Tel: +1 604-683-0218  
 Fax: +1 604-683-0212

**SUB-CONSULTANT**

**SUB-CONSULTANT**



**RECEIVED**  
**DP-1230**  
 2021-OCT-15  
 PROJECT PLANNING

**PROJECT TITLE**

5768 Linley Valley Drive

**PROJECT NO:** 82002 B

**DRAWN BY:** JAMES MA

**CHKD BY:** XINMAI

**SCALE:** 1/4"=1'-0"

**DATE:** OCT. 2021

**SHEET TITLE**

UNIT 02 (TYPE A)  
 SECTION

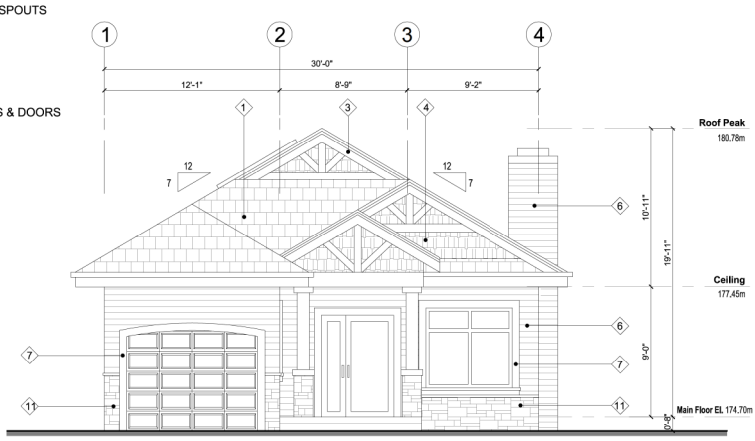
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A-A 2.4

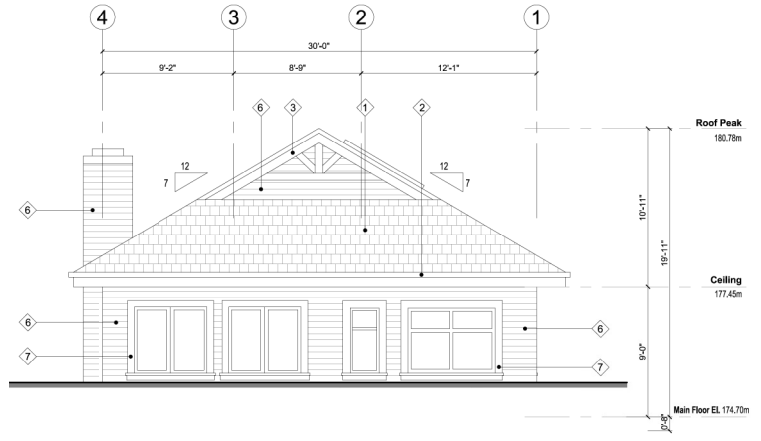
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**MATERIAL LEGEND**

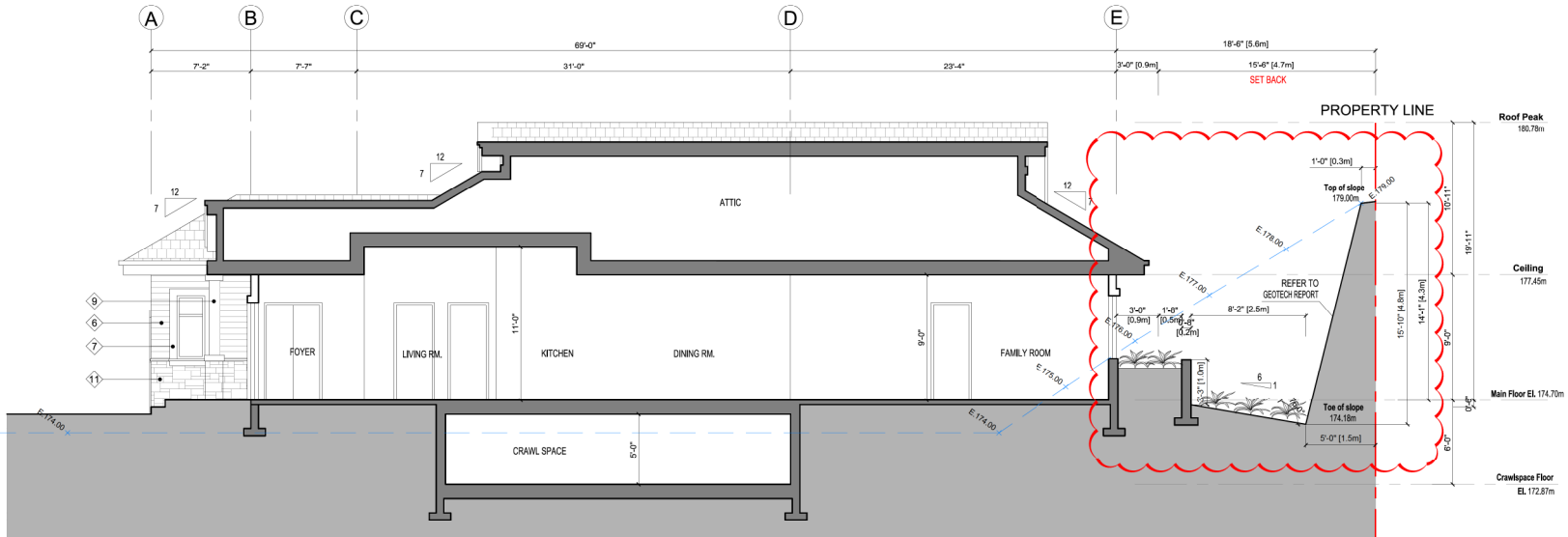
- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 03 (TYPE A1) FRONT ELEVATION**



**UNIT 03 (TYPE A1) REAR ELEVATION**



**UNIT 03 (TYPE A1) SECTION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

**ISSUES**

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**SEAL**

**CLIENT** 2021-10-15

**MAIN CONSULTANT**

**GUD** GUD Group  
100 West Main-Maple Street  
Vancouver BC V6C 2A6 Canada  
Tel: +1 604-696-0218  
Fax: +1 604-696-0212

**SUB-CONSULTANT**

**SUB-CONSULTANT**

**KEY PLAN**

**RECEIVED**  
DP 1230  
2021-OCT-15  
CITY OF VANCOUVER

**PROJECT TITLE**  
5768 Linley Valley Drive

**PROJECT NO:** 82002 B

**DRAWN BY:** JAMES MA

**CHKD BY:** XINMAI

**SCALE:** 1/4"=1'-0"

**DATE:** OCT. 2021

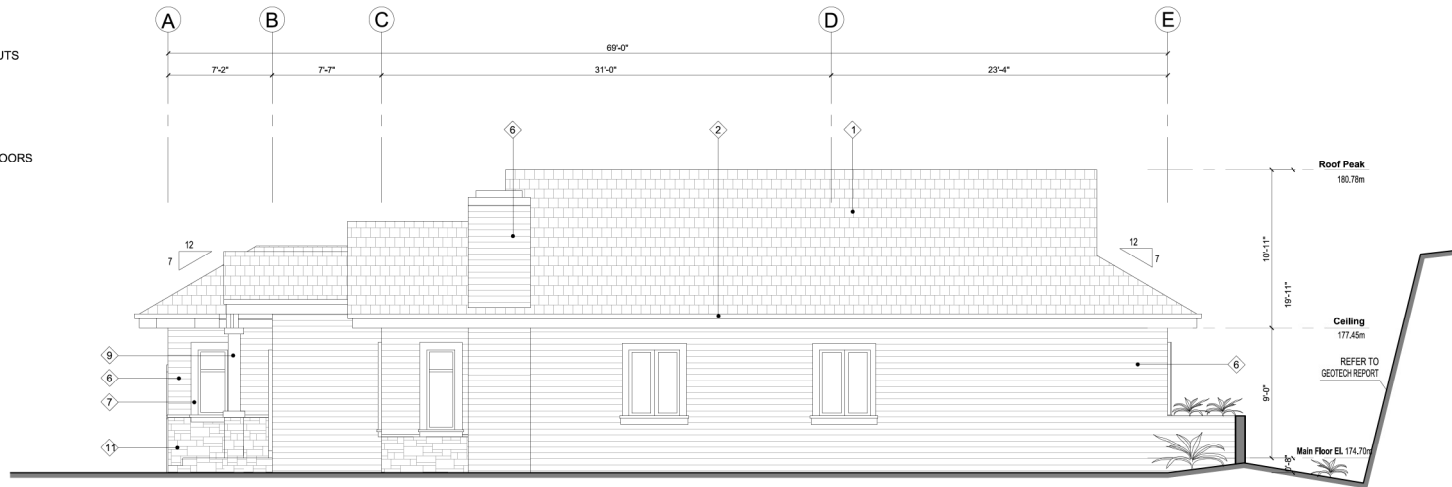
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UNIT 03 (TYPE A1)  
FRONT ELEVATION  
REAR ELEVATION  
SECTION

**SHEET NUMBER**  
A-A 3.2

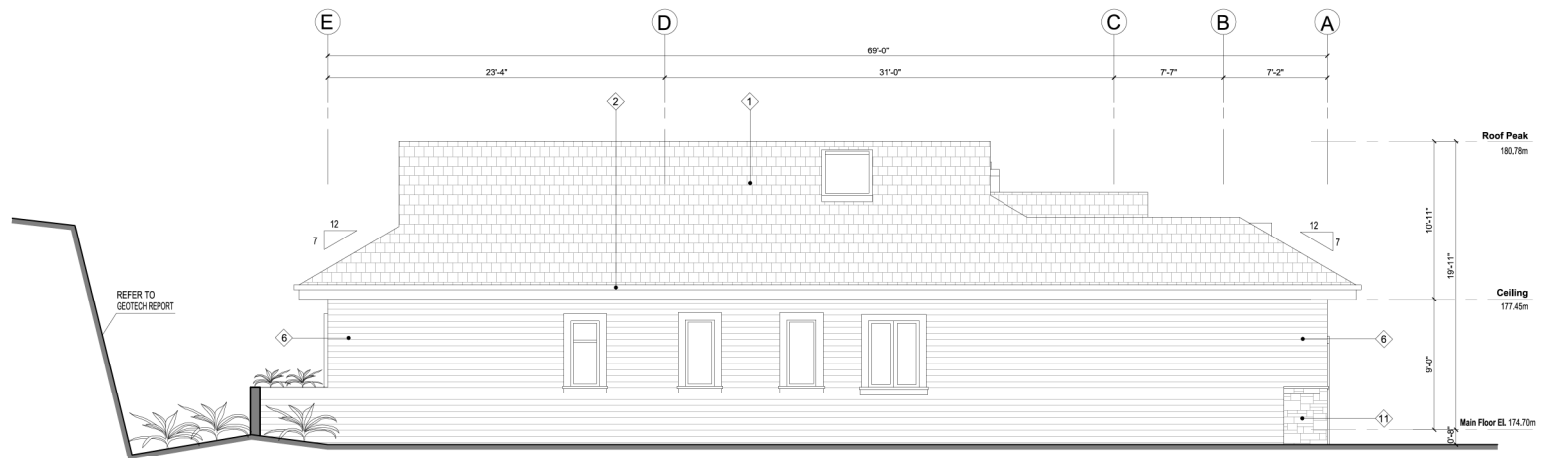
**REV.**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
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- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 03 (TYPE A1) SIDE ELEVATION**

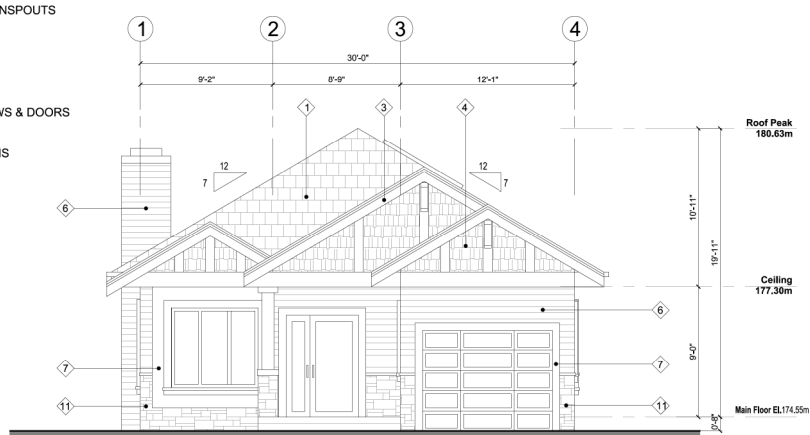


**UNIT 03 (TYPE A1) SIDE ELEVATION**

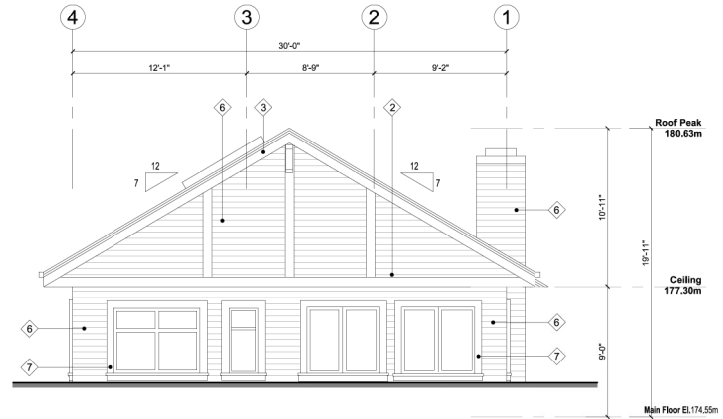
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2	202106	DP REVISION 01							
1	202104	ISSUED FOR DP							
NO.	DATE	DESCRIPTION							
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CLIENT		2021-10-15							
MAIN CONSULTANT		GUD Group 100 West Hastings Street Vancouver BC V6C 2A6 Canada Tel: +1 604-683-0218 Fax: +1 604-683-0212							
SUB-CONSULTANT									
SUB-CONSULTANT									
KEY PLAN									
		RECEIVED <b>DP 1230</b> 2021-OCT-15 OFFICE RECEIVED							
PROJECT TITLE		5768 Linley Valley Drive							
PROJECT NO:		82002 B							
DRAWN BY:		JAMES MA							
CHKD BY:		XINMAI							
SCALE:		1/4"=1'-0"							
DATE:		OCT. 2021							
SHEET TITLE		UNIT 03 (TYPE A1) SIDE ELEVATIONS							
SHEET NUMBER		A-A 3.3							
REV.									

**MATERIAL LEGEND**

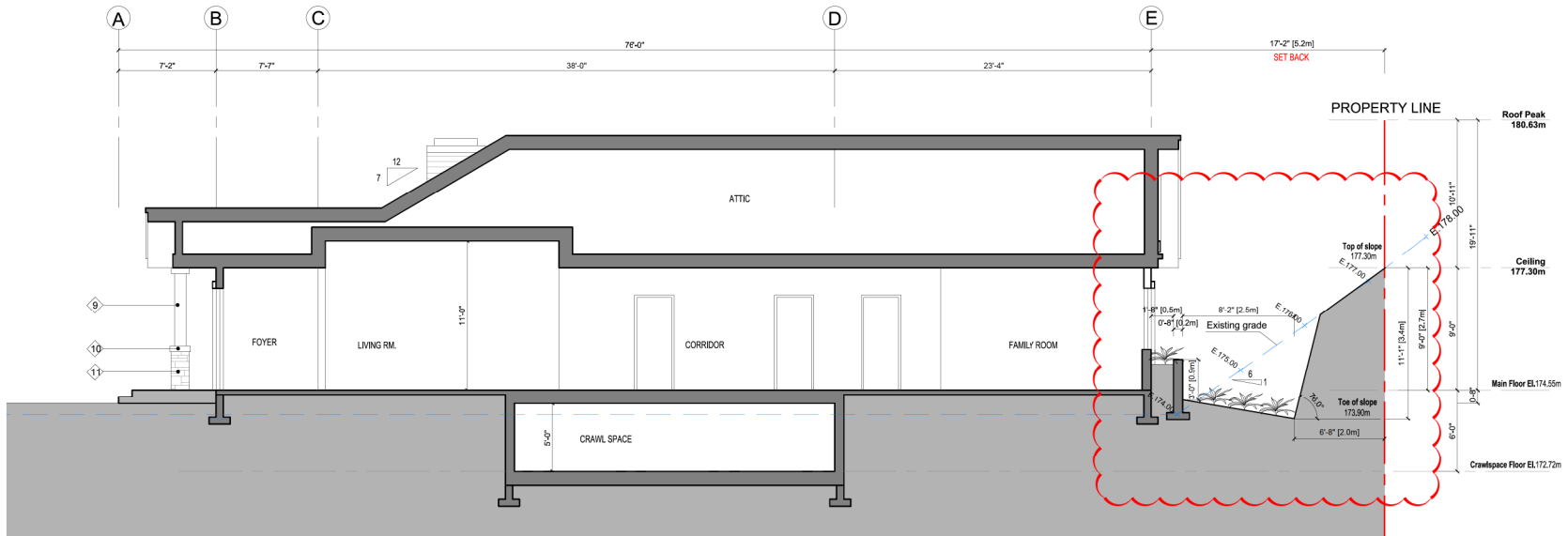
- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 04 (TYPE B) FRONT ELEVATION**



**UNIT 04 (TYPE B) REAR ELEVATION**

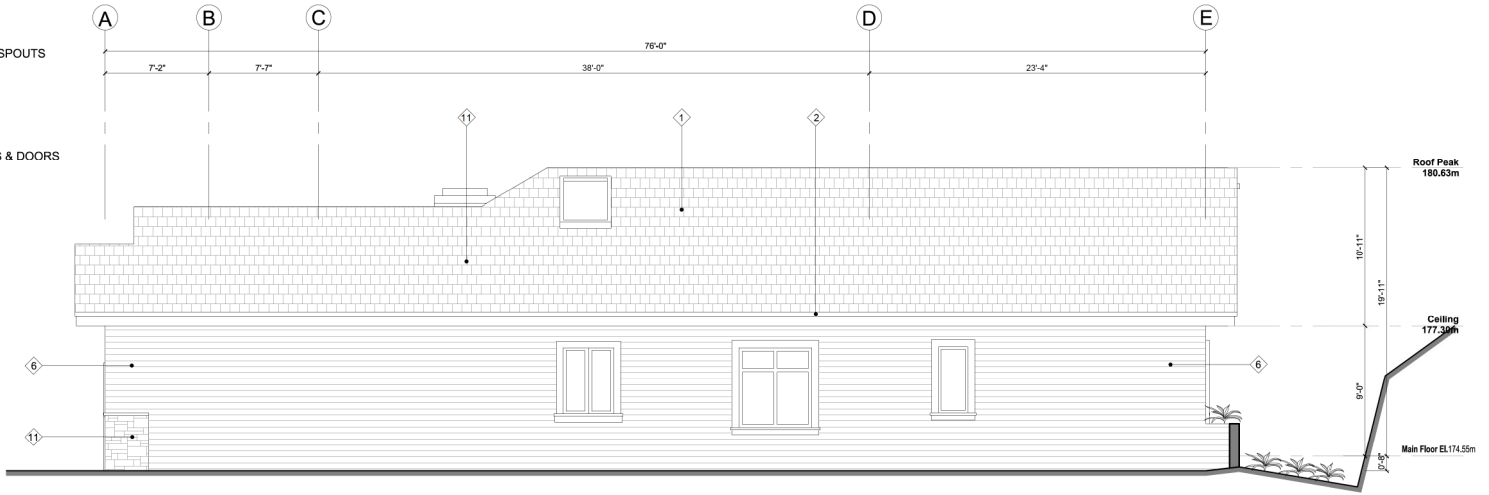


**UNIT 04 (TYPE B) SECTION**

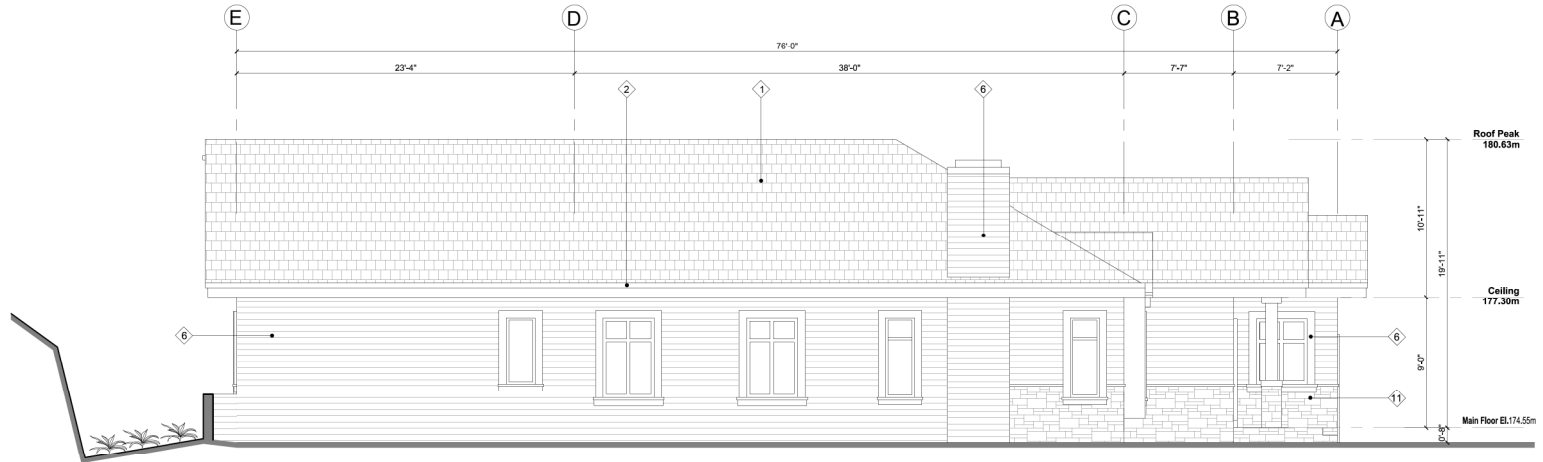
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2	202106	DP REVISION 01			
1	202104	ISSUED FOR DP			
NO.	DATE	DESCRIPTION			
<b>ISSUES</b>					
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SUB-CONSULTANT:					
SUB-CONSULTANT:					
KEY PLAN:					
PROJECT TITLE: 5768 Linley Valley Drive					
PROJECT NO: 82002 B					
DRAWN BY: JAMES MA					
CHKD BY: XINMAI					
SCALE: 1/4"=1'-0"					
DATE: OCT. 2021					
SHEET TITLE: UNIT 04 (TYPE B) FRONT ELEVATION REAR ELEVATION SECTION					
SHEET NUMBER: A-B 1.2					REV:

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 04 (TYPE B) SIDE ELEVATION**

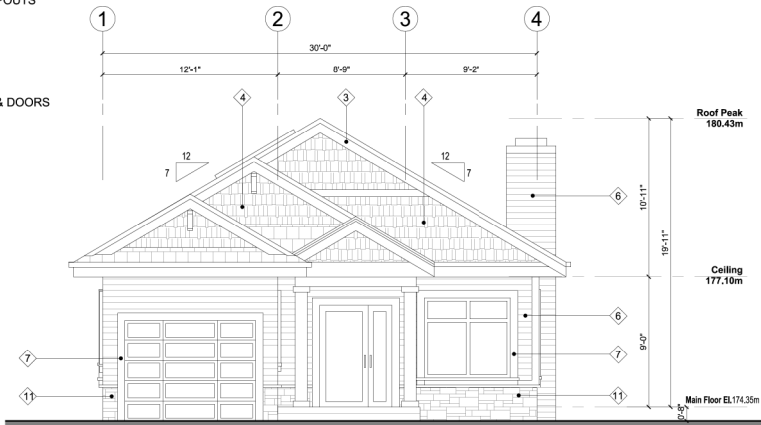


**UNIT 04 (TYPE B) SIDE ELEVATION**

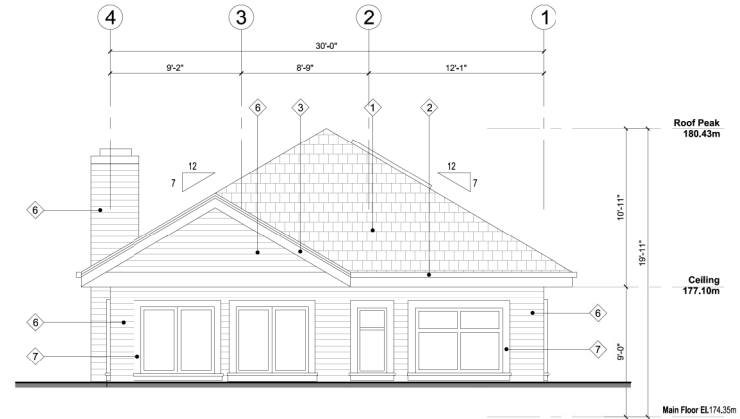
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2	202106	DP REVISION 01							
1	202104	ISSUED FOR DP							
NO.	DATE	DESCRIPTION							
<b>ISSUES</b>									
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SUB-CONSULTANT									
SUB-CONSULTANT									
KEY PLAN									
PROJECT TITLE		5768 Linley Valley Drive							
PROJECT NO:		82002 B							
DRAWN BY:		JAMES MA							
CHKD BY:		XINMAI							
SCALE:		1/4"=1'-0"							
DATE:		OCT. 2021							
SHEET TITLE		UNIT 04 (TYPE B) SIDE ELEVATION							
SHEET NUMBER		A-B 1.3							
REV.									

**MATERIAL LEGEND**

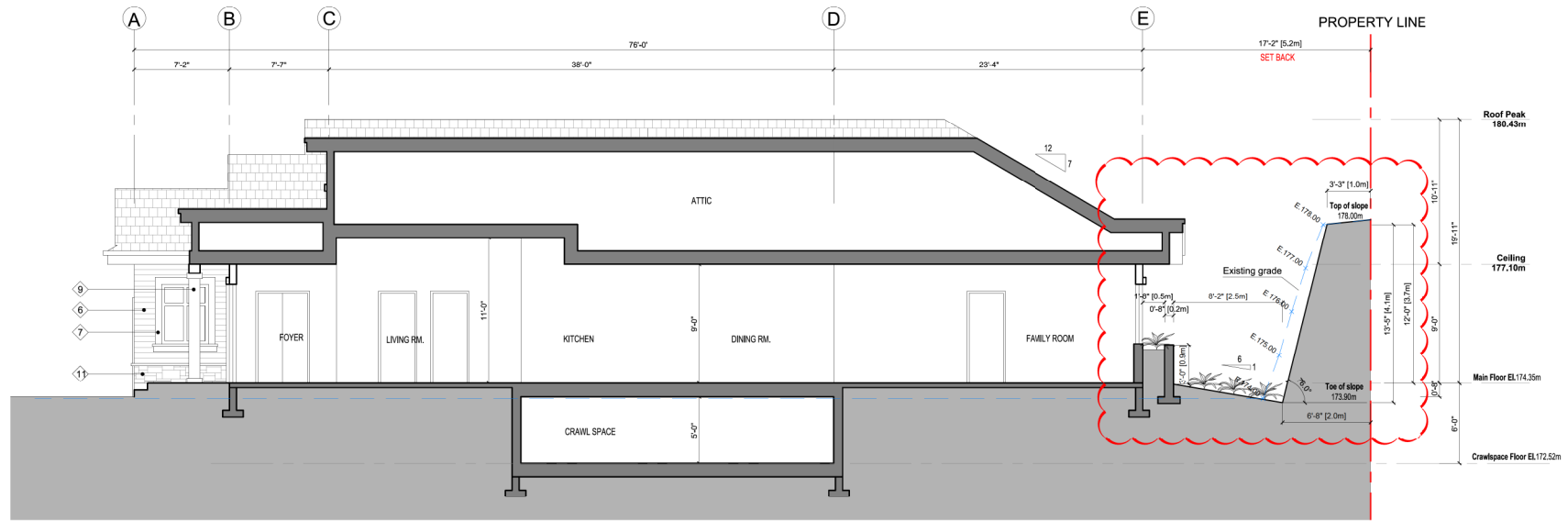
- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 05 (TYPE B) FRONT ELEVATION**



**UNIT 05 (TYPE B) REAR ELEVATION**

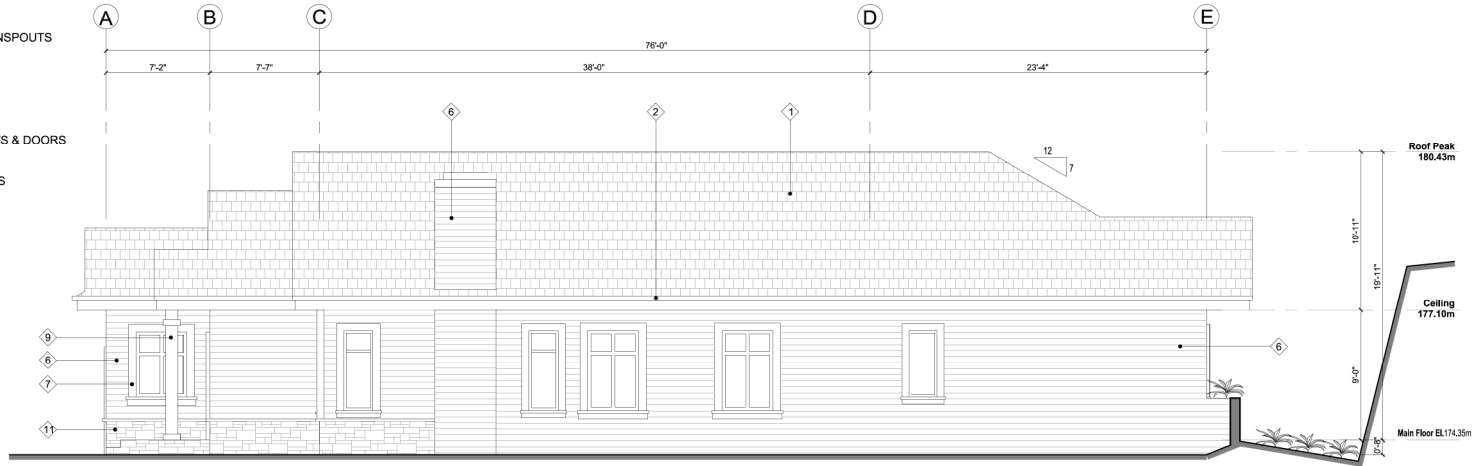


**UNIT 05 (TYPE B) SECTION**

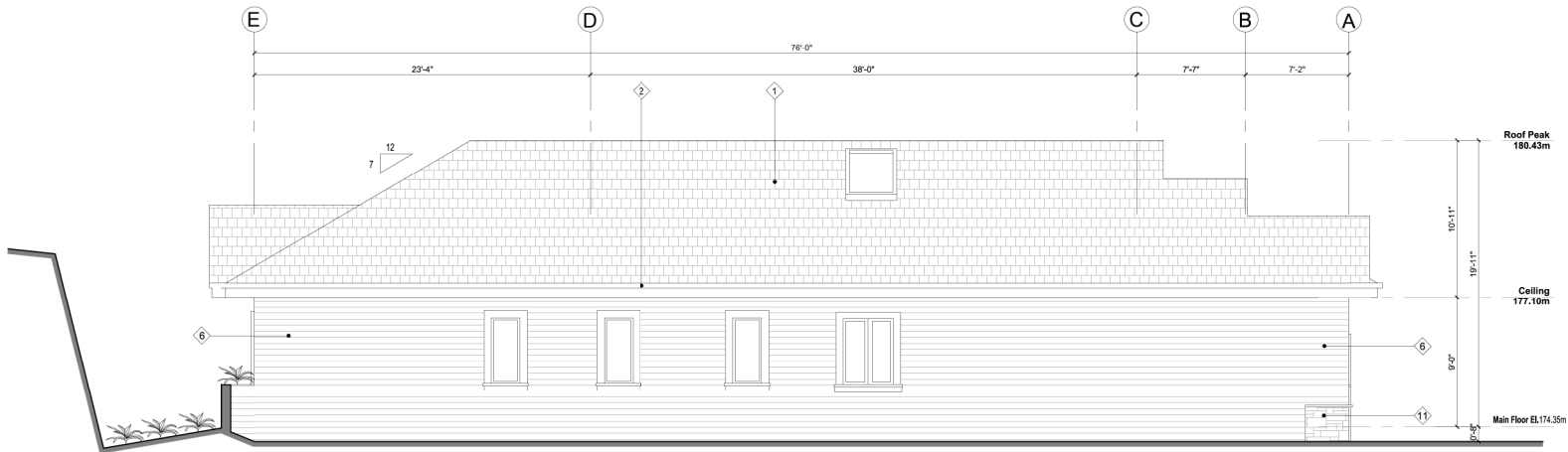
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2	202106	DP REVISION 01			
1	202104	ISSUED FOR DP			
NO.	DATE	DESCRIPTION			
<b>ISSUES</b>					
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SUB-CONSULTANT					
SUB-CONSULTANT					
KEY PLAN					
PROJECT TITLE		5768 Linley Valley Drive			
PROJECT NO: 82002 B		DRAWN BY: JAMES MA			
CHKD BY: XINMAI		SCALE: 1/4"=1'-0"			
DATE: OCT. 2021					
SHEET TITLE		UNIT 05 (TYPE B) FRONT ELEVATION REAR ELEVATION SECTION			
SHEET NUMBER		A-B 2.2			
REV					

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS CW DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



UNIT 05 (TYPE B) SIDE ELEVATION



UNIT 05 (TYPE B) SIDE ELEVATION

3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP
NO.	DATE	DESCRIPTION

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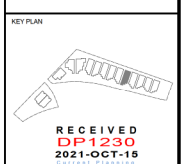


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PROJECT TITLE  
**5768 Linley Valley Drive**

PROJECT NO: 82002 B  
 DRAWN BY: JAMES MA  
 CHKD BY: XINMAI  
 SCALE: 1/4"=1'-0"  
 DATE: OCT. 2021

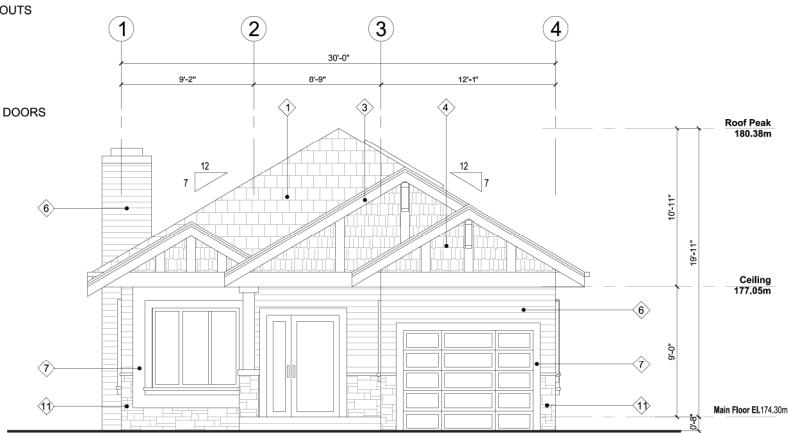
SHEET TITLE  
**UNIT 05 (TYPE B)  
 SIDE ELEVATION**

SHEET NUMBER  
**A-B 2.3**

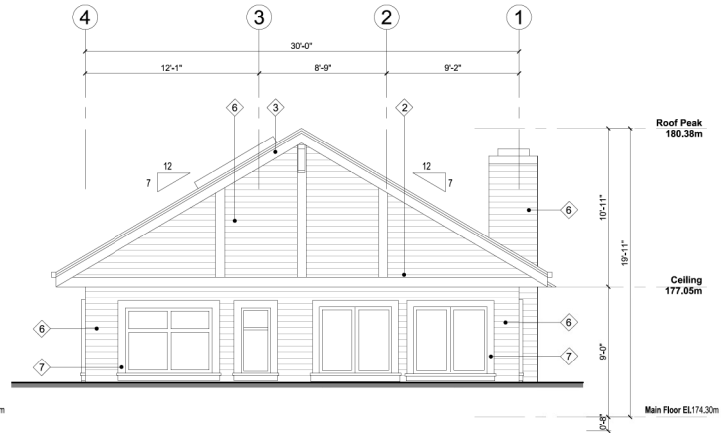


**MATERIAL LEGEND**

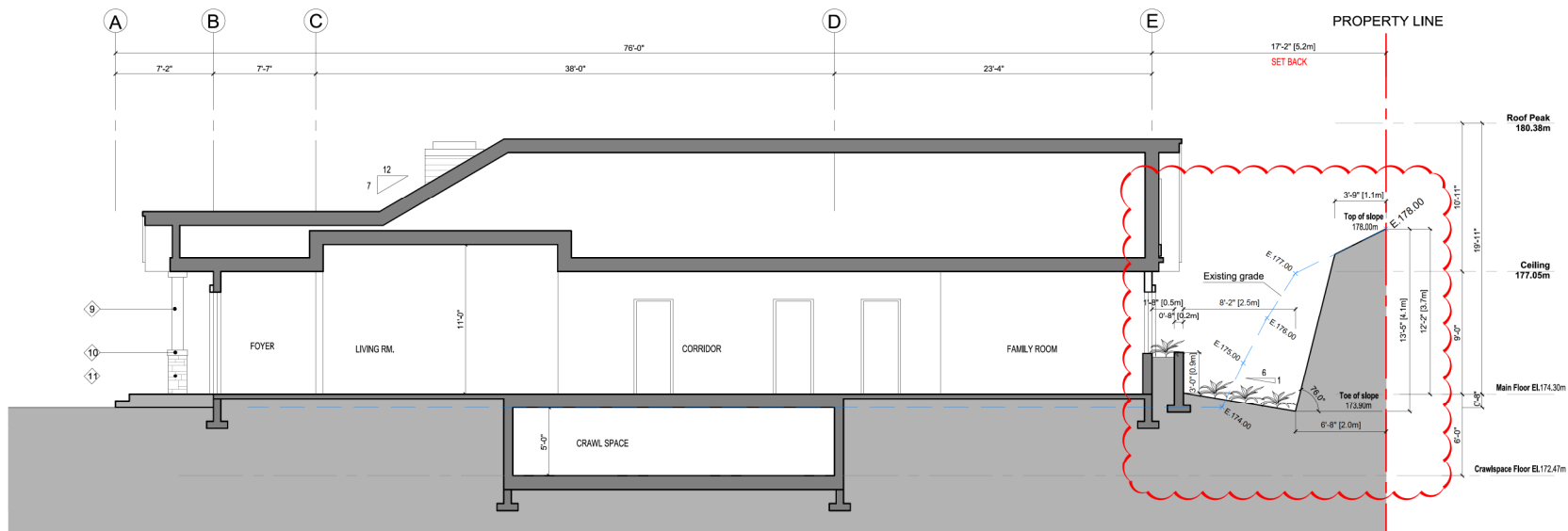
- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 06 (TYPE B) FRONT ELEVATION**



**UNIT 06 (TYPE B) REAR ELEVATION**



**UNIT 06 (TYPE B) SECTION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

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**SUB-CONSULTANT**

**KEY PLAN**

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2021-OCT-15  
CITY OF VANCOUVER

**PROJECT TITLE**  
5768 Linley Valley Drive

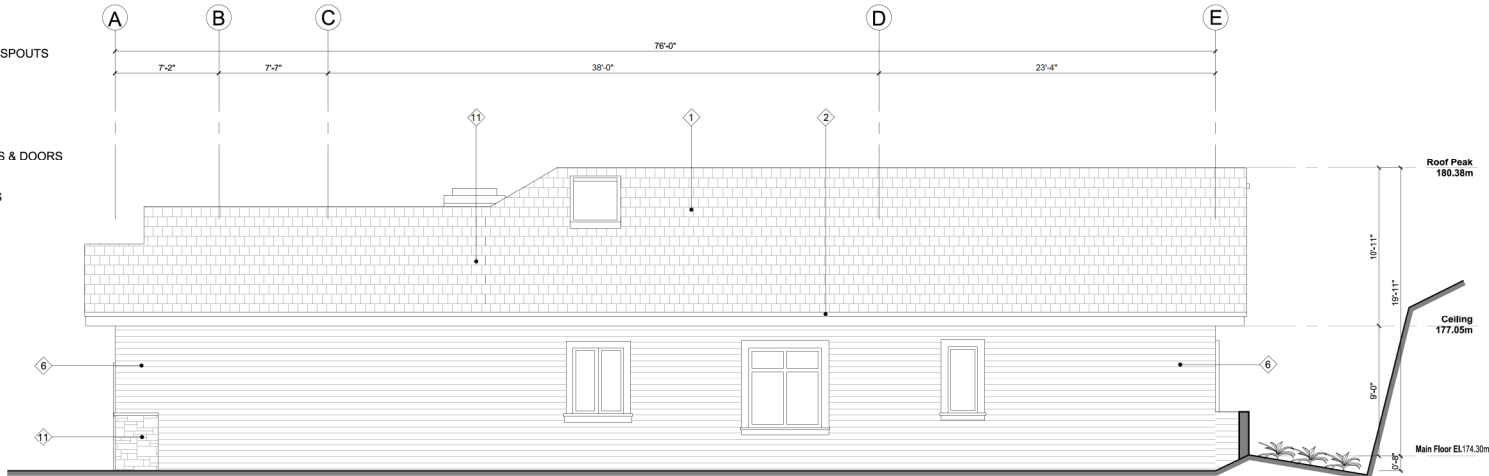
**PROJECT NO:** 82002 B  
**DRAWN BY:** JAMES MA  
**CHKD BY:** XINMAI  
**SCALE:** 1/4"=1'-0"  
**DATE:** OCT. 2021

**SHEET TITLE**  
UNIT 06 (TYPE B)  
FRONT ELEVATION  
REAR ELEVATION  
SECTION

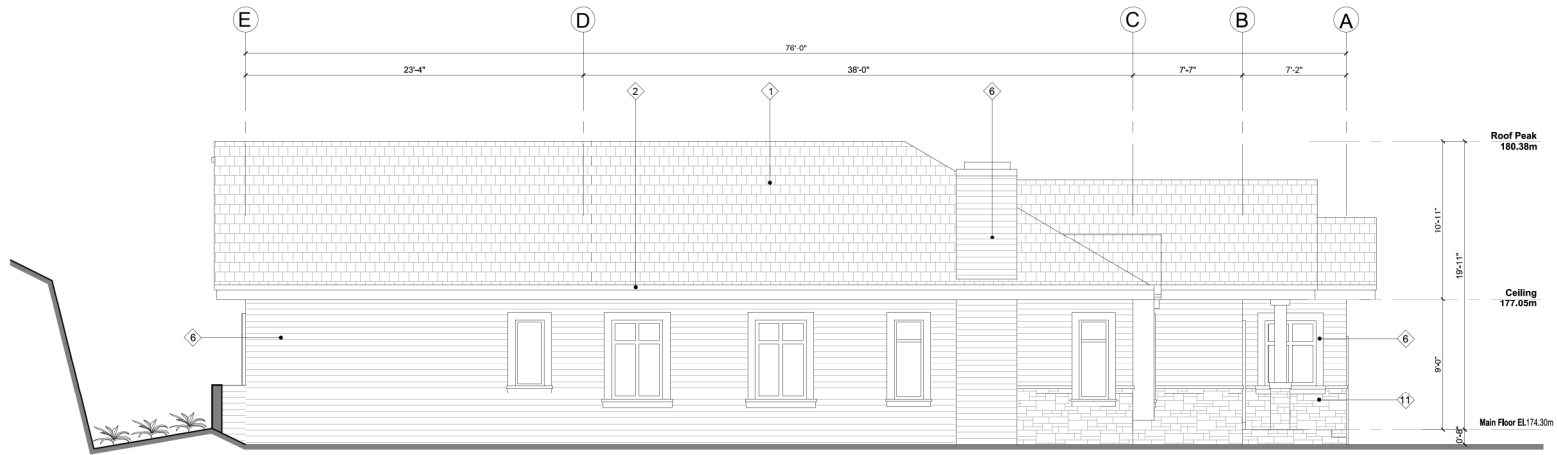
**SHEET NUMBER** A-B 3.2 **REV.**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS CW DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 06 (TYPE B) SIDE ELEVATION**



**UNIT 06 (TYPE B) SIDE ELEVATION**

	NO.	DATE	DESCRIPTION
3	202110		DP REVISION 02
2	202106		DP REVISION 01
1	202104		ISSUED FOR DP

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**SUB-CONSULTANT**

**SUB-CONSULTANT**

**KEY PLAN**

RECEIVED  
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 2021-OCT-15  
 OFFICE OF PERMITTING

**PROJECT TITLE**  
 5768 Linley Valley Drive

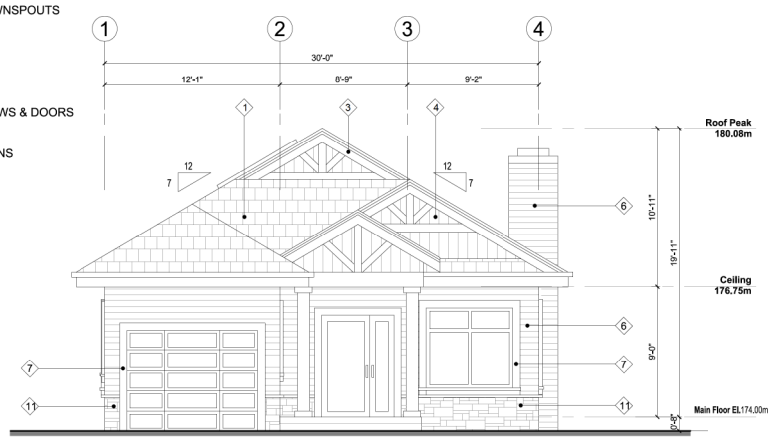
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<b>DRAWN BY:</b> JAMES MA	
<b>CHKD BY:</b> XINMAI	
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<b>DATE:</b> OCT. 2021	

**SHEET TITLE**  
 UNIT 06 (TYPE B)  
 SIDE ELEVATION

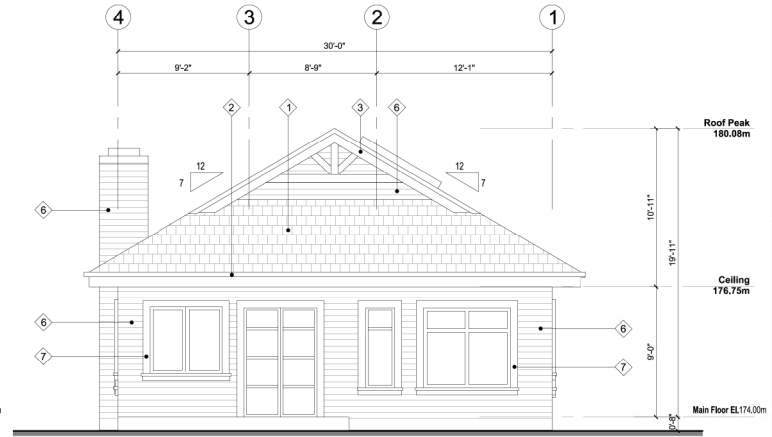
<b>SHEET NUMBER</b>	<b>REV.</b>
<b>A-B 3.3</b>	

**MATERIAL LEGEND**

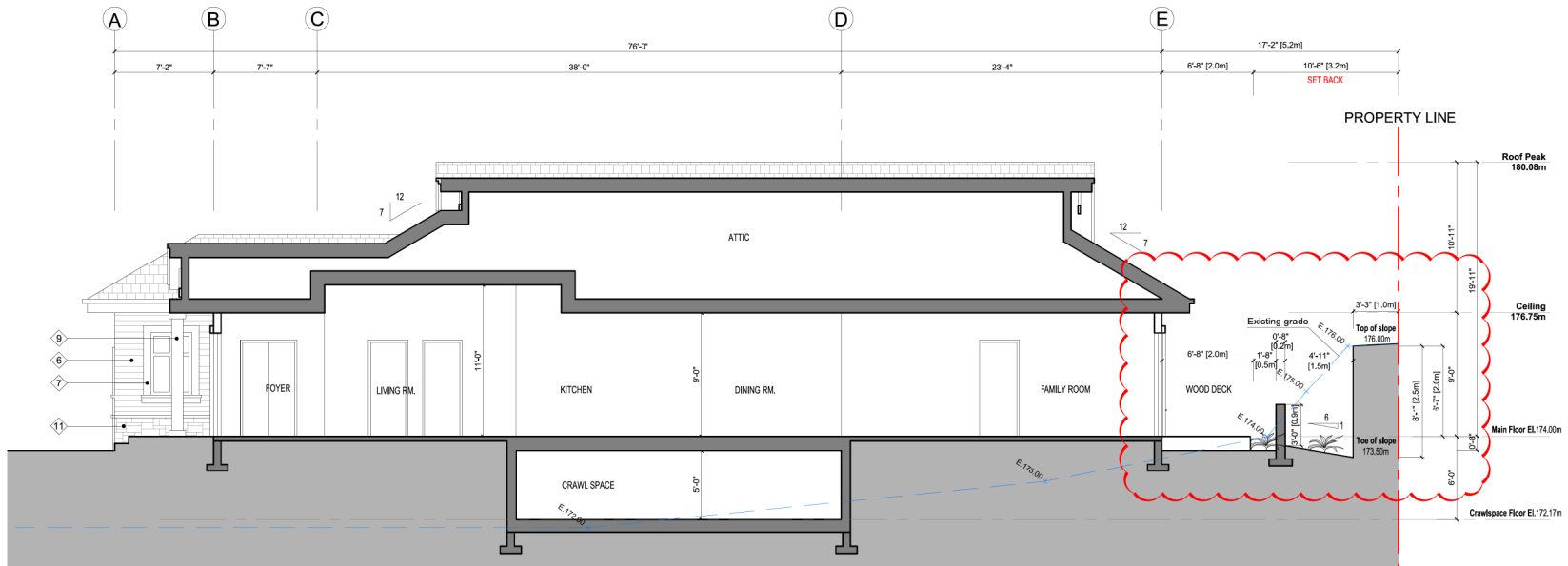
- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 07 (TYPE B) FRONT ELEVATION**



**UNIT 07 (TYPE B) REAR ELEVATION**



**UNIT 07 (TYPE B) SECTION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

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**SUB-CONSULTANT**

**KEY PLAN**

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**5768 Linley Valley Drive**

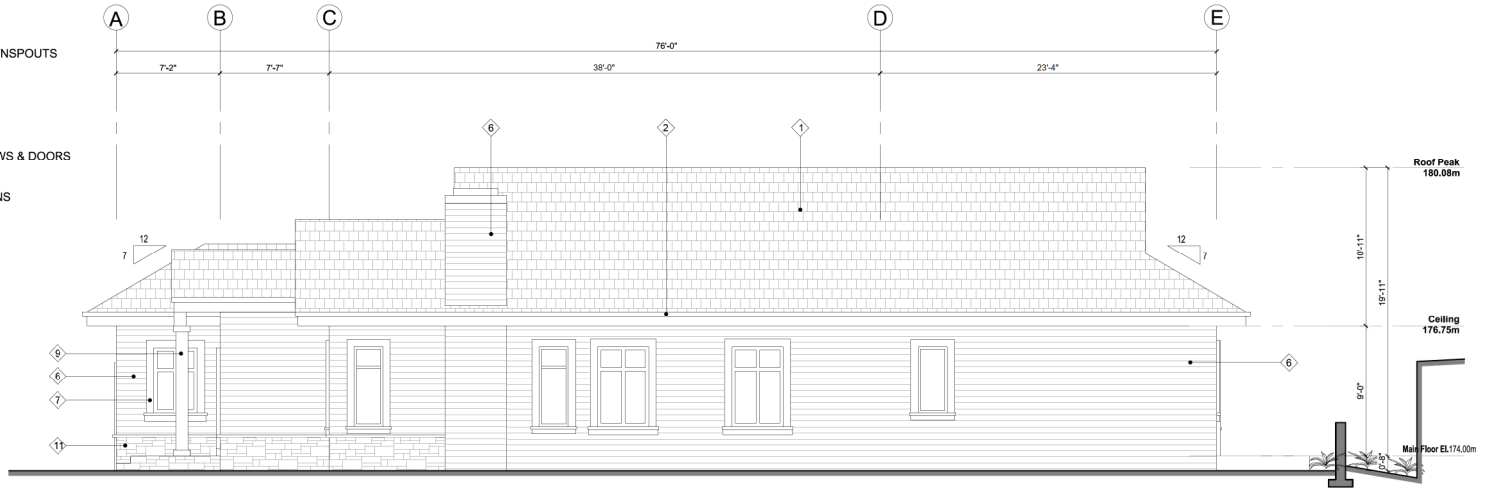
PROJECT NO: 82002 B  
 DRAWN BY: JAMES MA  
 CHKD BY: XINMAI  
 SCALE: 1/4"=1'-0"  
 DATE: OCT. 2021

**SHEET TITLE**  
**UNIT 07 (TYPE B)**  
**FRONT ELEVATION**  
**REAR ELEVATION**  
**SECTION**

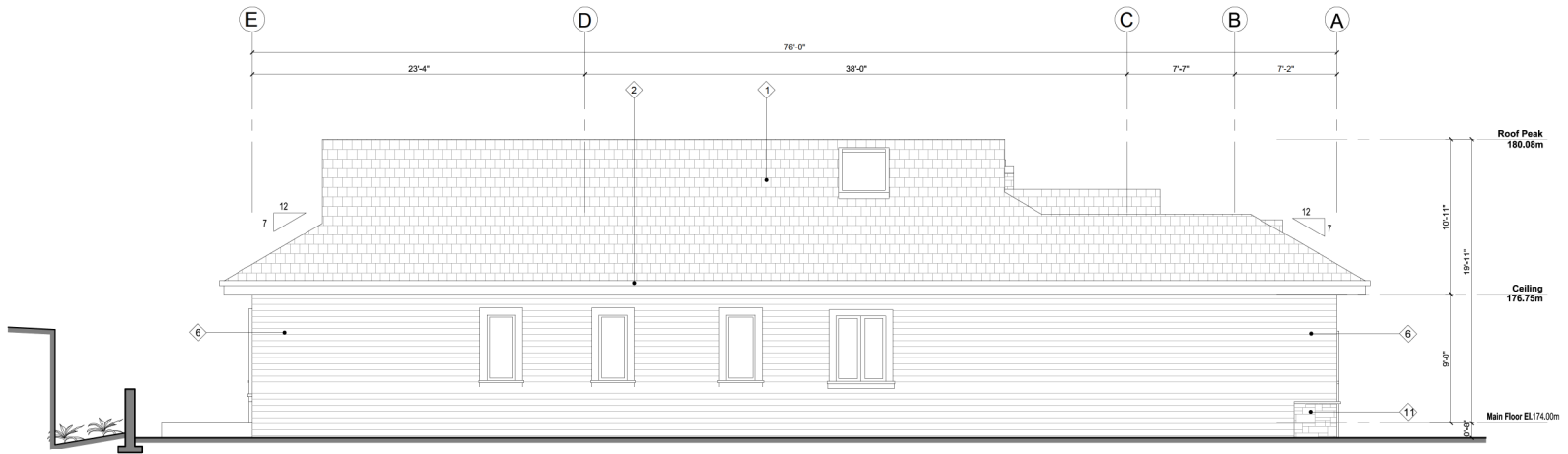
SHEET NUMBER: **A-B 4.2**      REV:

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

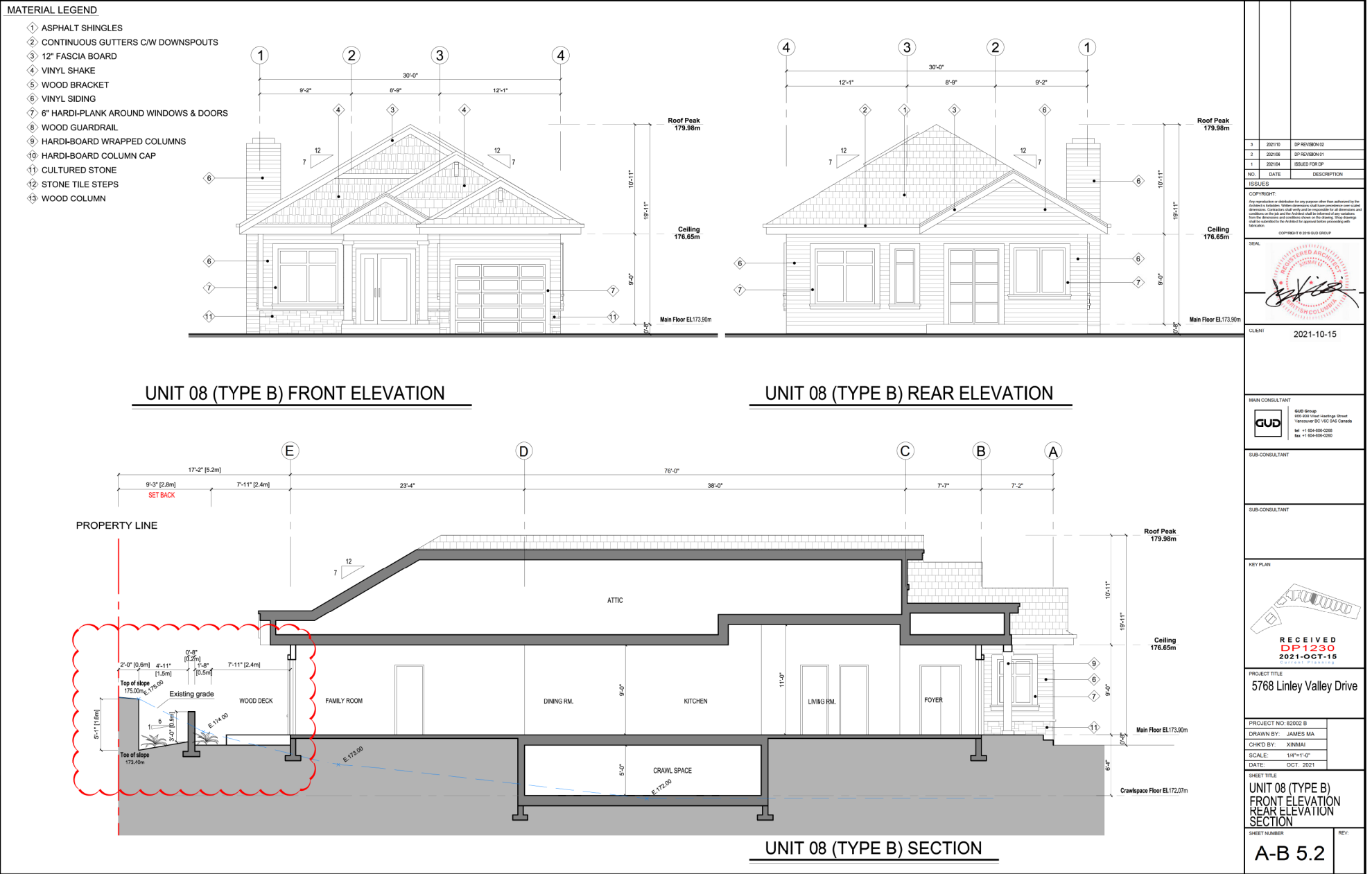


**UNIT 07 (TYPE B) SIDE ELEVATION**



**UNIT 07 (TYPE B) SIDE ELEVATION**

3	202110	DP REVISION 02							
2	202106	DP REVISION 01							
1	202104	ISSUED FOR DP							
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<b>CLIENT</b>									
2021-10-15									
<b>MAIN CONSULTANT</b>									
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<b>SUB-CONSULTANT</b>									
<b>KEY PLAN</b>									
<p><b>RECEIVED</b>  </p>									
<b>PROJECT TITLE</b>									
5768 Linley Valley Drive									
<b>PROJECT NO:</b> 82002 B									
<b>DRAWN BY:</b> JAMES MA									
<b>CHKD BY:</b> XINMAI									
<b>SCALE:</b> 1/4"=1'-0"									
<b>DATE:</b> OCT. 2021									
<b>SHEET TITLE</b>									
UNIT 07 (TYPE B) SIDE ELEVATION									
<b>SHEET NUMBER</b>									
A-B 4.3									
<b>REV.</b>									



NO.	DATE	DESCRIPTION
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**SUB-CONSULTANT**

**KEY PLAN**

**PROJECT TITLE**  
 5768 Linley Valley Drive

**PROJECT NO:** 82002 B

**DRAWN BY:** JAMES MA

**CHKD BY:** XINMAI

**SCALE:** 1/4"=1'-0"

**DATE:** OCT. 2021

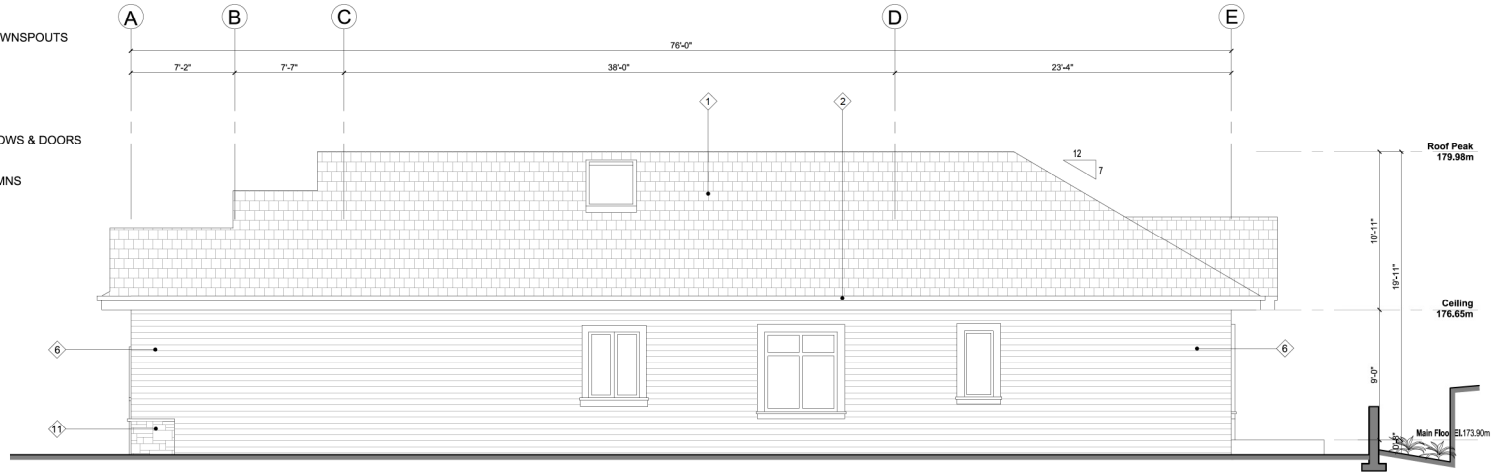
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 UNIT 08 (TYPE B)  
 FRONT ELEVATION  
 REAR ELEVATION  
 SECTION

**SHEET NUMBER**  
 A-B 5.2

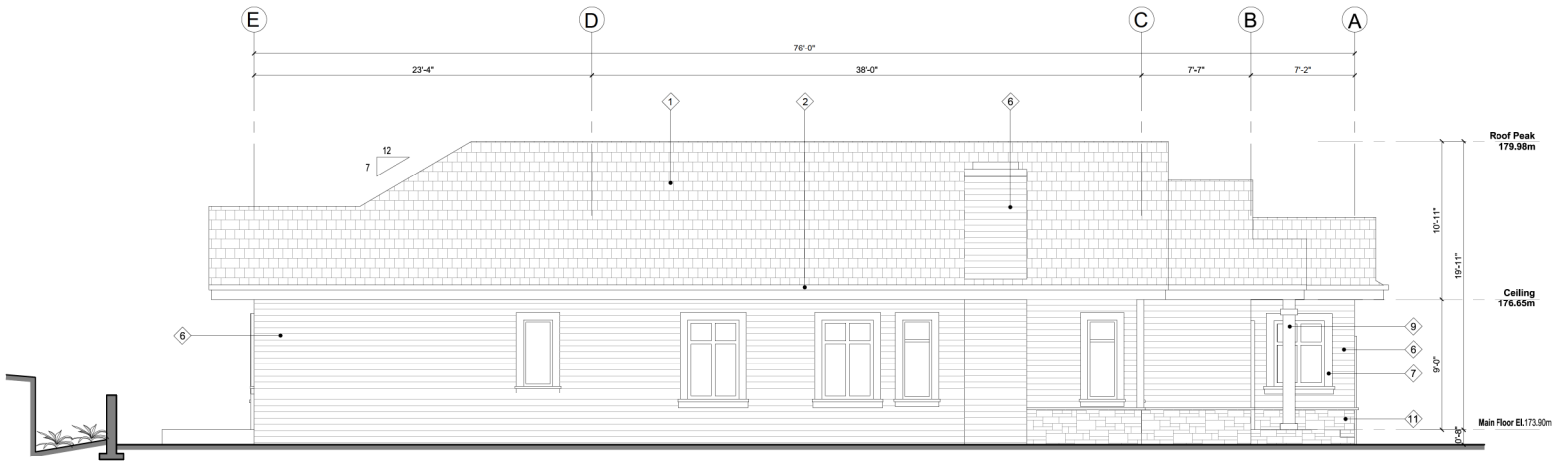
**REV.**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 08 (TYPE B) SIDE ELEVATION**



**UNIT 08 (TYPE B) SIDE ELEVATION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

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**CLIENT** 2021-10-15

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**SUB-CONSULTANT**

**SUB-CONSULTANT**

**KEY PLAN**

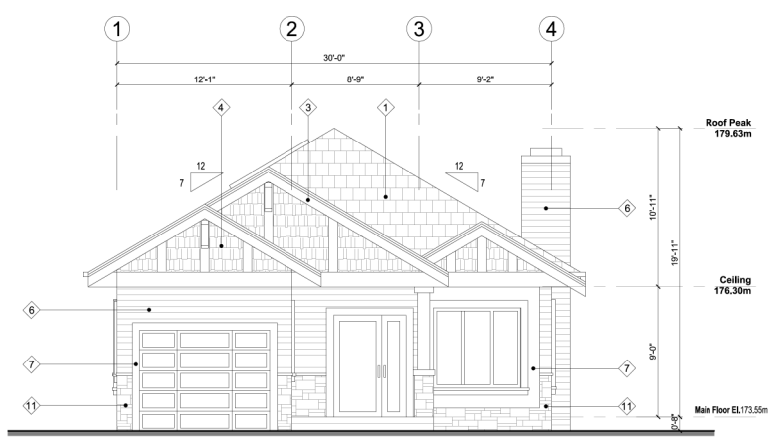
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**DP 1230**  
**2021-OCT-15**  
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**PROJECT TITLE**  
5768 Linley Valley Drive

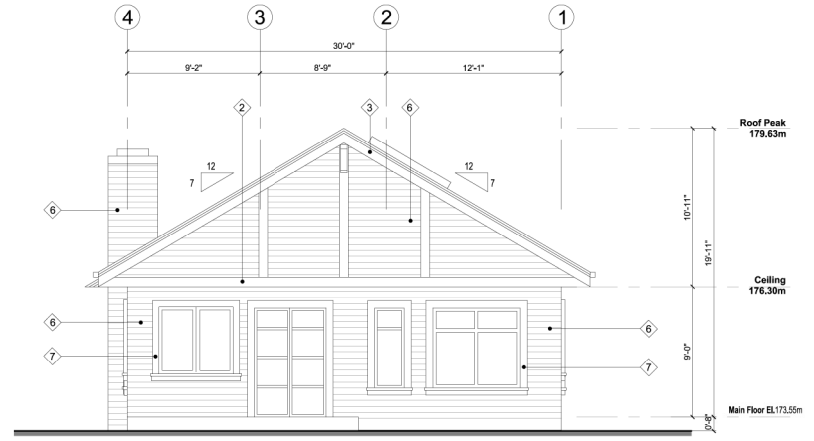
<b>PROJECT NO:</b> 82002 B
<b>DRAWN BY:</b> JAMES MA
<b>CHKD BY:</b> XINMAI
<b>SCALE:</b> 1/4"=1'-0"
<b>DATE:</b> OCT. 2021

**SHEET TITLE**  
UNIT 08 (TYPE B)  
SIDE ELEVATION

<b>SHEET NUMBER</b> A-B 5.3	<b>REV.</b>
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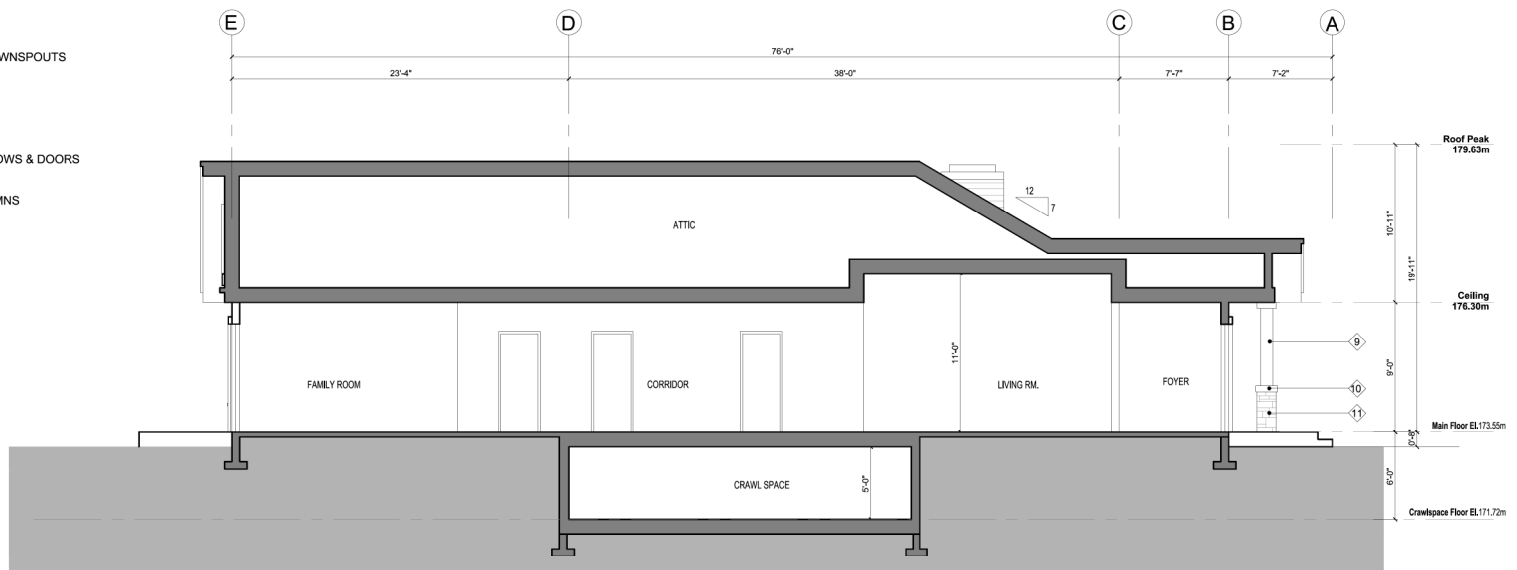
**UNIT 09 (TYPE B) FRONT ELEVATION**



**UNIT 09 (TYPE B) REAR ELEVATION**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 09 (TYPE B) SECTION**

NO.	DATE	DESCRIPTION
3	2021/10	DP REVISION 02
2	2021/06	DP REVISION 01
1	2021/04	ISSUED FOR DP

**ISSUES**

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**SUB-CONSULTANT:**

**SUB-CONSULTANT:**

**KEY PLAN**

**RECEIVED**  
DP-1230  
2021-OCT-15  
CITY OF VANCOUVER

**PROJECT TITLE:**  
5768 Linley Valley Drive

**PROJECT NO:** 82002 B  
**DRAWN BY:** JAMES MA  
**CHKD BY:** XINMAI  
**SCALE:** 1/4"=1'-0"  
**DATE:** OCT. 2021

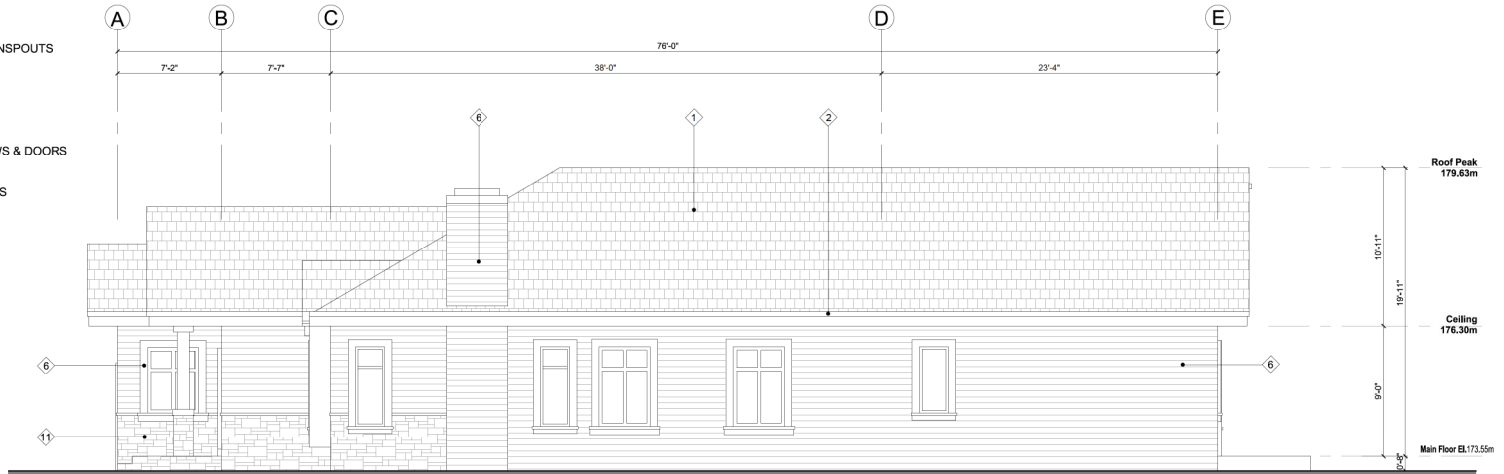
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UNIT 09 (TYPE B)  
FRONT ELEVATION  
REAR ELEVATION  
SECTION

**SHEET NUMBER:** A-B 6.2

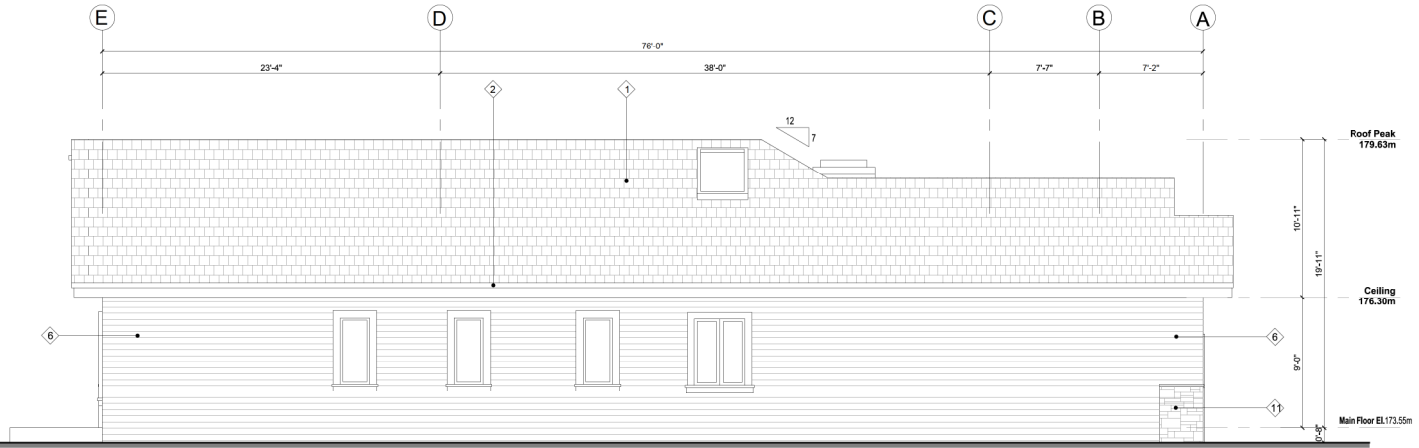
**REV:**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 09 (TYPE B) SIDE ELEVATION**



**UNIT 09 (TYPE B) SIDE ELEVATION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

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 Fax: +1 604-696-0212

SUB-CONSULTANT:

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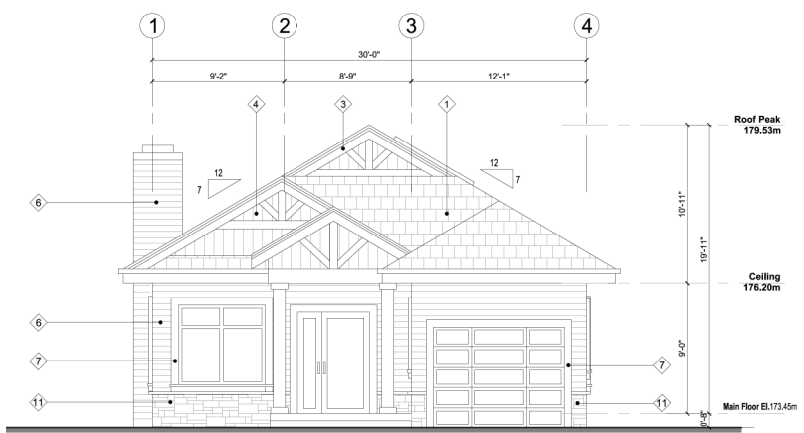
PROJECT TITLE:  
**5768 Linley Valley Drive**

PROJECT NO: 82002 B  
 DRAWN BY: JAMES MA  
 CHKD BY: XINMAI  
 SCALE: 1/4"=1'-0"  
 DATE: OCT. 2021

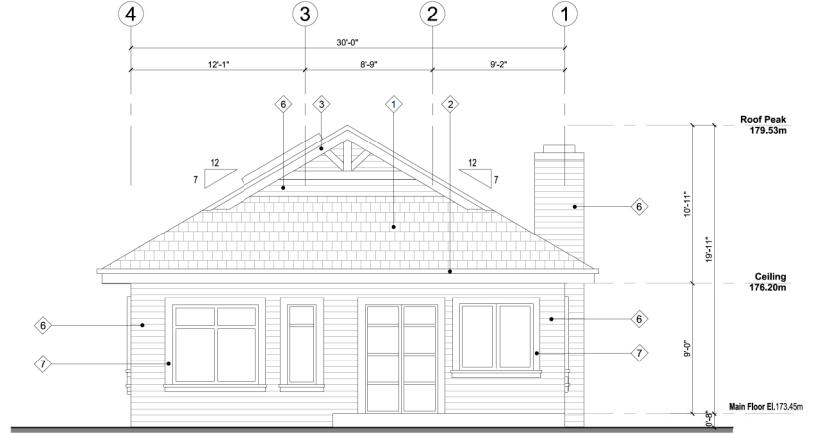
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**UNIT 09 (TYPE B)  
 SIDE ELEVATION**

SHEET NUMBER: **A-B 6.3**





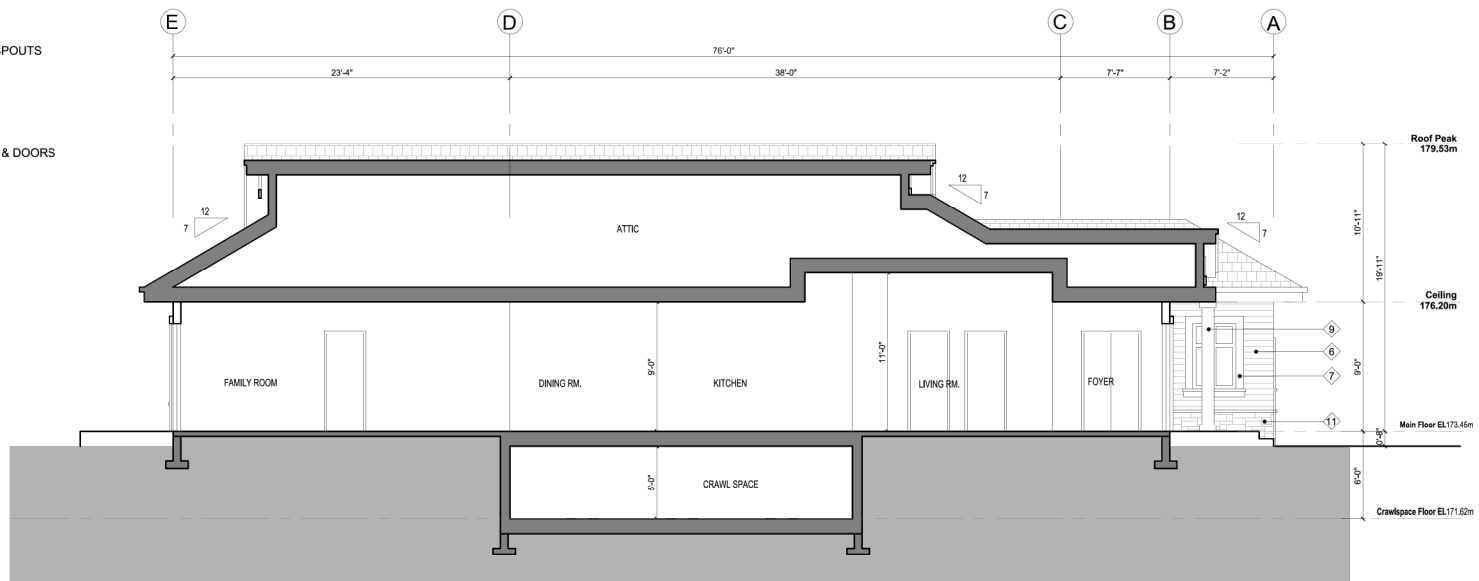
**UNIT 10 (TYPE B) FRONT ELEVATION**



**UNIT 10 (TYPE B) REAR ELEVATION**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 10 (TYPE B) SECTION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

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SUB-CONSULTANT:  
 SUB-CONSULTANT:

KEY PLAN:

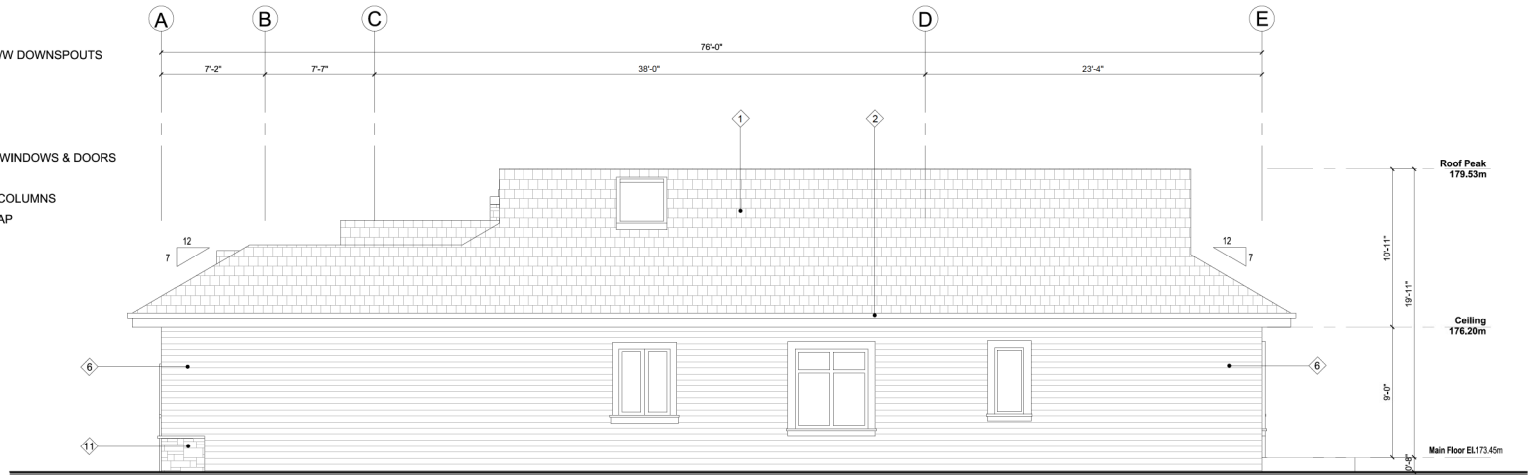
RECEIVED  
**DP 1230**  
 2021-OCT-15  
 PROJECT TITLE  
**5768 Linley Valley Drive**

PROJECT NO: 82002 B  
 DRAWN BY: JAMES MA  
 CHKD BY: XINMAI  
 SCALE: 1/4"=1'-0"  
 DATE: OCT. 2021

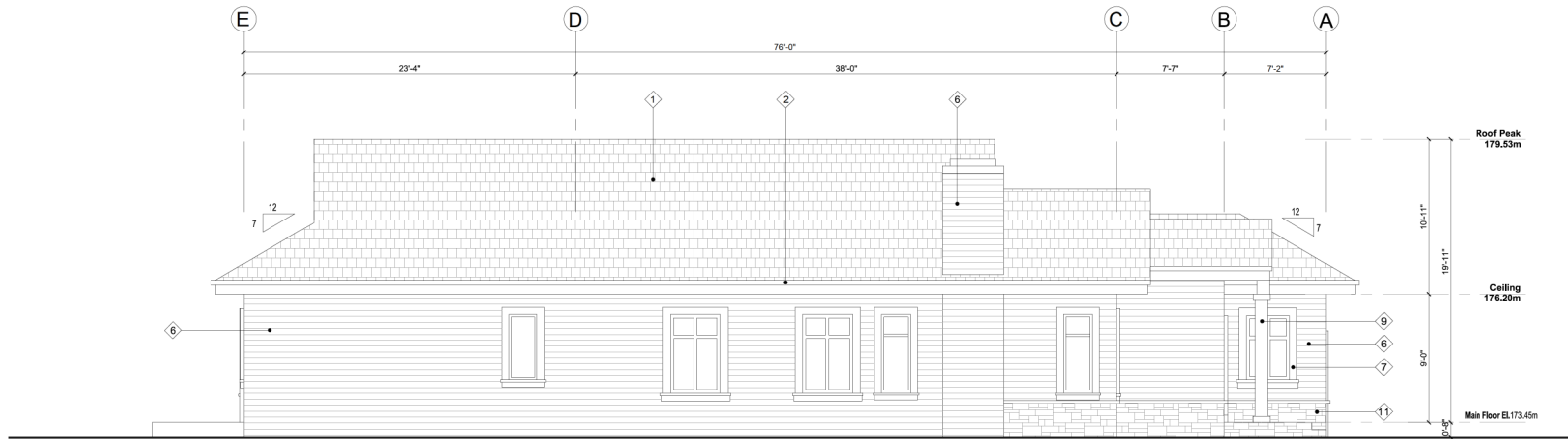
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**UNIT 10 (TYPE B)  
 FRONT ELEVATION  
 REAR ELEVATION  
 SECTION**  
 SHEET NUMBER  
**A-B 7.2**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS CW DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN

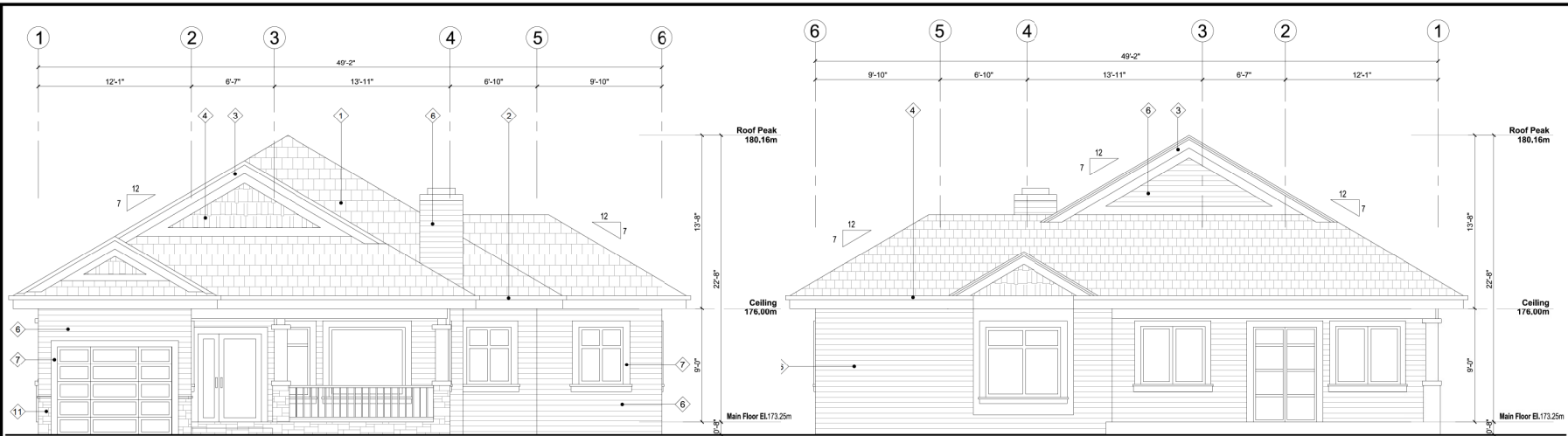


**UNIT 10 (TYPE B) SIDE ELEVATION**



**UNIT 10 (TYPE B) SIDE ELEVATION**

3	202110	DP REVISION 02			
2	202106	DP REVISION 01			
1	202104	ISSUED FOR DP			
NO.	DATE	DESCRIPTION			
<b>ISSUES</b>					
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SUB-CONSULTANT					
SUB-CONSULTANT					
KEY PLAN		 RECEIVED OCT 15 2021 SUPPORT FLOORING			
PROJECT TITLE		5768 Linley Valley Drive			
PROJECT NO: 82002 B					
DRAWN BY: JAMES MA					
CHKD BY: XINMAI					
SCALE: 1/4"=1'-0"					
DATE: OCT. 2021					
SHEET TITLE		UNIT 10 (TYPE B) SIDE ELEVATION			
SHEET NUMBER		A-B 7.3			
REV.					

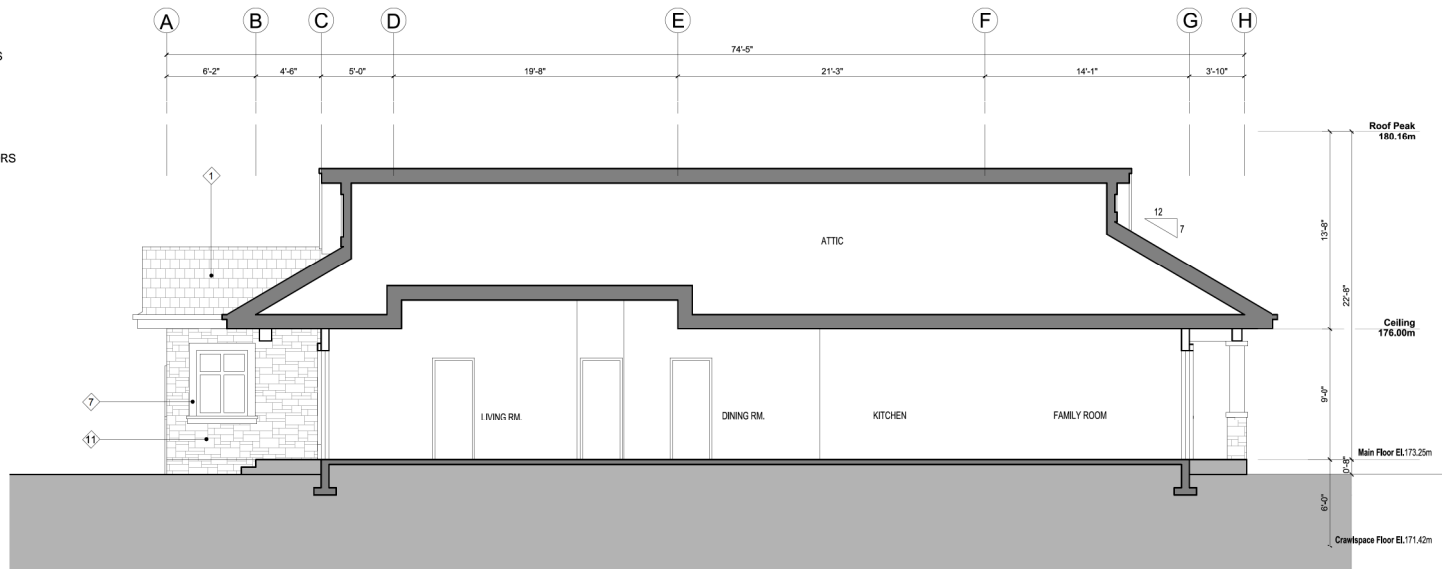


**UNIT 11 (TYPE C) FRONT ELEVATION**

**UNIT 11 (TYPE C) REAR ELEVATION**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 11 (TYPE C) SECTION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

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**CLIENT** 2021-10-15

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**SUB-CONSULTANT**

**KEY PLAN**

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OCT 13 2021  
OCT 15 2021

**PROJECT TITLE**  
5768 Linley Valley Drive

**PROJECT NO:** 82002 B

**DRAWN BY:** JAMES MA

**CHKD BY:** XINMAI

**SCALE:** 1/4"=1'-0"

**DATE:** OCT. 2021

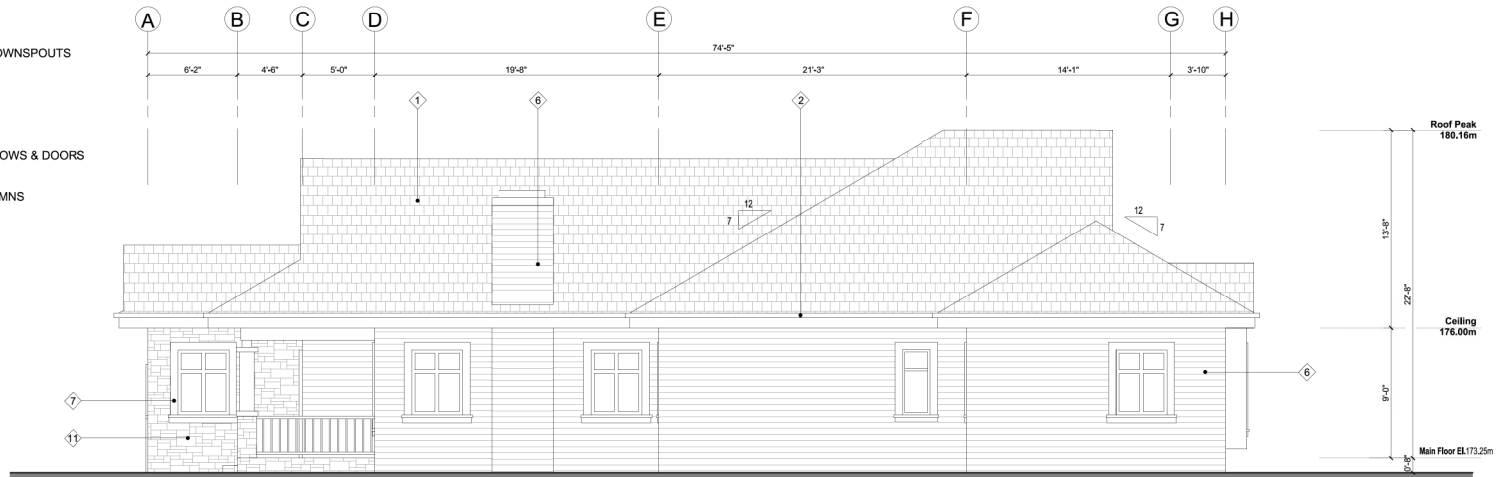
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UNIT 11 (TYPE C)  
FRONT ELEVATION  
REAR ELEVATION  
SECTION

**SHEET NUMBER**  
A-C 1.3

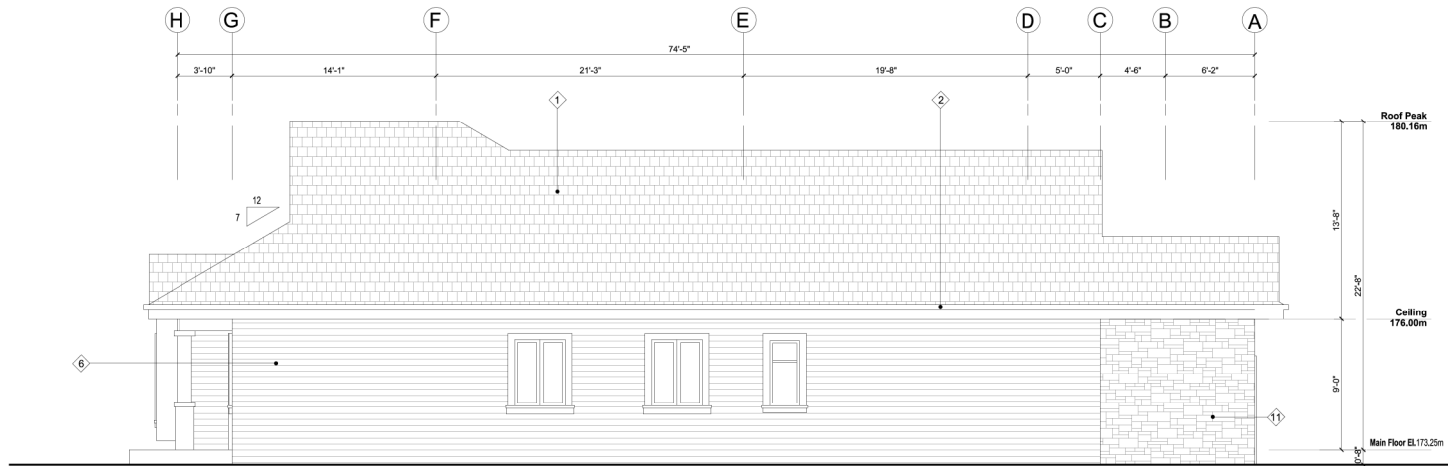
**REV.**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 11 (TYPE C) SIDE ELEVATION**



**UNIT 11 (TYPE C) SIDE ELEVATION**

3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP
NO.	DATE	DESCRIPTION

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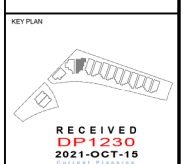


CLIENT: 2021-10-15

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SUB-CONSULTANT:



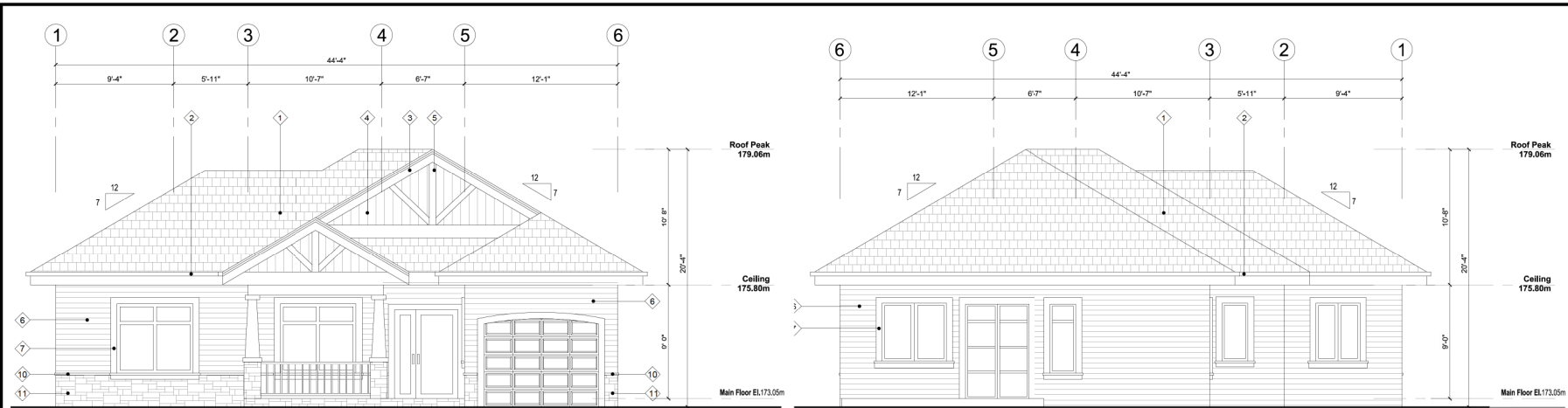
PROJECT TITLE:  
**5768 Linley Valley Drive**

PROJECT NO: 82002 B  
 DRAWN BY: JAMES MA  
 CHKD BY: XINMAI  
 SCALE: 1/4"=1'-0"  
 DATE: OCT. 2021

SHEET TITLE:  
**UNIT 11 (TYPE C) SIDE ELEVATION**

SHEET NUMBER:  
**A-C 1.4**

REV:

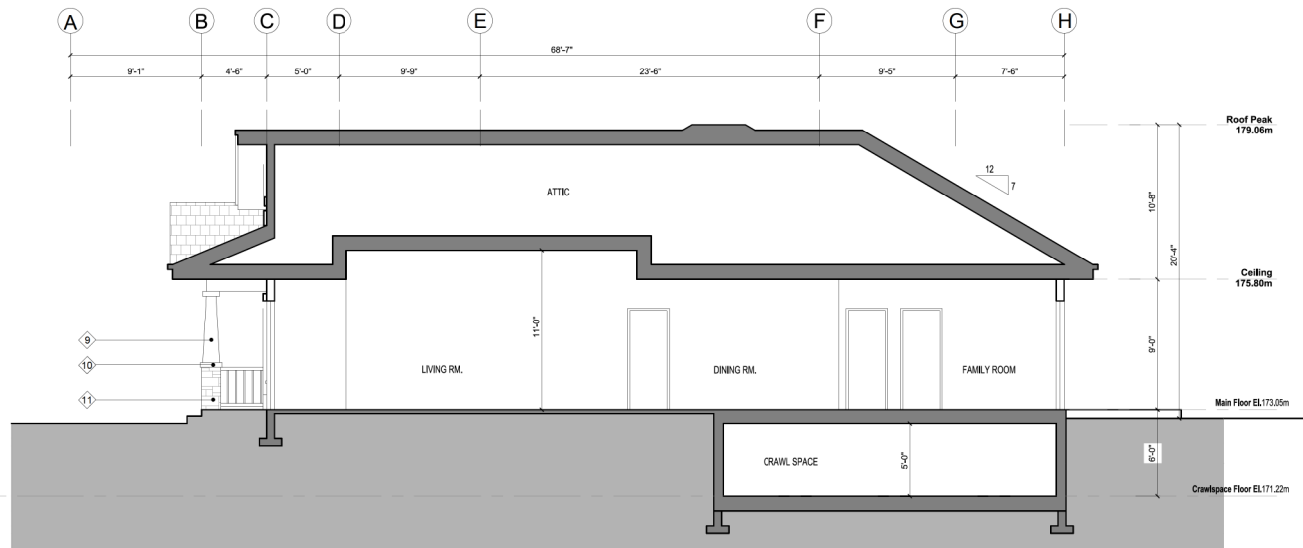


**UNIT 12 (TYPE D) FRONT ELEVATION**

**UNIT 12 (TYPE D) REAR ELEVATION**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 12 (TYPE D) SECTION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

**ISSUES**

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 Fax: +1 604-683-2282

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SUB-CONSULTANT:

KEY PLAN:

RECEIVED  
 DP 1230  
 2021-OCT-15  
 OFFICE OF PERMITTING

PROJECT TITLE  
 5768 Linley Valley Drive

PROJECT NO: 82002 B  
 DRAWN BY: JAMES MA  
 CHKD BY: XINMAI  
 SCALE: 1/4"=1'-0"  
 DATE: OCT. 2021

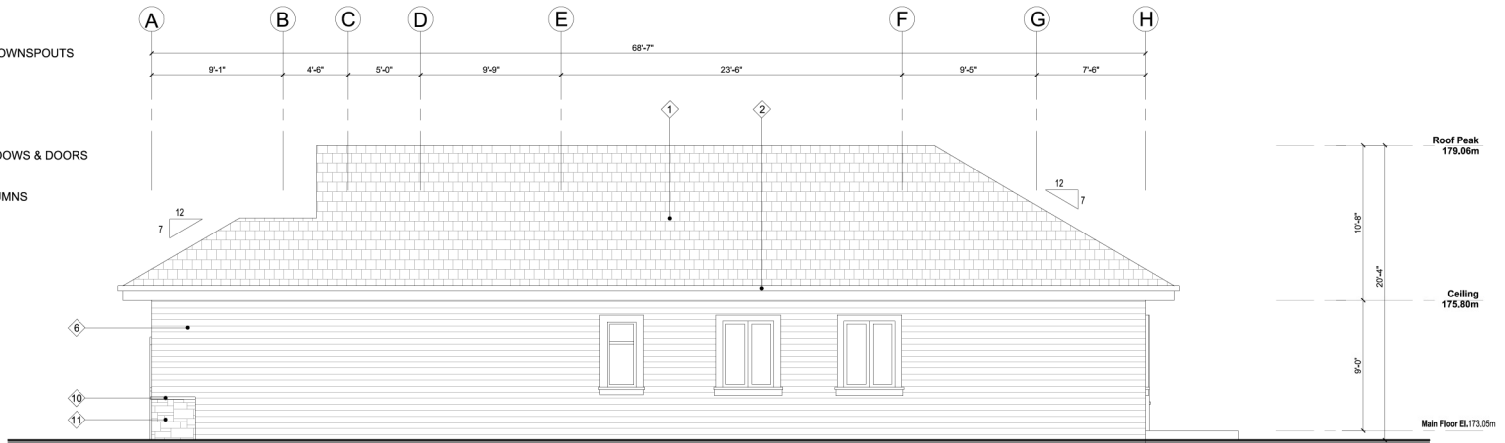
SHEET TITLE  
 UNIT 12  
 FRONT ELEVATION  
 REAR ELEVATION  
 SECTION

SHEET NUMBER  
 A-D 1.3

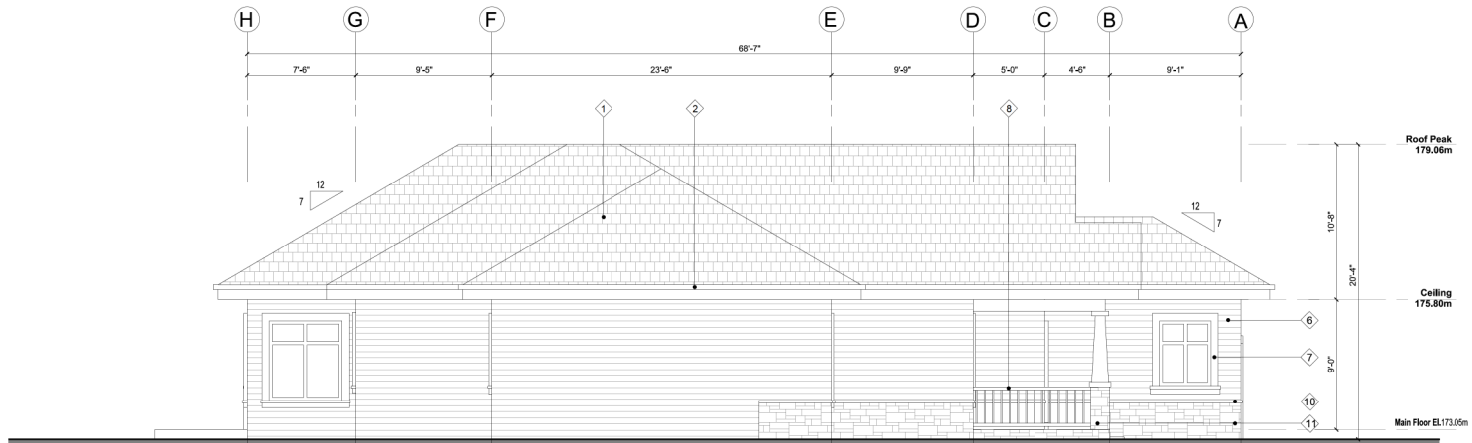
REV:

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 12 (TYPE D) SIDE ELEVATION**

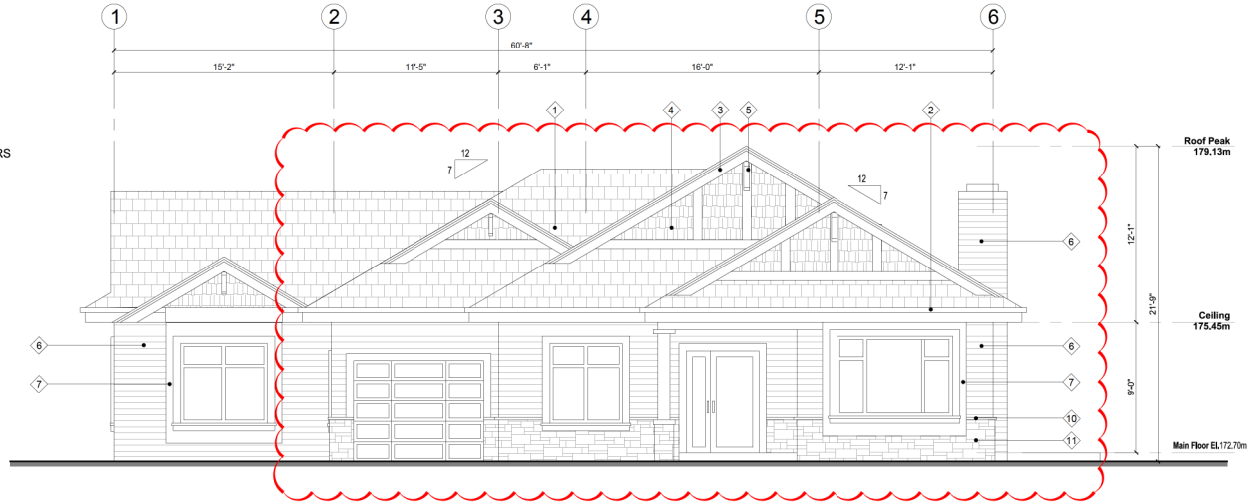


**UNIT 12 (TYPE D) SIDE ELEVATION**

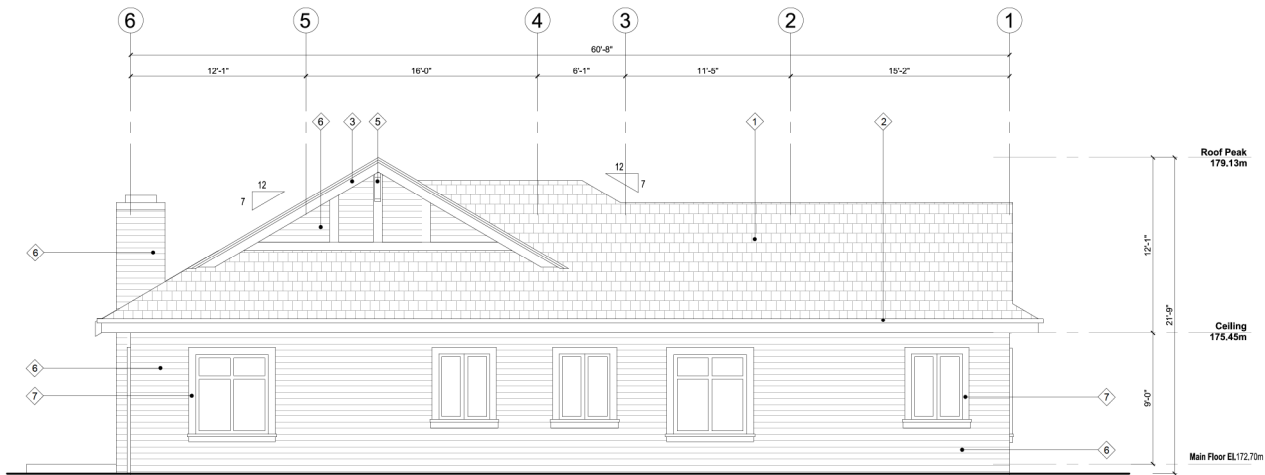
3	202110	DP REVISION 02							
2	202106	DP REVISION 01							
1	202104	ISSUED FOR DP							
NO.	DATE	DESCRIPTION							
<b>ISSUES</b>									
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SUB-CONSULTANT									
SUB-CONSULTANT									
KEY PLAN		 RECEIVED OCT 15 2021 OCTOBER 15 2021							
PROJECT TITLE		5768 Linley Valley Drive							
PROJECT NO:		82002 B							
DRAWN BY:		JAMES MA							
CHKD BY:		XINMAI							
SCALE:		1/4"=1'-0"							
DATE:		OCT. 2021							
SHEET TITLE		UNIT 12 SIDE ELEVATION							
SHEET NUMBER		A-D 1.4							
REV.									

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BEARD WRAPPED COLUMNS
- ⑩ HARDI-BEARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 13 (TYPE E) FRONT ELEVATION**



**UNIT 13 (TYPE E) REAR ELEVATION**

3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP
NO.	DATE	DESCRIPTION

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**SUB-CONSULTANT:**

**SUB-CONSULTANT:**

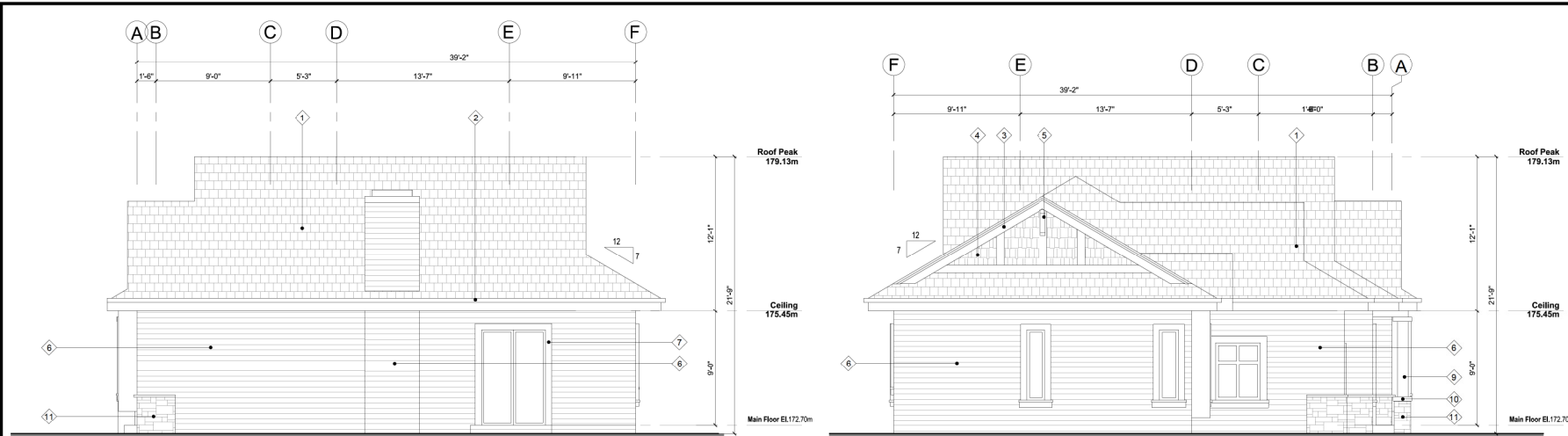


**PROJECT TITLE:** 5768 Linley Valley Drive

**PROJECT NO:** 82002 B  
**DRAWN BY:** JAMES MA  
**CHKD BY:** XINMAI  
**SCALE:** 1/4"=1'-0"  
**DATE:** OCT. 2021

**SHEET TITLE:**  
 UNIT 13  
 FRONT ELEVATION  
 REAR ELEVATION

**SHEET NUMBER:** A-E 1.3

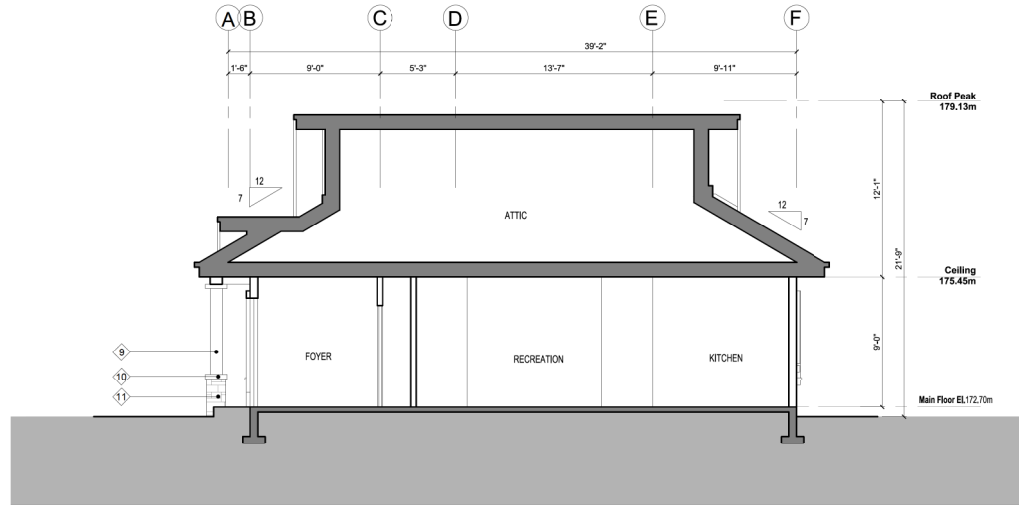


**UNIT 13 (TYPE E) SIDE ELEVATION**

**UNIT 13 (TYPE E) SIDE ELEVATION**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 13 (TYPE E) SECTION**

NO.	DATE	DESCRIPTION
3	2021/10	DP REVISION 02
2	2021/06	DP REVISION 01
1	2021/04	ISSUED FOR DP

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**CURR#** 2021-10-15

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**SUB-CONSULTANT**

**SUB-CONSULTANT**

**KEY PLAN**

**RECEIVED**  
 DP 1230  
 2021-OCT-15  
 SUPPORT FLOORING

**PROJECT TITLE**  
 5768 Linley Valley Drive

**PROJECT NO:** 82002 B

**DRAWN BY:** JAMES MA

**CHKD BY:** XINMAI

**SCALE:** 1/4"=1'-0"

**DATE:** OCT. 2021

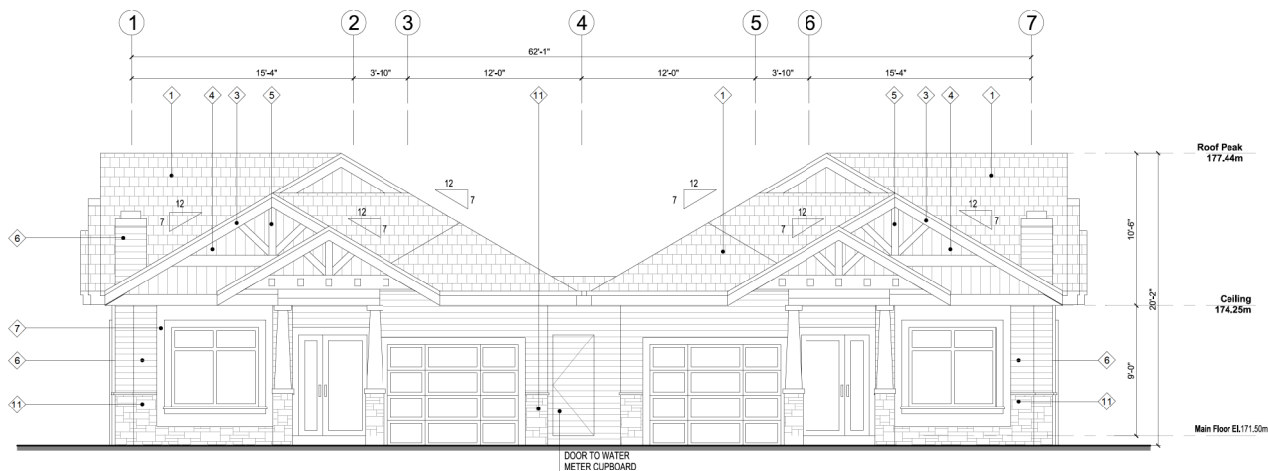
**SHEET TITLE**  
 UNIT 13  
 SIDE ELEVATION  
 SECTION

<b>SHEET NUMBER</b>	<b>REV.</b>
A-E 1.4	



**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 14&15 (TYPE F) FRONT ELEVATION**

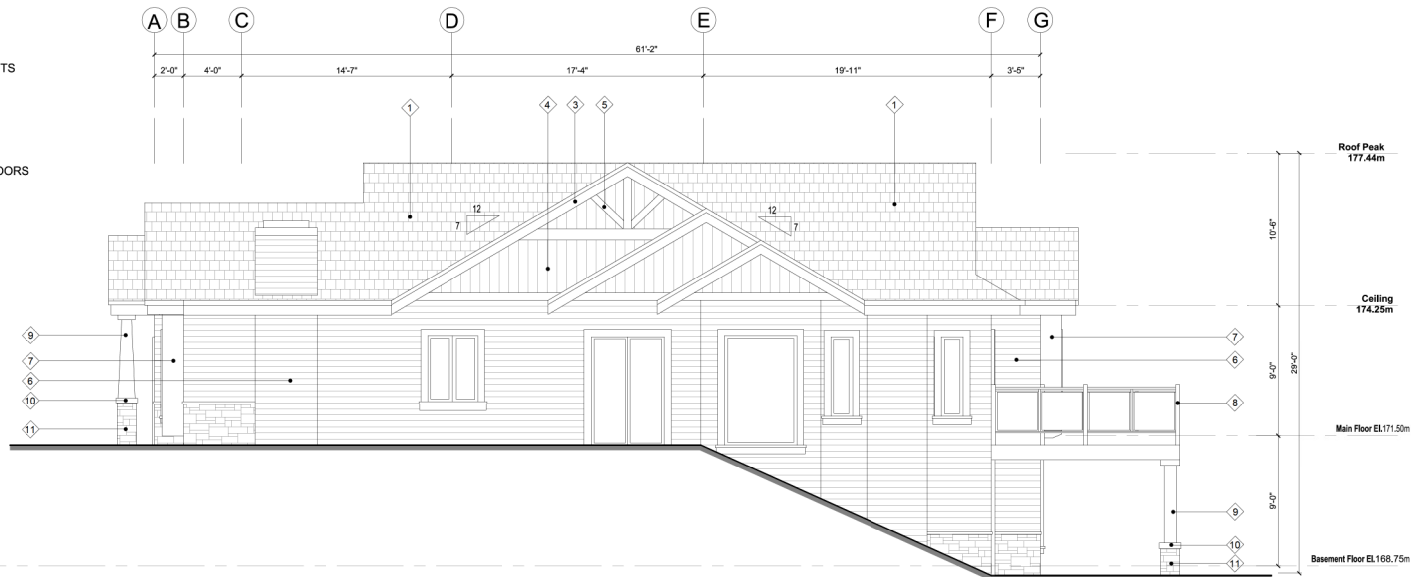


**UNIT 14&15 (TYPE F) REAR ELEVATION**

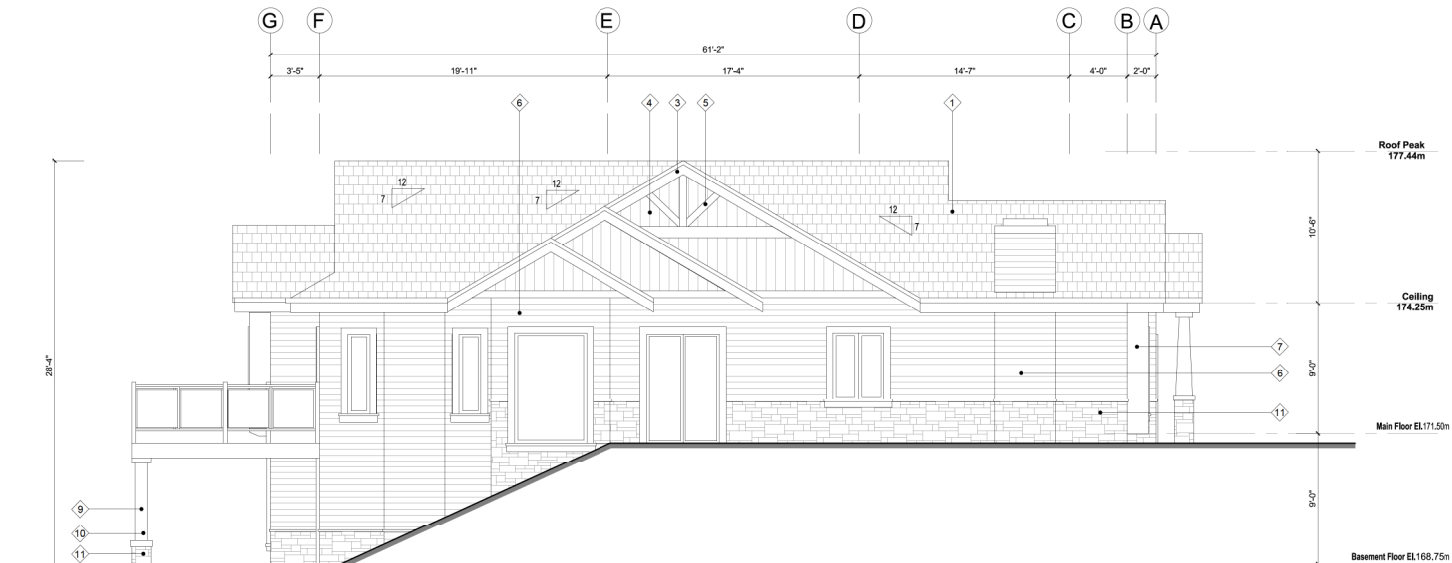
3	202110	DP REVISION 02			
2	202106	DP REVISION 01			
1	202104	ISSUED FOR DP			
NO.	DATE	DESCRIPTION			
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<b>SUB-CONSULTANT</b>					
<b>SUB-CONSULTANT</b>					
<b>KEY PLAN</b>					
RECEIVED <b>DP 1230</b> 2021-OCT-15					
<b>PROJECT TITLE</b>					
5768 Linley Valley Drive					
<b>PROJECT NO:</b> 82002 B					
<b>DRAWN BY:</b> JAMES MA					
<b>CHKD BY:</b> XINMAI					
<b>SCALE:</b> 1/4"=1'-0"					
<b>DATE:</b> JUNE 2021					
<b>SHEET TITLE</b>					
UNIT 14&15 (TYPE F) FRONT ELEVATION REAR ELEVATION					
<b>SHEET NUMBER</b>					
A-F 1.4				<b>REV.</b>	

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 14&15 (TYPE F) SIDE ELEVATION**



**UNIT 14&15 (TYPE F) SIDE ELEVATION**

NO.	DATE	DESCRIPTION
3	2021/10	DP REVISION 02
2	2021/06	DP REVISION 01
1	2021/04	ISSUED FOR DP

**ISSUES**

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 Fax: +1 604-696-0202

SUB-CONSULTANT

SUB-CONSULTANT



PROJECT TITLE  
**5768 Linley Valley Drive**

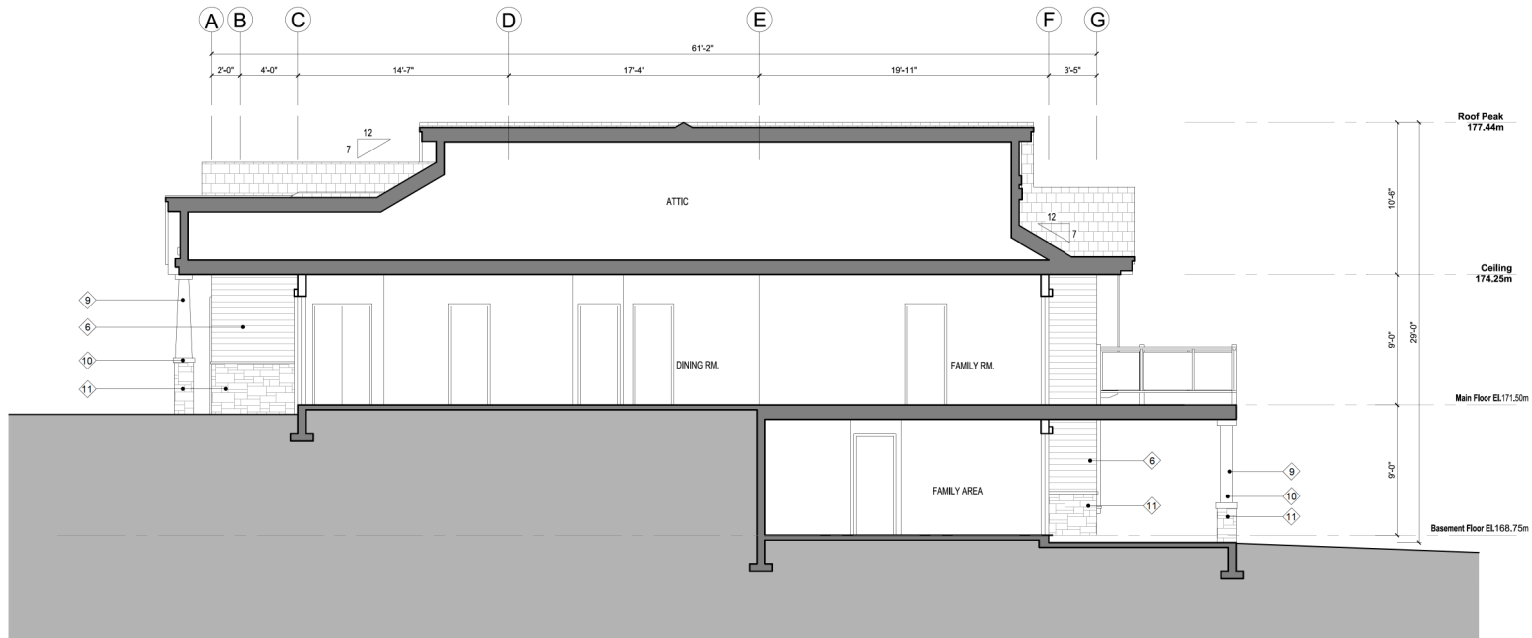
PROJECT NO: 82002 B  
 DRAWN BY: JAMES MA  
 CHK'D BY: XINMAI  
 SCALE: 1/4"=1'-0"  
 DATE: JUNE 2021

SHEET TITLE  
**UNIT 14&15 (TYPE F)  
 SIDE ELEVATION**

SHEET NUMBER  
**A-F 1.5**

**MATERIAL LEGEND**

- ① ASPHALT SHINGLES
- ② CONTINUOUS GUTTERS C/W DOWNSPOUTS
- ③ 12" FASCIA BOARD
- ④ VINYL SHAKE
- ⑤ WOOD BRACKET
- ⑥ VINYL SIDING
- ⑦ 6" HARDI-PLANK AROUND WINDOWS & DOORS
- ⑧ WOOD GUARDRAIL
- ⑨ HARDI-BOARD WRAPPED COLUMNS
- ⑩ HARDI-BOARD COLUMN CAP
- ⑪ CULTURED STONE
- ⑫ STONE TILE STEPS
- ⑬ WOOD COLUMN



**UNIT 14&15 (TYPE F) SECTION**

NO.	DATE	DESCRIPTION
3	202110	DP REVISION 02
2	202106	DP REVISION 01
1	202104	ISSUED FOR DP

**ISSUES**

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**SUB-CONSULTANT**

**SUB-CONSULTANT**



**PROJECT TITLE**  
 5768 Linley Valley Drive

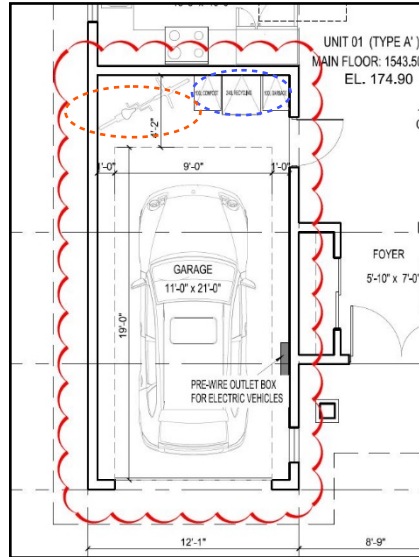
**PROJECT NO:** 82002 B  
**DRAWN BY:** JAMES MA  
**CHKD BY:** XINMAI  
**SCALE:** 1/4"=1'-0"  
**DATE:** JUNE 2021

**SHEET TITLE**  
 UNIT 14&15  
 SECTION

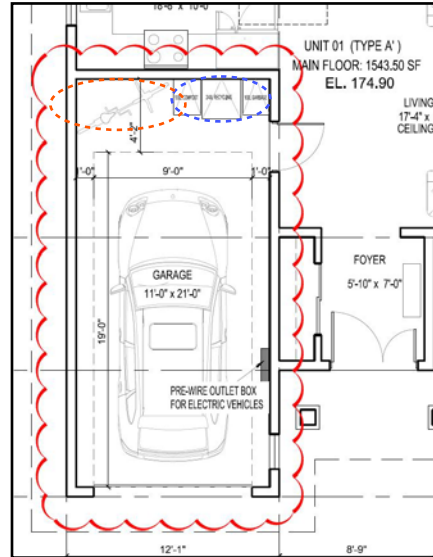
**SHEET NUMBER** A-F 1.6

GARAGE DETAIL per UNIT TYPE

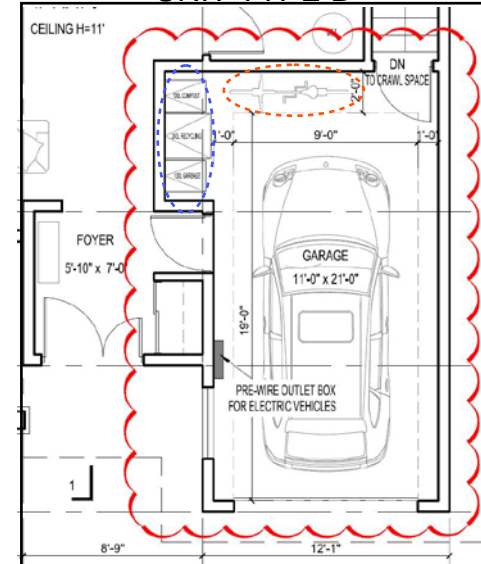
UNIT TYPE A



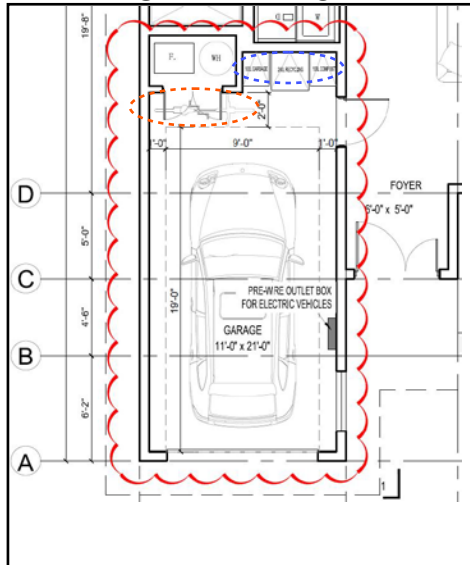
UNIT TYPE A1



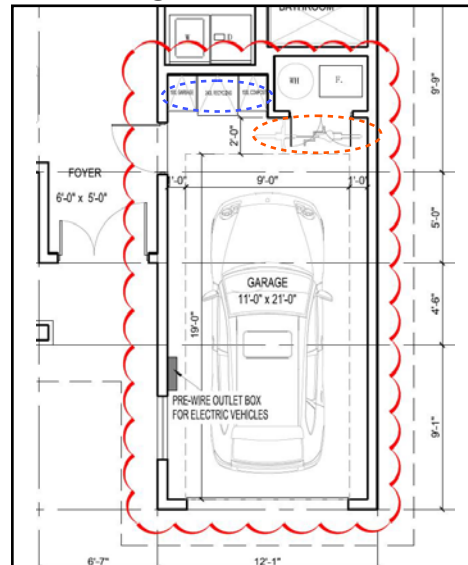
UNIT TYPE B



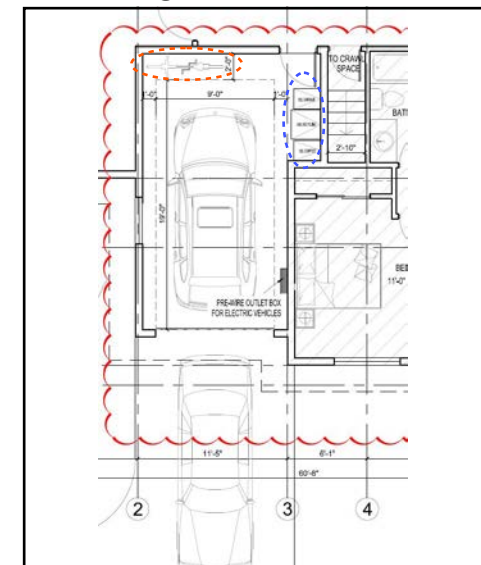
UNIT TYPE C



UNIT TYPE D

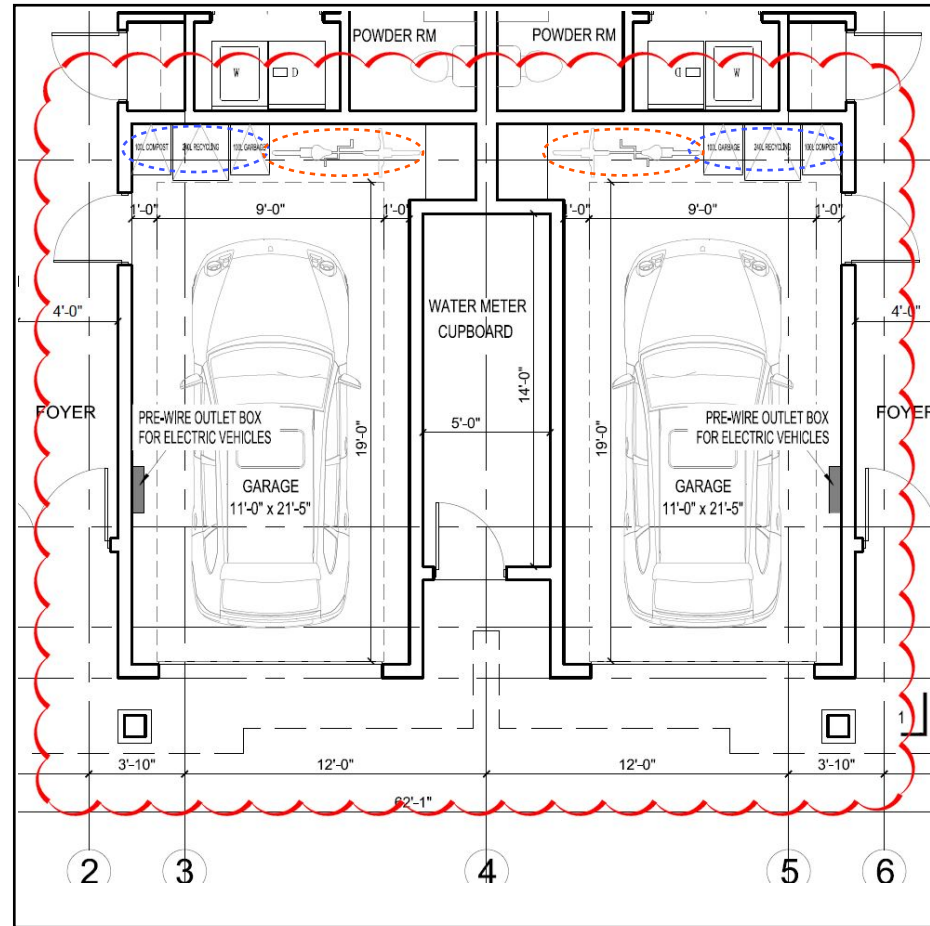


UNIT TYPE E



# GARAGE DETAIL per UNIT TYPE

## UNIT TYPE F



- 2X12" FASCIA BOARD  
COLOUR: OFF WHITE
- PAINTED HARD-PLANK  
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 8" X 8" ALUM. GUTTERS  
COLOUR: WHITE
- ALUM. SOFFIT TYP.  
COLOUR: OFF WHITE
- 6" HARD-PLANK AROUND  
WINDOWS & DOORS  
COLOUR: OFF WHITE
- HARDI BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE
- HARDI BOARD COLUMN CAP  
COLOUR: OFF WHITE
- FIBREGLASS DOOR

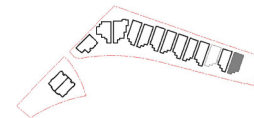


UNIT 01 (TYPE A) FRONT ELEVATION

- Colour Scheme 2**
- 1. Roof Gable: Vinyl Siding - Royal® Yellow Birch
  - 2. Exterior Wall: Vinyl Siding - Cobble® Stone
  - 3. Sillae: Cultured Stone® Country-EdgeStone/Skyline



STONE TILE STEPS



- 2X12" FASCIA BOARD  
COLOUR: OFF WHITE
- PAINTED HARD-PLANK  
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 8" X 8" ALUM. GUTTERS  
COLOUR: WHITE
- ALUM. SOFFIT TYP.  
COLOUR: OFF WHITE
- 6" HARD-PLANK AROUND  
WINDOWS & DOORS  
COLOUR: OFF WHITE
- HARDI BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE
- HARDI BOARD COLUMN CAP  
COLOUR: OFF WHITE
- FIBREGLASS DOOR



UNIT 02 (TYPE A) FRONT ELEVATION

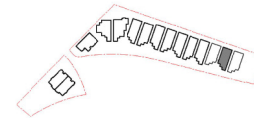
- Colour Scheme 2**
- 1. Roof Gable: Vinyl Siding - Royal® Yellow Birch
  - 2. Exterior Wall: Vinyl Siding - Cobble® Stone
  - 3. Sillae: Cultured Stone® Country-EdgeStone/Skyline



WOOD BRACKET  
Colour - Off White



STONE TILE STEPS



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SUB-CONSULTANT			
SUB-CONSULTANT			
SUB-CONSULTANT			
KEY PLAN			
RECEIVED <b>DP 1230</b> 2021-OCT-15			
PROJECT TITLE			
5763 Linley Valley Drive			
PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHKD BY: XINMAI			
SCALE: 1/4"=1'-0"			
DATE: APRIL 2021			
SHEET TITLE			
TYPE A MATERIAL RENDERING			
SHEET NUMBER		REV.	
A-R 1.1			

- 2X12 FASCIA BOARD  
COLOUR: OFF WHITE
- PAINTED HARD PLANK  
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 5" X 5" ALUM. GUTTERS  
COLOUR: WHITE
- ALUM. SOFFIT TYP.  
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND  
WINDOWS & DOORS  
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP  
COLOUR: OFF WHITE
- FIBREGLASS DOOR



UNIT 03 (TYPE A) FRONT ELEVATION

**Colour Scheme 2**

1. Roof Gable: Vinyl Siding - Ravelli Yellow Birch
2. Exterior Wall: Vinyl Siding - Concord Stone
3. Stone: Cultured Stone® Country-Iedgewise/Skyline



WOOD BRACKET  
Colour - Off White



VINYL SIDING



VINYL SIDING

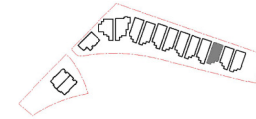


CULTURED STONE



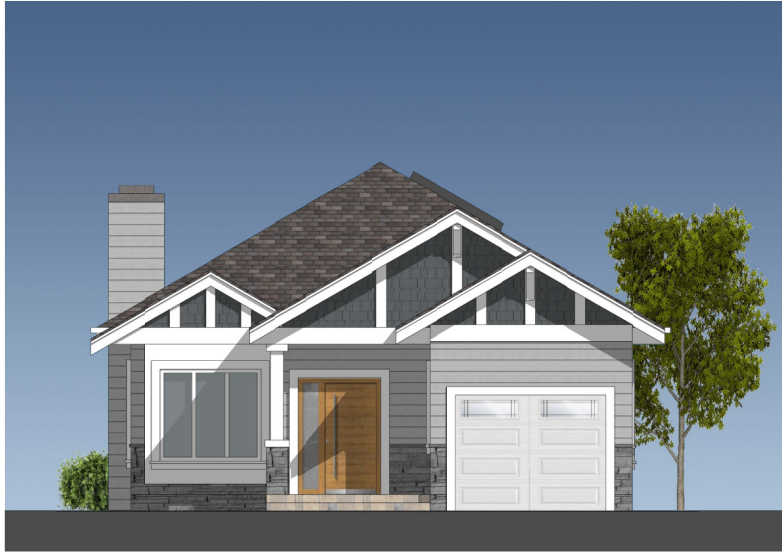
GARAGE DOOR

STONE TILE STEPS



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SUB-CONSULTANT			
SUB-CONSULTANT			
KEY PLAN			
RECEIVED DP 1230 2021-OCT-15			
PROJECT TITLE			
5763 Linley Valley Drive			
PROJECT NO: 82002 B			
DRAWN BY: JAMES MA			
CHKD BY: XINMAI			
SCALE: 1/4"=1'-0"			
DATE: APRIL 2021			
SHEET TITLE			
TYPE A1 MATERIAL RENDERING			
SHEET NUMBER			REV.
A-R 1.2			

- 2X12 FASCIA BOARD  
COLOUR: OFF WHITE
- PAINTED HARD PLANK  
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 6" X 6" ALUM. GUTTERS  
COLOUR: WHITE
- ALUM. GOFFIT TYP.  
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND  
WINDOWS & DOORS  
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP  
COLOUR: OFF WHITE
- FIBERGLASS DOOR



UNIT 04&06&09 (TYPE B) FRONT ELEVATION

Colour Scheme 2  
 1. Roof Gable: Vinyl Shake - Royal Yellow Birch  
 2. Exterior Wall: Vinyl Siding - Cranberry Shale  
 3. Stone: Cultured Stone® Country-Iedgestone/Skyline



- 2X12 FASCIA BOARD  
COLOUR: OFF WHITE
- PAINTED HARD PLANK  
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 6" X 6" ALUM. GUTTERS  
COLOUR: WHITE
- ALUM. GOFFIT TYP.  
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND  
WINDOWS & DOORS  
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP  
COLOUR: OFF WHITE
- FIBERGLASS DOOR



UNIT 05&08 (TYPE B) FRONT ELEVATION

Colour Scheme 2  
 1. Roof Gable: Vinyl Shake - Royal Yellow Birch  
 2. Exterior Wall: Vinyl Siding - Cranberry Shale  
 3. Stone: Cultured Stone® Country-Iedgestone/Skyline



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SUB-CONSULTANT						
KEY PLAN						
<b>RECEIVED</b> <b>DP 1230</b> <b>2021-OCT-15</b>						
PROJECT TITLE						
5763 Linley Valley Drive						
PROJECT NO: 82002 B						
DRAWN BY: JAMES MA						
CHKD BY: XINMAI						
SCALE: 1/4"=1'-0"						
DATE: APRIL 2021						
SHEET TITLE						
TYPE B MATERIAL RENDERING						
SHEET NUMBER						REV.
A-R 1.3						



- 2X12 FASO BOARD  
COLOUR: OFF WHITE
- PAINTED HARD PLANK  
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 8" X 8" ALUM. GUTTERS  
COLOUR: WHITE
- ALUM. SOFFIT TYP.  
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND  
WINDOWS & DOORS  
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP  
COLOUR: OFF WHITE
- FIBREGLASS DOOR

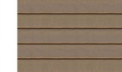


UNIT 07&10 (TYPE B) FRONT ELEVATION

- Colour Scheme 2
1. Roof Gable: White Shale - Royal Yellow Birch
  2. Exterior Wall: Vinyl Siding - Cultured Stone
  3. Stone: Cultured Stone® Country-Irdgestone/Skyline



VINYL SHAKE



VINYL SIDING

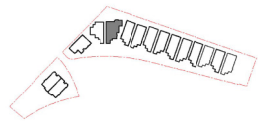
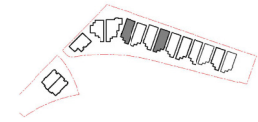


CULTURED STONE

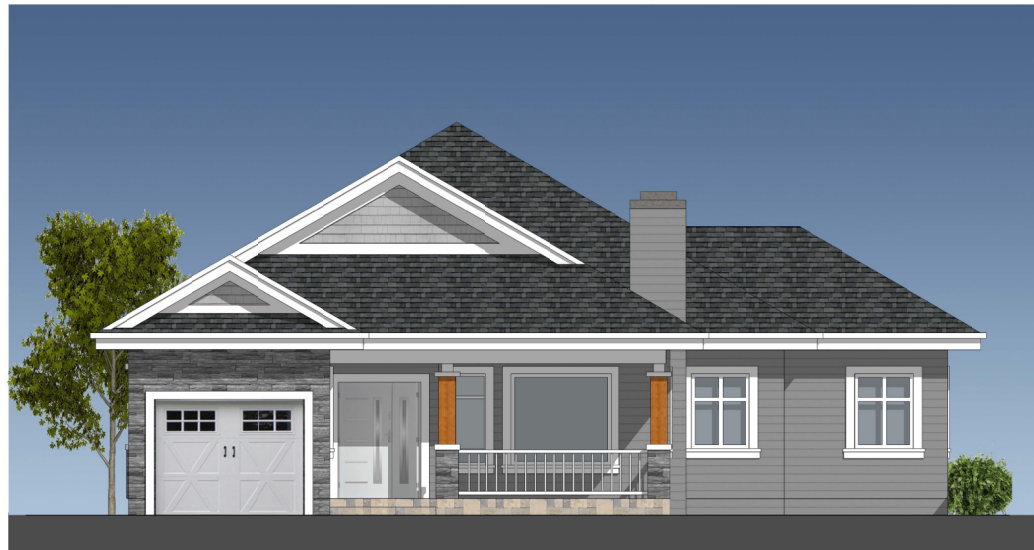


GARAGE DOOR

STONE TILE STEPS

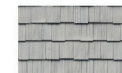


- 2X12 FASO BOARD  
COLOUR: OFF WHITE
- PAINTED HARD PLANK  
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 8" X 8" ALUM. GUTTERS  
COLOUR: WHITE
- ALUM. SOFFIT TYP.  
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND  
WINDOWS & DOORS  
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP  
COLOUR: OFF WHITE
- FIBREGLASS DOOR



UNIT 11 (TYPE C) FRONT ELEVATION

- Colour Scheme 2
1. Roof Gable: White Shale - Royal Yellow Birch
  2. Exterior Wall: Vinyl Siding - Cultured Stone
  3. Stone: Cultured Stone® Country-Irdgestone/Skyline



VINYL SHAKE



VINYL SIDING



CULTURED STONE



GARAGE DOOR

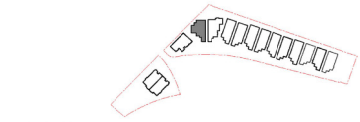
STONE TILE STEPS

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SUB-CONSULTANT		
SUB-CONSULTANT		
KEY PLAN		
PROJECT TITLE	5763 Linley Valley Drive	
PROJECT NO:	82002 B	
DRAWN BY:	JAMES MA	
CHKD BY:	XINMAI	
SCALE:	1/4"=1'-0"	
DATE:	APRIL 2021	
SHEET TITLE	TYPE B / C MATERIAL RENDERING	
SHEET NUMBER	A-R 1.4	
REV		



UNIT 12 (TYPE D) FRONT ELEVATION

- 2X12 FASCIA BOARD  
COLOUR: OFF WHITE
- PAINTED HARD PLANK  
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 5" X 8" ALUM. GUTTERS  
COLOUR: WHITE
- ALUM. SOFFIT, TYP.  
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND  
WINDOWS & DOORS  
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP  
COLOUR: OFF WHITE
- FIBREGLASS DOOR



**Colour Scheme 2**

1. Roof Gable: Vinyl Shake - Royal® Yellow Birch
2. Exterior Wall: Vinyl Siding - Cavetto® Stone
3. Stone: Cultured Stone® Country Indigstone/Skyline

VINYL SHAKE

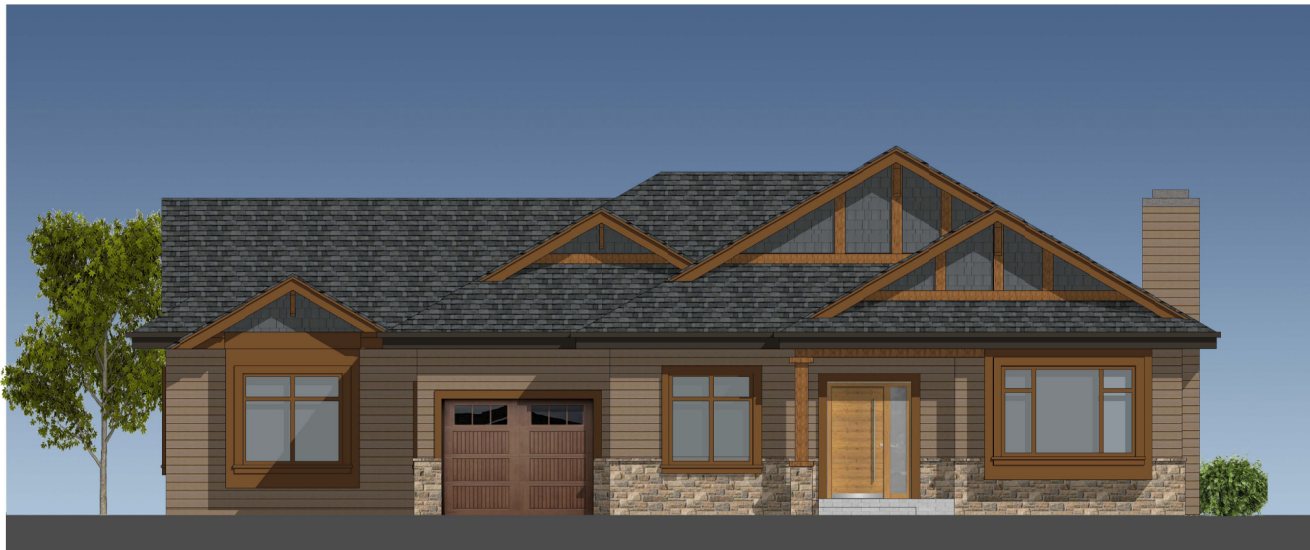
VINYL SIDING

CULTURED STONE

GARAGE DOOR

STONE TILE STEPS

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SUB-CONSULTANT		
SUB-CONSULTANT		
SUB-CONSULTANT		
KEY PLAN		
<p>RECEIVED <b>DP1230</b> 2021-OCT-15 Contract Planning</p>		
PROJECT TITLE		
5763 Linley Valley Drive		
PROJECT NO:	82002 B	
DRAWN BY:	JAMES MA	
CHKD BY:	XINMAI	
SCALE:	1/4" = 1'-0"	
DATE:	JUNE 2021	
SHEET TITLE		
TYPE D / E MATERIAL RENDERING		
SHEET NUMBER	REV.	
A-R 1.5		



UNIT 13 (TYPE E) FRONT ELEVATION

- 2X12 FASCIA BOARD  
COLOUR: OFF WHITE
- PAINTED HARD PLANK  
COLOUR: OFF WHITE
- ASPHALT SHINGLES
- 5" X 8" ALUM. GUTTERS  
COLOUR: WHITE
- ALUM. SOFFIT, TYP.  
COLOUR: OFF WHITE
- 6" HARD PLANK AROUND  
WINDOWS & DOORS  
COLOUR: OFF WHITE
- HARD BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE
- HARD BOARD COLUMN CAP  
COLOUR: OFF WHITE
- FIBREGLASS DOOR



**Colour Scheme 2**

1. Roof Gable: Vinyl Shake - Royal® Yellow Birch
2. Exterior Wall: Vinyl Siding - Cavetto® Stone
3. Stone: Cultured Stone® Country Indigstone/Skyline

WOOD BRACKET

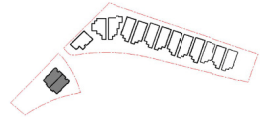
VINYL SHAKE

VINYL SIDING

CULTURED STONE

GARAGE DOOR

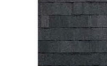
STONE TILE STEPS



2X12 FASCIA BOARD  
COLOUR: OFF WHITE



PAINTED HARD PLANK  
COLOUR: OFF WHITE



ASPHALT SHINGLES

3" X 6" ALUM. GUTTERS  
COLOUR: WHITE



ALUM. SOFFIT TYP  
COLOUR: OFF WHITE

1" HARD PLANK MOUNTED  
WINDOWS & DOORS  
COLOUR: OFF WHITE

HARD BOARD WRAPPED COLUMNS  
COLOUR: OFF WHITE

HARD BOARD COLUMN CAP  
COLOUR: OFF WHITE

FIBREGLASS DOOR



FIBREGLASS DOOR

**Color Scheme**

- 1. Roof Gables: Vinyl Shake - Royal Yellow Birch
- 2. Exterior Wall: Vinyl Siding - Caledon Blue
- 3. Stone: Cultured Stone - Country Sage/Stone/Skyline



VINYL SHAKE



VINYL SIDING



CULTURED STONE



STONE TILE STEPS

2	201-08	DP REVISION 01
1	22104	ISSUED FOR DP

NO.	DATE	DESCRIPTION
-----	------	-------------

ISSUES

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CLIENT: 2021-10-15

**GUD Group**  
360-888 West Hastings Street  
Vancouver BC V6C 2S6 Canada  
tel: +1 604-698-0208  
fax: +1 604-698-0200

MAIN CONSULTANT

SUB-CONSULTANT

KEY PLAN



PROJECT TITLE  
**5763 Linley Valley Drive**

PROJECT NO: 82002 B  
DRAWN BY: JAMES MA  
CHKD BY: XINMAI  
SCALE: 1/4" = 1'-0"  
DATE: JUNE 2021

SHEET TITLE  
**TYPE F  
MATERIAL  
RENDERING**

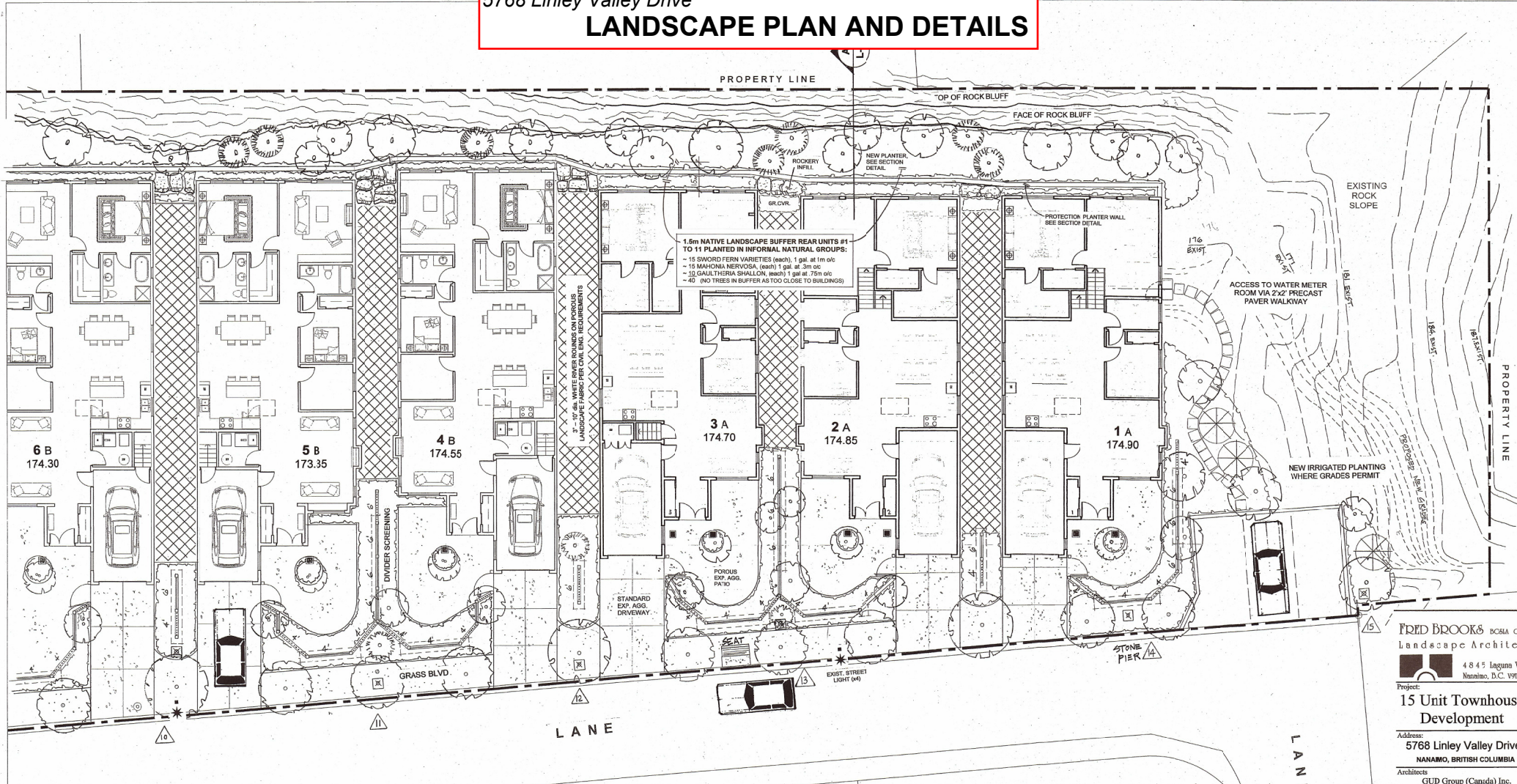
SHEET NUMBER  
**A-R 1.6**



DOOR TO WATER  
METER CUPBOARD

UNIT 14&15 (TYPE F) FRONT ELEVATION

Development Permit No. DP001230 Schedule D  
 5768 Linley Valley Drive  
**LANDSCAPE PLAN AND DETAILS**



1.5m NATIVE LANDSCAPE BUFFER REAR UNITS #1 TO 11 PLANTED IN INFORMAL NATURAL GROUPS:  
 - 15 SWORD FERN VARIETIES (each), 1 gal. at 1m o/c  
 - 15 MAHONIA NERVOSA (each) 1 gal. at 3m o/c  
 - 35 GAULThERIA SHALLOON (each) 1 gal. at 75m o/c  
 - 40 (NO TREES IN BUFFER AS TOO CLOSE TO BUILDINGS)

6 B  
174.30

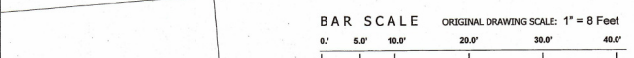
5 B  
173.35

4 B  
174.55

3 A  
174.70

2 A  
174.85

1 A  
174.90



LANDSCAPE CONCEPT PLAN

A - The guiding landscape objective for this wide south-facing site is to create the best opportunity for each residence to enjoy the natural benefit of a large private sunny ground level patio while creating a harmonious garden frontage along this semi-private lane. Each front patio is screened from one another, and the front lane with a mixture of lattice and solid fence panels of mixed heights topped with varying runs of overhead vine arbours for added privacy and seasonal colour. Wood structures to be stained with colourful pastel shades rather than traditional natural or brown.

NOTE - FULL TECHNICAL PLANTING PLANS TO BE SUPPLIED TO CURRENT PLANNING DEPT. AT TIME OF SUBMISSION OF ARCHITECTURAL / ENGINEERING DWGS FOR PHASE1 BUILDING PERMIT APPLICATIONS. THIS WILL ENSURE PLANTING PLANS TO BE IN OPTIMUM AGREEMENT WITH ARCHITECT'S FINAL DRAWINGS & OTHER PREVAILING SITE CONDITIONS.

FRED BROOKS BCSIA CREA  
 Landscape Architect

4845 Laguna Way  
 Nanaimo, B.C. V9T 5C2

Project:  
**15 Unit Townhouse Development**

Address:  
 5768 Linley Valley Drive  
 NANAIMO, BRITISH COLUMBIA

Architects:  
 GUD Group (Canada) Inc.  
 800-838 West Hastings St.  
 Vancouver, B.C.

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 2021-NOV-23  
 Current Planning

SCALE: 1/8" = 1' (Orig.)  
 DWG DATE: 11 January 2021

ISSUE DATE: 17 November 2021

Issued for:  
**DEVELOPMENT PERMIT**  
 APPLICATION ONLY  
 17 November 2021  
 NOT ISSUED FOR B.P., TENDER OR CONSTRUCTION PURPOSES

Drawing title:  
**LANDSCAPE CONCEPT SITE PLAN UNITS 1 - 5**

Sheet number:  
**L - 1 OF 6**

PROPERTY LINE

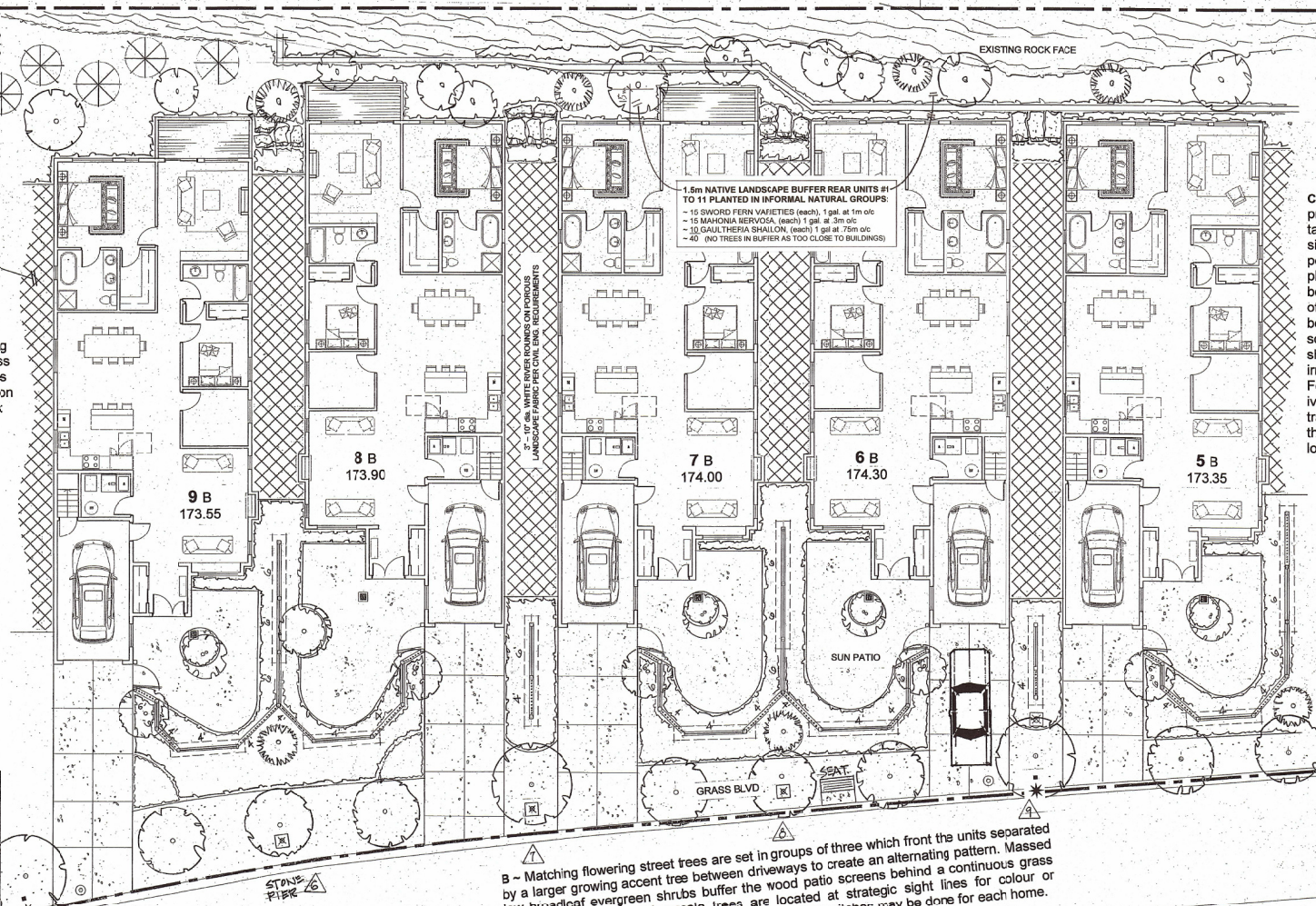
EXISTING ROCK FACE

D - (See cross hatch pattern between units)  
 Planning-wise, the lane homes are set with an eight-foot horizontal separation between exterior walls creating a very long narrow corridor between neighbouring walls and windows with much of the ground plane overshadowed with the roof overhangs resulting in a not so ideal landscaping condition. As there is no need to have regular access from front to rear, it is proposed to treat these spaces in a practical manner with "décor white river rounds on drainrock base which provides the following benefits:

- 1) ~ Supports site water absorption rate engineering calculations
- 2) ~ Saves unnecessary soil, irrigation and maintenance costs
- 3) ~ Contributes to personal window privacy by eliminating unnecessary worker access
- 4) ~ In the event of proposing using real grass, eliminates weekly mowing & leaf blower noise and fumes, raking and other bothersome maintenance activities.

\* Revised 15 June 2021

BAR SCALE ORIGINAL DRAWING SCALE: 1" = 8 Feet  
 0' 5.0' 10.0' 20.0' 30.0' 40.0'



1.5m NATIVE LANDSCAPE BUFFER REAR UNITS #1 TO 11 PLANTED IN INFORMAL NATURAL GROUPS:  
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 - 15 MAHONIA REPOVODA (each) 1 gal. at 3m o/c  
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 - 40 (ING) TREES IN BUFFER AS TOO CLOSE TO BUILDINGS

2" - 10" W/ WHITE RIVER ROUNDS ON PORCIS LANDSCAPE FABRIC PER CIVIL ENG. REQUIREMENTS

B - Matching flowering street trees are set in groups of three which front the units separated by a larger growing accent tree between driveways to create an alternating pattern. Massed low broadleaf evergreen shrubs buffer the wood patio screens behind a continuous grass boulevard. Smaller garden-scale trees are located at strategic sight lines for colour or textured accents. Electrical garden outlets on interior switches may be done for each home.

C - For instant patio or rear deck privacy, black metal-framed 4'x7' tall frosted glass panels disrupt sight lines while allowing light penetration and mutually shared plant effects (see plan). Due to bedrock conditions along the rear of the site these glass panels will be encircled by sufficiently deep soil for garden-scale trees and shrubs within built up onsite irrigated rocky planters. For added planting effect Boston ivy and Virginia creeper will be trained toward and upward onto the rear vertical rock face of the long north property line.



FRED BROOKS B.C.B.A. C.B.L.A.  
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Project:  
**15 Unit Townhouse Development**  
 Address:  
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 NANAIMO, BRITISH COLUMBIA

Architects:  
 GUD Group (Canada) Inc.  
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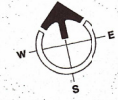
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 DWG DATE: **11 January 2021**

ISSUE DATE: **17 November 2021**  
 Drawing title:

**LANDSCAPE CONCEPT SITE PLAN UNITS 5 - 9**

Sheet number:  
**L - 2 OF 6**

LANDSCAPE CONCEPT PLAN

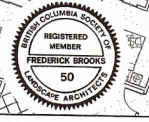
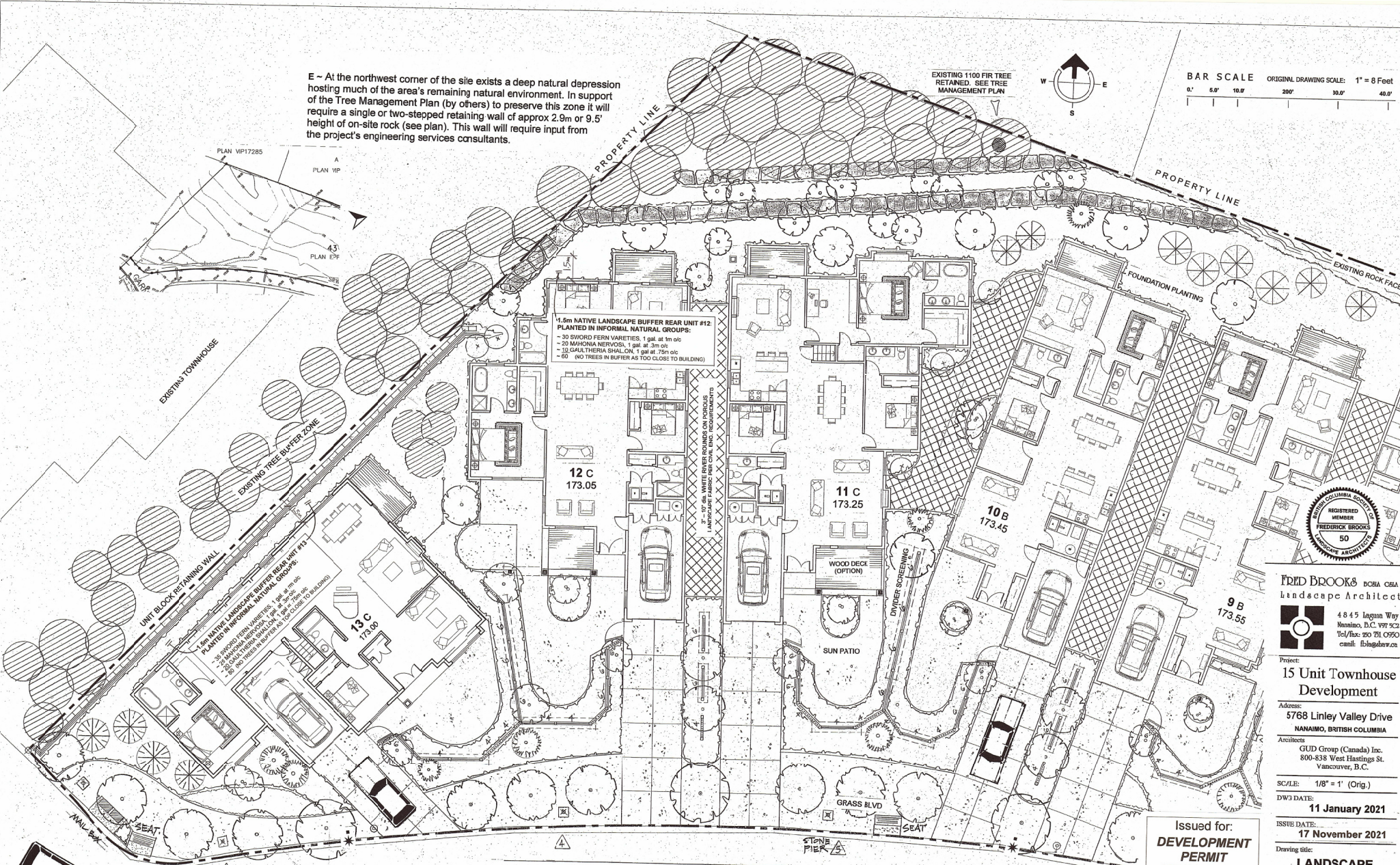


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E - At the northwest corner of the site exists a deep natural depression hosting much of the area's remaining natural environment. In support of the Tree Management Plan (by others) to preserve this zone it will require a single or two-stepped retaining wall of approx 2.9m or 9.5' height of on-site rock (see plan). This wall will require input from the project's engineering services consultants.

BAR SCALE ORIGINAL DRAWING SCALE: 1" = 8' Feet  
 0' 5.0' 10.0' 20.0' 30.0' 40.0'



**FRED BROOKS** BCBA CSBA  
 Landscape Architect  
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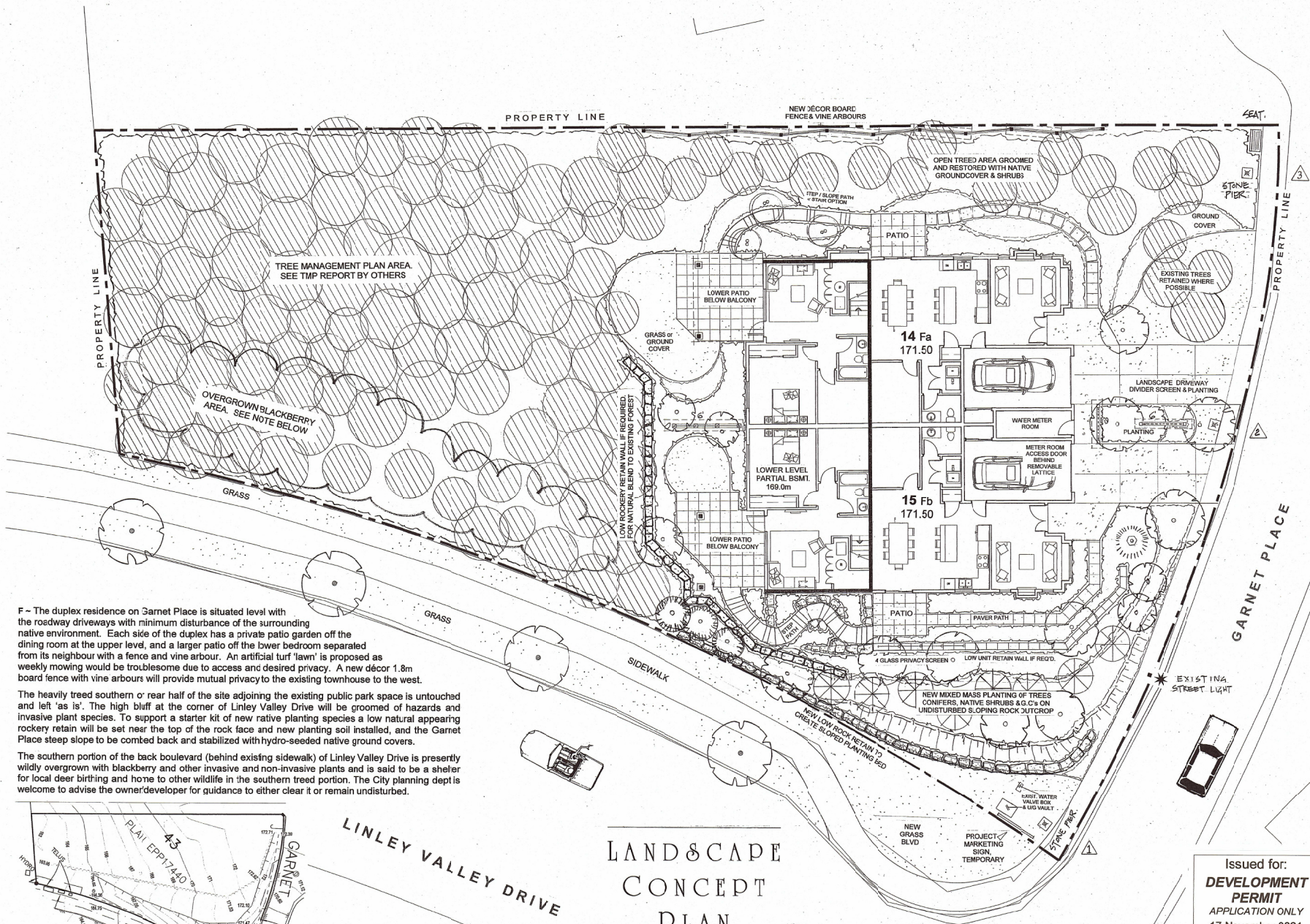
**LANDSCAPE CONCEPT SITE PLAN UNITS 9 - 13**

Sheet number:  
**L - 3 OF 6**

# LANDSCAPE CONCEPT PLAN

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 2021-NOV-23

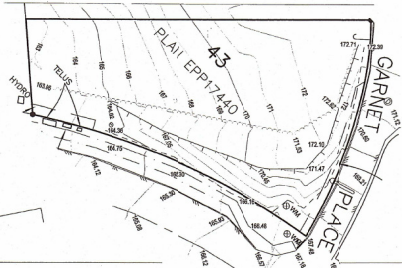
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F - The duplex residence on Garnet Place is situated level with the roadway driveways with minimum disturbance of the surrounding native environment. Each side of the duplex has a private patio garden off the dining room at the upper level, and a larger patio off the bwer bedroom separated from its neighbour with a fence and vine arbour. An artificial turf 'lawn' is proposed as weekly mowing would be troublesome due to access and desired privacy. A new décor 1.8m board fence with vine arbours will provide mutual privacy to the existing townhouse to the west.

The heavily treed southern or rear half of the site adjoining the existing public park space is untouched and left 'as is'. The high bluff at the corner of Linley Valley Drive will be groomed of hazards and invasive plant species. To support a starter kit of new native planting species a low natural appearing rocky retain will be set near the top of the rock face and new planting soil installed, and the Garnet Place steep slope to be combed back and stabilized with hydro-seeded native ground covers.

The southern portion of the back boulevard (behind existing sidewalk) of Linley Valley Drive is presently wildly overgrown with blackberry and other invasive and non-invasive plants and is said to be a shelter for local deer birthing and home to other wildlife in the southern treed portion. The City planning dept is welcome to advise the owner/developer for guidance to either clear it or remain undisturbed.



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 Landscape Architect  
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 Nanaimo, B.C. V9T 5C2  
 Tel/Fax: 90751 0950  
 email: fbrooks@vax.ca

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**17 November 2021**

Drawing title:  
**LANDSCAPE CONCEPT PLAN  
 DUPLEX 14 / 15**

Sheet number:  
**L - 4 OF 6**

**AUTOMATIC LANDSCAPE IRRIGATION SPECIFICATION**

WORKMANSHIP Fred Brooks LMBCSLA Nanaimo, BC ©

PROPOSED LANDSCAPE IRRIGATION IS A BELOW-GRADE DRIP SYSTEM, ALL ON SEASONAL TIMER CONTROL. POP-UP SPRAY HEADS FOR GRASS ONLY. A DETAILED SPECIFICATION WILL ACCOMPANY TECHNICAL LANDSCAPE DWGS.

The objective is to supply the required amount of water to the landscape planting / soil areas for the successful establishment and continued health of all existing and new plant material without under-watering, over-watering or missed spot watering due to either design, parts or installation factors, timing controls or blockage or screening by existing or new plant material, structures or site grading & contours. It is recommended that the bidder carefully review the site and bid documents and base his price on the overall intent of the drawings and these specifications.

The responsibility of an acceptable operating system rests solely with the on-site installer of the system, and not the designer, unless they are the same party.

Therefore, compliance with or deviation from any drawings is not an acceptable reason for lack of owner's acceptance of part or all of the system when it is charged & declared operational. The landscape irrigation contractor/installer shall ensure the delivery of a fully functional system with all trees and plants receiving adequate water for a healthy landscape.

All system to be single manufacturer brand, TORO quality or approved equal. Be aware that the use of thin wall piping is usually not a savings for the owner in the long run. Selection & use of optimum materials and best workmanship methods in the beginning will usually result in a quality job, avoiding callbacks and plant failure problems when plant material is under landscaper's warranty. **Note on your bid what wall thickness & brand of piping you are proposing to use, as this will be confirmed at installation.**

- 1.2 - Locate all U/G control valve boxes in convenient but unobtrusive locations.
- 1.3 - I.C. shall ensure that all new trees receive not less than 4 litres of water daily during summer growing season, and more water if subject to dry, hot or wind desiccating environment.
- 1.4 - Irrig. Contr. shall provide two sets of "as-built" irrigation drawings and specifications to owner prior to acceptance of system, and provide one copy of manufacturer's control station manual to owner and leave one copy securely attached to controller in clear protective case
- 1.5 - Irrig. Contractor shall provide one year warranty on workmanship and all parts of the system from date of first operational start up of the system, with confirming letter to owner.
- 1.6 - A signed/dated copy of this spec. shall be attached to your quote. I.C.:

**LANDSCAPE SPECIFICATION**

- 1) - Plant material to conform to current BCNTA/BCSLA Guide Spec'n. for Nursery stock.
- 2) - Landscape Contractor shall be responsible to locate all underground services prior to any excavation by referencing available civil drawings (by others) or 'Call First' line at 1 800 474 6886.
- 3) - Landscape Contractor to provide seven days notice to Landscape Architect prior to commencement of landscape site work to allow for site meeting and drawing review, especially regarding possible building architect change orders and non-conforming site conditions.
- 4) - Landscape Contractor shall ensure that all slopes or paved surfaces which may slope or direct surface water into a landscape area shall not collect or puddle in a soil area but be directed and removed to an acceptable dispersment or drainage area via a surface swale or French drain.
- 5) - Planting soil for tree wells shall be structurally and nutritionally capable of encouraging health vigorous plant growth. pH shall range from 5.5 to 7.5.
- 6) - Grass areas (turf or seed) shall have 5" new soil base. Shrub planting areas shall have 16" new soil base. New trees shall have 12" (300 mm.) of new soil around and below the root ball. Tree hole excavations shall drain immediately (field test) to prevent root rot, suffocation and drowning. Hardpan subgrades shall be fractured or trenced in an approved run-off destination before topsoil placement.
- 7) - If B&B, cutall cords and peel back or cut away B&B sacking, and trunk wrap.
- 8) - Apply 'Acer' slow release pellet fertilizer over all planting areas per manufacturer's instructions before applying max. 2" of approved landscape mulch over planting areas.
- 9) - Stake all trees to 6 foot height (1.8m) with approved wood or steel stakes and non-abrasive and non-constricting ties. Nursery pot stakes are not acceptable.
- 10) - Install approved tree stem bark protectors (Arborguard or equal) on all trees in grass or turf areas which will be at risk of weed-eater type tools, lawnmower strikes, and deer or rodents.
- 11) - Remove all nursery marker flags but leave on plant name tags.
- 12) - All plant material shall be guaranteed in writing to the owner for one year against death due to unhealthy supply and/or improper installation conditions and/or wrong selection of species or variety or plants. One year period begins at date of Landscape Contractor's final invoice.

Landscape Contractor: \_\_\_\_\_ Date: \_\_\_\_\_

**Landscape Concept ~**

A - The guiding landscape objective for this wide south-facing site is to create the best opportunity for each residence to enjoy the natural benefit of a large private sunny ground level patio while creating a harmonious garden frontage along this semi-private lane. Each front patio is screened from one another and the front lane with a mixture of lattice and solid fence panels of mixed heights topped with varying runs of overhead vine arbours for added privacy and seasonal colour. Electrical garden outlets on interior switches may be done for each home. Wood patio privacy structures to be stained with colourful pastel shades rather than traditional natural or brown tones.

B - Matching flowering street trees are set in groups of three which from the units separated by a larger growing accent tree behind driveway to create an alternating pattern. Mixed low broadleaf shrubs through buffer the wood pool screens behind a continuous grass boulevard. Smaller garden-scale trees are located at strategic sight lines for colour or textured accents.

C - For instant patio or rear deck privacy, black metal-framed 4'x7' flat frosted or 'water glass' panels will disrupt sight lines while allowing light penetration and mutually shaded plant effects (see rear wood deck plan). Due to bedrock conditions along the rear of the site these glass panels will be anchored by sufficiently deep soil for garden-scale trees and shrubs within built up create irrigated rocky planters. For added planting effect Boston ivy and Virginia creeper will be trained toward and upward onto the near-vertical rock face of the long north property line.

D - 'See cross hatch pattern between units' Planning-wise, the lane homes are set with an eight-foot horizontal separation between exterior walls creating a very long narrow alley between neighbouring walls and windows with much of the ground plane overshadowed with the roof overhangs resulting in a not so ideal landscaping condition. As there is no need to have regular access from front to rear, it is proposed to treat these spaces in a practical manner with décor white river rounds on drainrock base which provides the following benefits:

- 1 - Supports site water absorption rate engineering calculations
- 2 - Saves unnecessary soil, irrigation and maintenance costs
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E - At the northwest corner of the site exists a deep natural depression hosting much of the area's remaining natural environment. In support of the *Tree Management Plan (by others)* to preserve this zone the site will require a single or two-stepped retaining wall of approx. 2.8m or 9.5' full height comprised of on-site rock (see plan). This wall will require input from the project's engineering services.

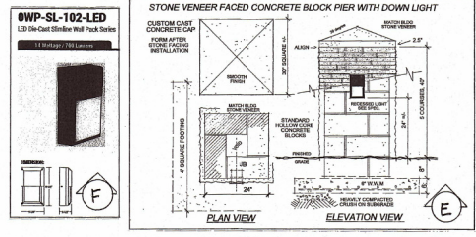
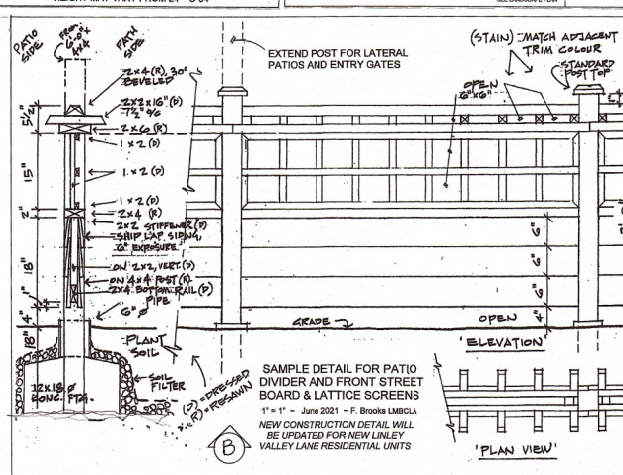
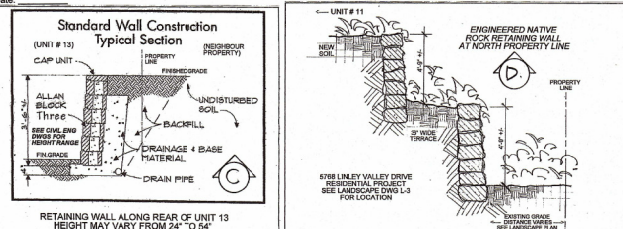
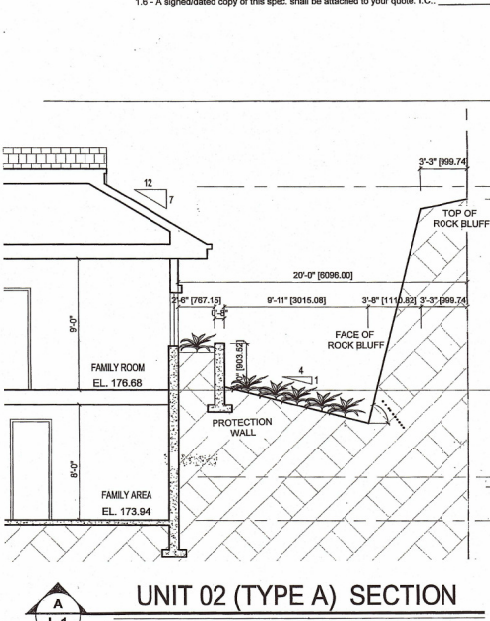
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The southern portion of the back boulevard (behind existing sidewalk) or Linley Valley Drive is presently wildly overgrown with blackberry and other invasive and non-invasive plants and is said to be a shelter for local deer biting and home to other wildlife in the southern forest portion. The City planning dept is welcome to advise the owner/developer for guidance to either clear it or remain undisturbed.

FRED BROOKS LMBCSLA Nanaimo, B.C. 20 September, 2021 (revised)

LANDSCAPE PLANT LIST FOR SELECTION AT WORKING DWG STAGE			
LINE	BOTANICAL NAME	COMMON NAME	SIZE
<b>TREES - DECIDUOUS</b>			
1	Acer rubrum	red maple	15
2	Acer circinatum	vine maple	5
3	Acer palmatum atro.	Japanese maple, red	15
4	Acer palmatum atro.	Japanese maple, green	7
5	Cornus nutallii 'eddie'	Dogwood Eddie's white wonder	15
6	Liliodendron tulipifera	tulip tree	15
7	Magnolia sieboldii	Cyrama magnolia	5
8	Parrotia persica	Persian parrotia	7
9	Prunus Shirotae	flowering cherry	7
10	Rhus typhina	sumac	7
11	Saphora japonica regent	Pagoda tree	15
<b>TREES &amp; SHRUBS - CONIFEROUS</b>			
13	Pinus nigra 'fastigiata'	Austrian pine 'upright'	7
14	Sciadopitys verticillata	Japan umbrella pine	7
15	Pinus nigra	Black pine	7
17	Juniperus Chinesis	spreading juniper	3
18	Pseudotsuga menziesii	Douglas fir	5
<b>SHRUBS - BROAD LEAF EVERGREEN</b>			
21	Acuba japonica 'gold spot'	gold spot acuba	3
22	Eucarymus 'emerald & gold'	low ht variety	2
23	Eucarymus 'emerald galaxy'	med ht variety	2
24	Rhodo - mid-size habit	rhododendron, mix	5
25	Pieris japonica Mtn. Fire	lily valley shrub	3
26	Prunus laurocer. 'zabeliana'	Zabel's laurel	3
27	Skimmia reevesiana	skimmia	3
28	Viburnum davidii	David's viburnum	3
<b>SHRUBS - DECIDUOUS</b>			
31	Azalea knaphill & exbury	decid azalea	3
32	Cornus alba elegansissima	variegated dogwood shrub	3
33	Rosaaceae, semi-deciduous	Midland rose	3
34	Hydrangea macrophyllum	hydrangea	3
35	Hibiscus syriacus	hibiscus	3
36	Magnolia stellata	star magnolia	3
<b>GROUNDCOVER &amp; VINES</b>			
38	Fern varieties	large evergreen	1
40	Gaultheria shallon	Salal (fibers)	1
41	Malthonia aquifolium	Oregon grape	1
42	Malthonia nervosa	Malthonia, low	1
43	Partheocissus cingefolia	Virginia creeper	1
45	Clematis varieties, mixed	clematis vine	1
47	Seeded wildflower meadow mix from Richardson Seed		1
<b>PERENNIALS</b>			
48	Rudbeckia 'goldstrum'	Rudbeckia/Leucanthium	1
51	Hosta varieties selected		1
52	Other perennial selections at planting time		1



**FRED BROOKS** LMBCSLA CMA  
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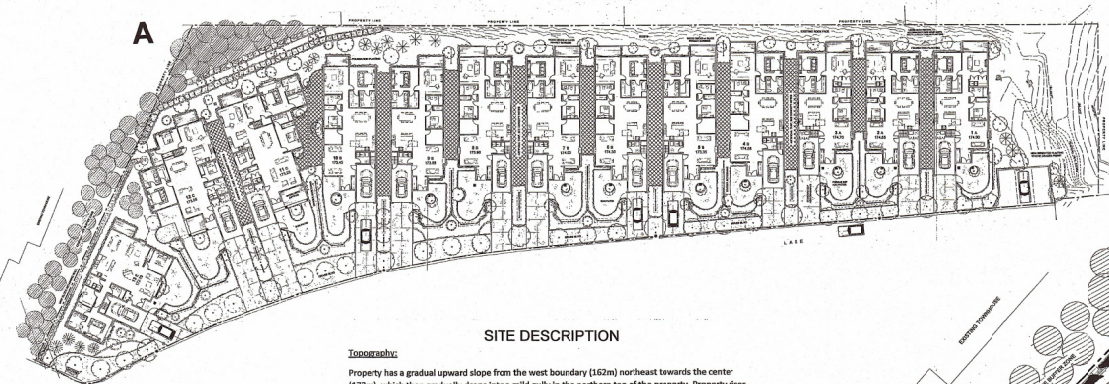
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SCALE: - Noted -  
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**LANDSCAPE SPECIFICATIONS & DETAILS**

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**L - 5 OF 6**





**SITE DESCRIPTION**

Topography:

Property has a gradual upward slope from the west boundary (162m) northeast towards the center (173m), which then gradually drops into a mild gully in the northern top of the property. Property sits out of the gully towards the east and levels off into a previously blasted level area. There is an exposed rock bluff boundary along the eastern portion near the north boundary and approaching the east property boundary.

Soils and Morphology:

Eastern half of property has been previously stripped down to bedrock layer. Western half of property assumed to be relatively shallow soils over bedrock with deeper soil pockets in low areas.

Water (lakes, streams, creeks):

There are no watercourses on property. No watercourses in close proximity to property boundaries.

Wildlife habitat (e.g. nesting trees, deer):

No active nests were observed during tree inventory assessment.

No evidence of Heron/Raptor presence observed during assessment.

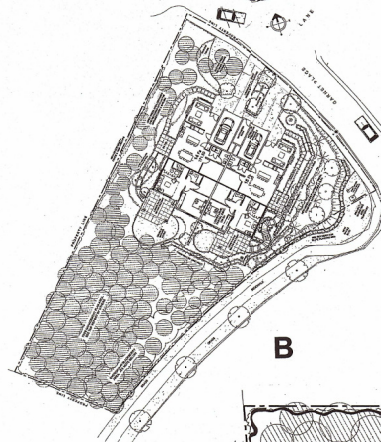
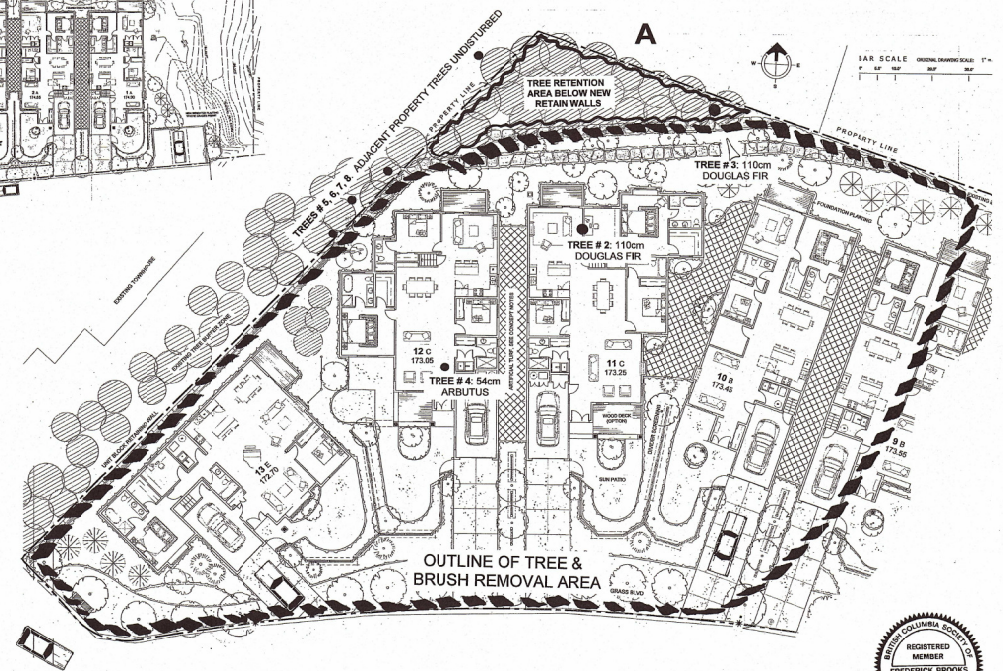
Natural Features/Visual values:

Some views of marsh wetland park area to the south and southwest.

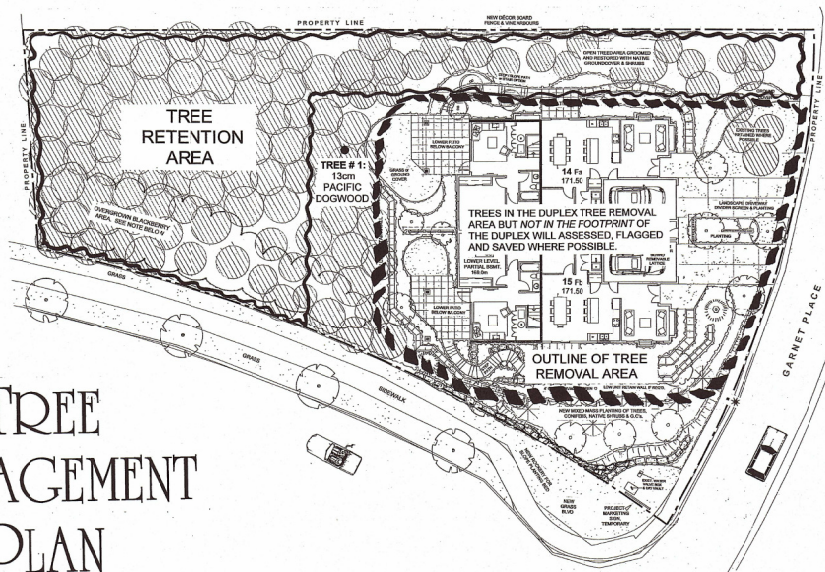
Vegetation (overstorey/understorey - size, species, density):

Property displays a mix of Douglas fir, western red cedar, and arbutus. Minimal understorey vegetation.

Common vegetation within treed areas of property include patches of salal, with some blackberry and grass throughout western roadside open areas.



**B**



**TREE MANAGEMENT PLAN**

NOISE TO BE ADDED ON EACH TREE PROTECTION BARRIER (NUMBER OF FEET, 175CM MINIMUM SIZE)

**NO ENTRY**  
TREE PROTECTION AREL NO GRADE CHANGE, STORAGE OF MATERIAL OR EQUIPMENT IS PERMITTED WITHIN THIS FENCED AREA. TREE PROTECTION BARRIERS MUST REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.

SIZE OF TREE PROTECTION ZONE BASED ON TREE DIAMETER

**TREE PROTECTION FINISHES:**  
PRIOR TO CONSTRUCTION TAKING PLACE ON THE SITE A PROTECTION FENCE (SEE SPECIFICATIONS BELOW) SHALL BE INSTALLED ON THE SITE ACCORDING TO THE LAYOUT ON THE DRAWING ALONG THE EXISTING GRADE. PRIOR TO THE INSTALLATION OF THE FENCE, THE LAYOUT SHALL BE REVIEWED BY THE CITY OF NANAIMO URBAN FORESTRY CO-ORDINATOR. THE PROJECT MANAGER WILL INSTRUCT ALL TRUCKS ON THE IMPORTANCE OF FOLLOWING THESE PROTECTION MEASURES. ALL TRUCKS WILL BE REQUIRED TO BRACKET THESE CONCAVITIES OF THIS PLAN.

- HEIGHT OF FENCE TO BE 1.2m (4ft)
- FENCE TO BE USED FOR VERTICAL POSTS, TOP AND BOTTOM RAILS AND CROSS BRACING (IN AN "X" PATTERN)
- SPACING BETWEEN VERTICAL POSTS TO NOT EXCEED 1.5m (5ft) WITH A MINIMUM SPACING OF 0.9m
- STRUCTURE MUST BE STURDY WITH VERTICAL POSTS DRIVEN FIRMLY INTO THE GROUND.
- CONTRACTOR PLACED HIGH SIGNAGING (E.G. ORANGE ENGINEERING)
- SIGNS ENTITLED "TREE PROTECTION AREA" TO BE POSTED ON FENCE EVERY 15m.
- LOCATION OF FENCE AS SHOWN ON PLAN.

MINIMUM PROTECTION REQUIRED AROUND TREE			
TRUNK DIAMETER (cm)	DISTANCE FROM TRUNK (m)	TRUNK DIAMETER (cm)	DISTANCE FROM TRUNK (m)
20	1.2	50	3.0
25	1.5	65	3.3
30	1.8	80	3.6
35	2.1	95	3.9
40	2.4	110	4.2
45	2.7	130	4.5

**CITY OF NANAIMO**

TREE PROTECTION FINISHES

Scale: 1:500  
 Date: 2021-11-23  
 Drawn: [Name]  
 Checked: [Name]

**Note:**  
 Tree Management Plan assessment requires 88 replacement trees for this site'.  
 A tree count of Landscape Concept dwg:  
 - 1 shows 30 replacement trees  
 - L-2 = 30 replacement trees  
 - L-3 = 35 replacement trees  
 - L-4 Dates = 25 new trees  
 for a total of 120 new trees

**NOTE:**  
 TREE MANAGEMENT INFORMATION SHOWN ON THIS DWG IS FROM TREE MANAGEMENT REPORT PREPARED BY MISSRS SHANE HARRIS & JAYSON FEARON, ISA CERTIFIED ARBORISTS FOR MJR TREE SERVICE ON BEHALF OF OWNERS. PLEASE REFER TO THEIR REPORT FOR FULL DETAILS.

Issued for:  
**DEVELOPMENT PERMIT**  
 APPLICATION ONLY  
 17 November 2021  
 NOT ISSUED FOR B.P., TENDER OR CONSTRUCTION PURPOSES



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 email: f.brooks@atn.ca

Project:  
**15 Unit Townhouse Development**  
 Address:  
**5768 Linley Valley Drive**  
**NANAIMO, BRITISH COLUMBIA**  
 Architects:  
 GUD Group (Canada) Inc.  
 800-878 West Hastings St  
 Vancouver, B.C.

SCALE: ~ Nctd ~  
 DWG DATE:  
**22 February 2021**  
 ISSUE DATE:  
**17 November 2021**

Drawing title:  
**TREE MANAGEMENT PLAN**

Sheet number:  
**L - 6 OF 6**

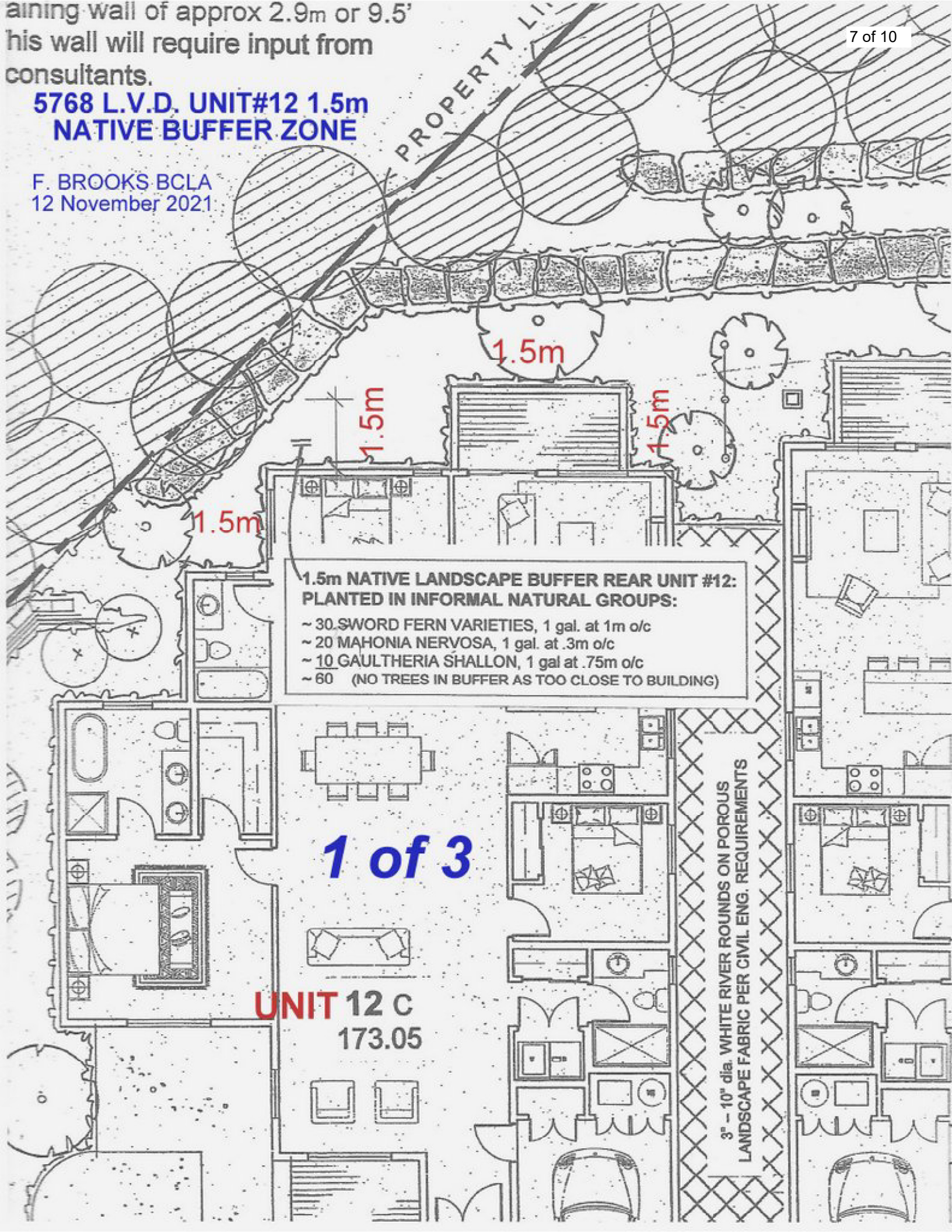
RECEIVED  
**DP1230**  
 2021-NOV-23

aining wall of approx 2.9m or 9.5'  
his wall will require input from  
consultants.

**5768 L.V.D. UNIT#12 1.5m  
NATIVE BUFFER ZONE**

F. BROOKS BCLA  
12 November 2021

PROPERTY LI



# 5768 LVD UNIT # 13 1.5m NATIVE BUFFER ZONE

EXISTING TREE BUFFER ZONE

UNIT BLOCK RETAINING WALL

1.5m

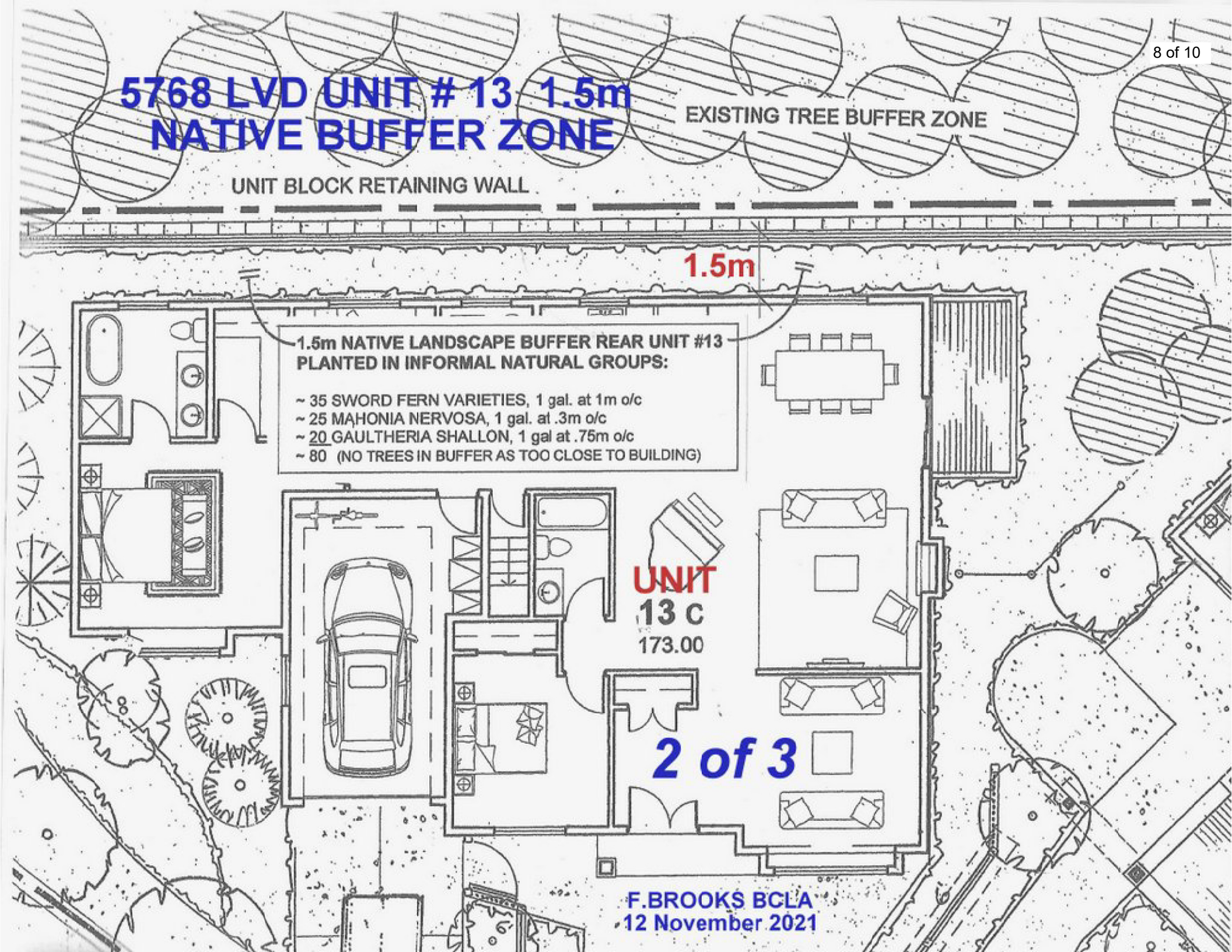
**1.5m NATIVE LANDSCAPE BUFFER REAR UNIT #13  
PLANTED IN INFORMAL NATURAL GROUPS:**

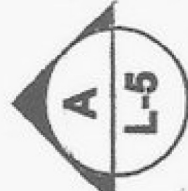
- ~ 35 SWORD FERN VARIETIES, 1 gal. at 1m o/c
- ~ 25 MAHONIA NERVOSA, 1 gal. at .3m o/c
- ~ 20 GAULTHERIA SHALLON, 1 gal at .75m o/c
- ~ 80 (NO TREES IN BUFFER AS TOO CLOSE TO BUILDING)

**UNIT  
13 C  
173.00**

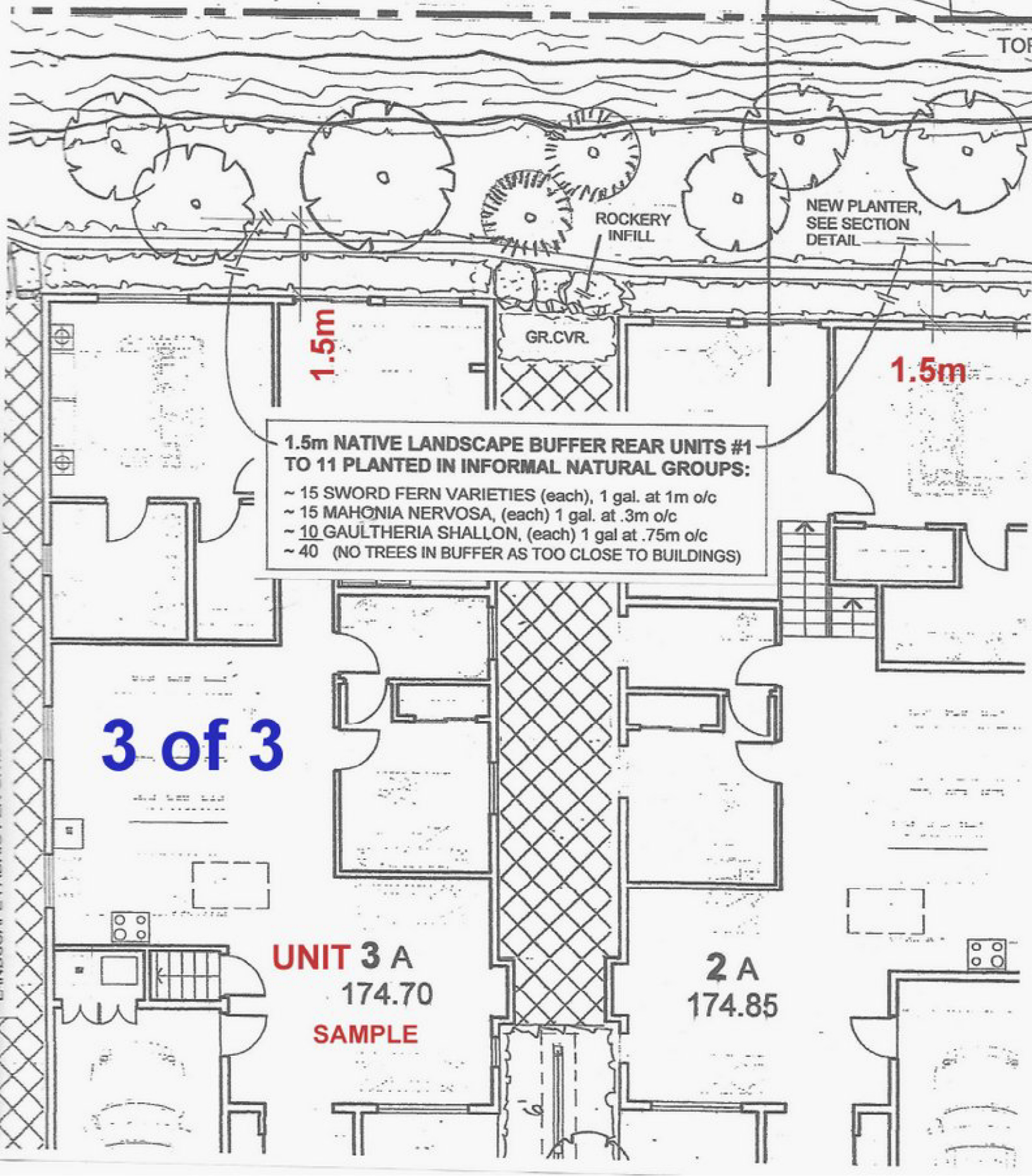
**2 of 3**

**F.BROOKS BCLA  
12 November 2021**





PROPERTY LINE



1.5m

1.5m

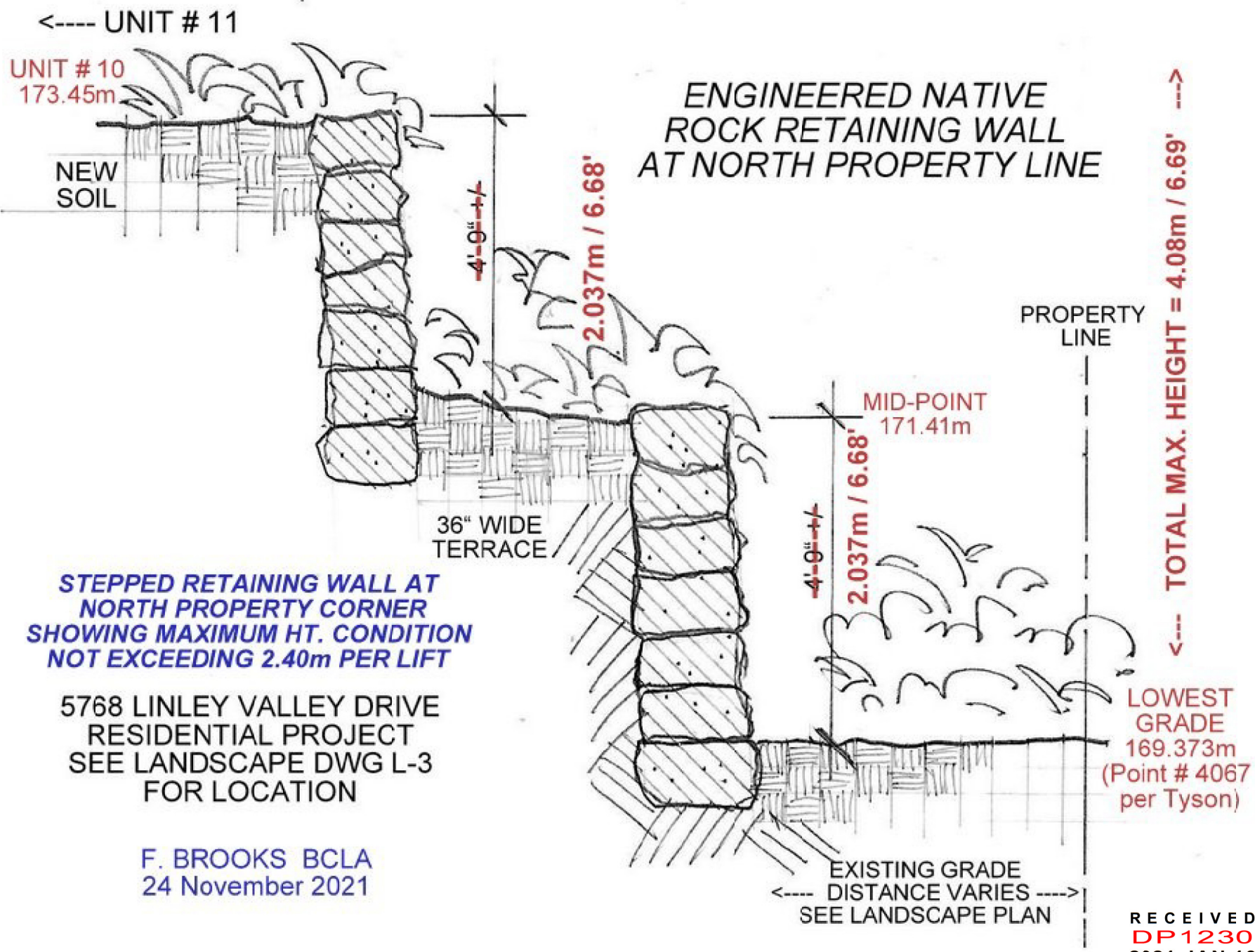
**1.5m NATIVE LANDSCAPE BUFFER REAR UNITS #1 TO 11 PLANTED IN INFORMAL NATURAL GROUPS:**

- ~ 15 SWORD FERN VARIETIES (each), 1 gal. at 1m o/c
- ~ 15 MAHONIA NERVOSA, (each) 1 gal. at .3m o/c
- ~ 10 GAULTHERIA SHALLON, (each) 1 gal. at .75m o/c
- ~ 40 (NO TREES IN BUFFER AS TOO CLOSE TO BUILDINGS)

3 of 3

**UNIT 3 A**  
174.70  
**SAMPLE**

**2 A**  
174.85



**STEPPED RETAINING WALL AT NORTH PROPERTY CORNER SHOWING MAXIMUM HT. CONDITION NOT EXCEEDING 2.40m PER LIFT**

5768 LINLEY VALLEY DRIVE  
RESIDENTIAL PROJECT  
SEE LANDSCAPE DWG L-3  
FOR LOCATION

F. BROOKS BCLA  
24 November 2021

RECEIVED  
DP 1230  
2021-JAN-10  
Current Planning