

DATE OF MEETING [July 26, 2021]

AUTHORED BY [LAINY STEVENSON, PLANNER, CURRENT PLANNING]

**SUBJECT [DEVELOPMENT PERMIT APPLICATION NO. DP1221
– 3945 BIGGS ROAD]**

OVERVIEW

Purpose of Report

To present for Council’s consideration, a development permit application for the redevelopment of the Nanaimo Correctional Centre at 3945 Biggs Road.

Recommendation

That Council issue Development Permit No. DP1221 at 3945 Biggs Road with the following variances to:

- increase the maximum allowable building height from 14.0m to 18.73m; and
- reduce the minimum required watercourse setback from Brannen Lake from 15.0m to 0m and the Millstone River from 30.0m to 0m for proposed upgrades to the existing road, security fence, and utility infrastructure.

BACKGROUND

A Development Permit application, DP1221, was received from Stuart Olsen Construction Ltd., on behalf of the Province of British Columbia for the phased replacement of the existing Nanaimo Correctional Centre at 3945 Biggs Road.

Subject Property and Site Context

<i>Zoning</i>	CS2 – Community Service Two AR1 – Rural Resource
<i>Location</i>	The subject property is bounded by Dunster Road to the north, Nanaimo Parkway to the east, Biggs Road and agricultural-zoned land to the south, and Brannen Lake and the city boundary to the west.
<i>Total Area</i>	Approximately 47 hectares
<i>Official Community Plan (OCP)</i>	Map 1 – Future Land Use Plan – Parks and Open Space Map 3 – Development Permit Area (DPA) No. 1 – Watercourses; DPA No. 2 – Environmentally Sensitive Areas; and, DPA No. 9 – Commercial, Industrial, Institutional, Multiple Family, and Mixed Commercial / Residential Development
<i>Relevant Design Guidelines</i>	General Development Permit Area Design Guidelines

The subject property contains the existing Nanaimo Correctional Centre (NCC) and is situated between Brannen Lake and the Nanaimo Parkway. The lake drains into the Millstone River, which runs along the southwest portion of the property. The existing correctional centre is

located in the southwest quadrant of the site. The remainder of the site is comprised of two large forested areas and an open field.

Existing rural residential lots are located to the north of the site, across the Nanaimo Parkway to the east are forested park and industrial areas, and to the south is a mobile home park and agricultural lands. The development site slopes from Biggs Road to Brannen Lake, with approximately 30m in elevation change.

DISCUSSION

Proposed Development

The proposed development includes the phased replacement of the existing corrections centre with 12 new buildings and accessory structures contained by a perimeter security fence. The proposal includes a new administration building, a program services building, a horticultural centre, and inmate residences throughout the site.

None of the development will take place within the portions of the property designated within the Agricultural Land Reserve. The proposed development is organized into four distinct quadrants around a central recreational area. The building composition for the quadrants is as follows:

Quadrant	Building(s)	Use	Size
1	AE	Administration	10,651.38m ²
2	F1 - F3	Medium Security	2,276.03m ²
3	GS	Guthrie Support	1,313.62m ²
3	H1 - H4	Guthrie Residences	660.61m ²
4	HT	Horticulture Centre	141.1m ²
4	LE	Landscape Equipment Shed	111.1m ²
Central	D1	Program Services	1,758.24m ²

The combined gross floor area (GFA) of all buildings is 16,912.09m². The Floor Area Ratio (FAR) will equal 0.15, well below the maximum permitted 1.25 FAR within the CS2 zone.

As part of the development permit, the applicant is also proposing improvements to the existing road, replacement of the existing security fence, and upgrades to the storm water and sanitary lines within the watercourse leave strip for Brannen Lake (15m) and the Millstone River (30m). The improvements include raising a 375m section of the perimeter maintenance road above the flood construction level, the installation of a concrete sanitary connection chamber, and a new storm water drainage outfall and headwall. The security fence is proposed to be replaced in the existing location.

Site Design

The site design emulates a campus with pods of buildings surrounding a central recreational area. Access to the site will be maintained from Biggs Road, where the visitor parking area is proposed to be located, and will include accessible parking and electrical vehicle charging stations. Bicycle racks are placed near the visitor and staff parking areas.

A pedestrian pathway connects the visitor parking area to the main administration building. Proposed landscaping, signage, monitored security, and passive wayfinding elements enforce the separation between restricted and publicly accessible areas. The site design also incorporates cultural elements by way of artwork and architectural features.

A total of 159 parking spaces are proposed within the development site, including 26 visitor spaces located parallel to Biggs Road, and staff parking east of the administration building. Staff bicycle lockers, a carpool area, and loading bays are located east of the administration building adjacent to the staff parking area.

Building Design

The proposed buildings vary in massing and design and will be constructed to achieve LEED Gold with emphasis on energy efficiency, indoor environmental quality, water efficiency, sustainable site design, and waste management.

The administration building (AE) is viewed as a two-storey building from Biggs Road; however, due to the substantial grade change across the length of the building and a central control and security system, the building height extends up to 18.73m at its highest point and appears as three storeys along the north elevation. The over-height central control area is set back from the south façade and is partially obscured from Biggs Road. The public entry on the administration building displays a large feature wall of natural wood cladding, fibre cement boards, and patterned siding. Exterior materials consist of a combination of fibre cement siding, composite aluminum panel, and custom metal cladding. The building has a mix of glazing and articulation, and due to its size and configuration, presents as three separate buildings.

The medium security and Guthrie residences (F1-F3, H1-H4) are grouped in two distinct neighbourhoods of small, two-storey buildings. The Guthrie support building (GS) is similar in scale to the residences. The façade is clad with fibre cement panels and horizontal lap siding. The building mass is articulated with patterned elements and potential artwork inspired by traditional Coast Salish architecture, with vertical trim elements extending the height of each building.

The program services building (D1), in the middle of the development site, is similar in scale and design to a community centre with the gym placed in the centre of the building. Due to the grade change of the site, only one storey is visible from the south elevation, while the full massing is visible from the elevation facing the lake. The exterior materials include custom pattern metal cladding, fibre cement board cladding, and generous curtain wall glazing.

Collectively, the building design achieves a cohesive aesthetic and meets City design guidelines.

Landscape Design

The site has extensive open recreation space, including public plazas, space for agriculture, and common green spaces. Indigenous elements and wellness programming are supported throughout the site with the inclusion of a healing garden, a sweat lodge and council circle, and a Shkode-Kaan (spiritual gathering place). The buildings and recreation areas are interconnected by an extensive network of universally-accessible asphalt and gravel pedestrian pathways.

A proposed 'commons plaza' is centrally located between the administration building (AE) and the program services building (D1). This area can accommodate dining, seating and gathering spaces, as well as an outdoor workshop plaza space. Areas around the residences are planted with trees to simulate a street edge with a rhythm of plantings, buildings, and walkways leading to the entrances of each building.

A flex-use plaza and 'common green' with a gravel running loop are located south of the program services building and offer space for large group gatherings and sports as an extension of the athletic functions held within the program services building. The southwest corner of the development site will provide opportunities for food production and orchard planting.

The staff parking area includes large deciduous trees that will provide shade and break up the paved areas. Trees and a 3m-wide landscape buffer are provided between the visitor parking lot and Biggs Road to reduce visibility of the parking area from the road. Lighting is provided throughout the site to provide safe, secure, and well-lit conditions. To address the grades within the site, there are multiple retaining walls that vary in height up to 9.3m in height. The retaining walls will be finished with artwork where possible, and will be integrated into the site and landscaping where possible.

The plant palette throughout the site includes mainly native, drought-tolerant and low-maintenance plant species. Wetland and meadow planting areas within the secured perimeter mimic the lakefront and riparian plant typologies. The retention of existing mature trees and the addition of deciduous and coniferous tree clusters connects the on-site landscape to the surrounding woodland and forest-edge typologies.

Design Advisory Panel

The Design Advisory Panel, at its meeting held on 2021-FEB-25, accepted DP001221 as presented with support for the proposed variance and provided the following recommendations:

- Consider additional landscape screening in the parking area; and
- Consider providing weather protection over all exterior doors.

The applicant addressed the Panel's comments by adding canopies over prominent exterior doors and amending the Landscape Plan to include a landscape buffer between the parking lot and Biggs Road to screen the visitor parking area from view.

Proposed Variances

Maximum Building Height

The maximum allowable building height in the CS2 zone is 14.0m. The proposed building height of the administration building (AE) is 18.73m; a proposed variance of 4.73m. The over-height area is approximately 120m², which is a relatively small portion of the building and facilitates the central control and security system for the entire prison campus. Staff support this variance, as the proposed height and location of the control room is necessary to provide site lines to the entire campus and it is partially obscured from view of Biggs Road.

Minimum Watercourse Setback

The required watercourse setback from Brannen Lake and the Millstone River is 15m and 30m, respectively. The applicant is proposing a variance to 0m for portions of both watercourse setbacks in order to place fill within the leave strip to facilitate improvements to sections of an existing maintenance road, replace the security fence in the existing location, as well as upgrade sanitary and storm water infrastructure. The improvements will elevate the road above flood levels, and the applicant has advised that maintaining the existing road alignment is necessary to preserve the intended programming on the rest of the site.

The applicant submitted an Environmental Impact Assessment, which recommends mitigation measures, including riparian area planting, and concludes that the proposed improvements within the leave strip area will not negatively impact the Millstone River or Brannen Lake. The proposed variance is supported by Staff, as plantings will enhance and restore the leave strip area and there will be no negative impacts to the watercourses. Provincial approval under the *Water Sustainability Act* will be required for any improvements below the identified high-water mark.

SUMMARY POINTS

- Development Permit No. DP1221 is for the phased replacement of the existing Nanaimo Correctional Centre at 3945 Biggs Road.
- Variances are requested for building height, and watercourse setbacks.
- Staff support the proposed variances.

ATTACHMENTS

ATTACHMENT A: Permit Terms and Conditions
ATTACHMENT B: Context Map
ATTACHMENT C: Location Plan
ATTACHMENT D: Site Plan and Details
ATTACHMENT E: Building Elevations
ATTACHMENT F: Building Renderings
ATTACHMENT G: Retaining Wall Plan and Details
ATTACHMENT H: Landscape Plan and Details
ATTACHMENT I: Aerial Photo

Submitted by:

Lainya Rowett
Manager, Current Planning

Concurrence by:

Jeremy Holm
Director, Development Approvals

Dale Lindsay
General Manager, Development Services

ATTACHMENT A

PERMIT TERMS AND CONDITIONS

TERMS OF PERMIT

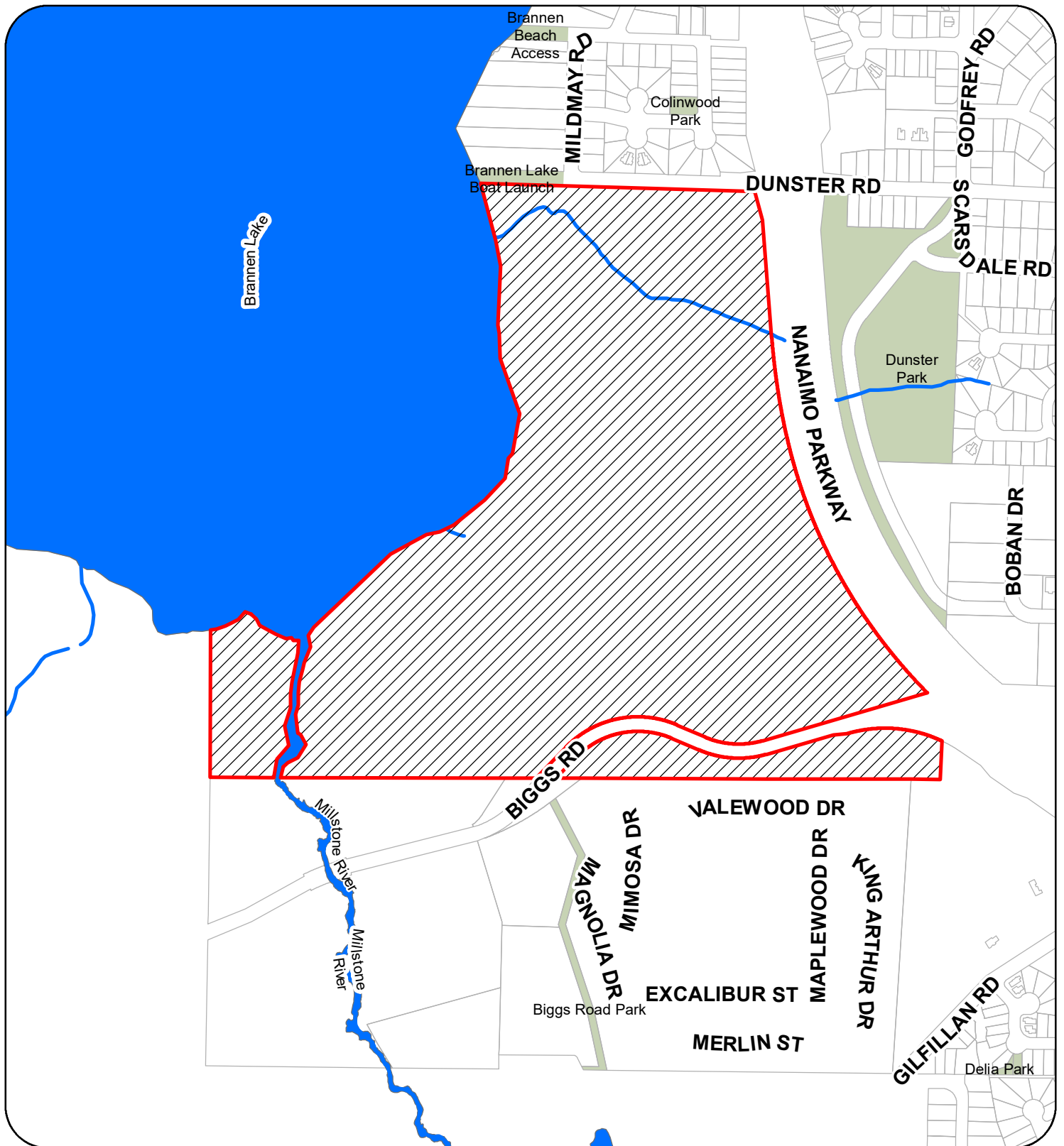
“City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 14.6.1 Size of Buildings* – to increase the maximum allowable building height from 14.0m to 18.73m for Building AE.
2. *Section 6.3.2 Location and Siting of Buildings and Structures to Watercourses* – to reduce the minimum watercourse setback for the Millstone River from 30m to 0m and for Brannen Lake from 15m to 0m for proposed upgrades to the existing road, security fence, and utility infrastructure.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan and Details prepared by IBI Group Architects (Canada) Inc., dated 2021-JUL-09, and Alpin Martin, dated 2021-FEB-08, as shown on Attachment D.
2. The development is in substantial compliance with the Building Elevations and Details prepared by IBI Group Architects (Canada) Inc., dated 2021-FEB-03 and 2021-JUL-14, as shown on Attachment E.
3. The development is in substantial compliance with the Retaining Wall Plan and Details prepared by IBI Group Architects (Canada) Inc., dated 2021-JUL-09, as shown on Attachment F.
4. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by P+A Landscape Architecture Site Planning, dated 2021-FEB-03 and 2021-JUL-07, as shown on Attachment H.
5. The subject property is developed in accordance with the recommendations contained within the Environmental Impact Assessment prepared by Aquaparian Environmental Consulting Ltd., dated 2021-MAR-10.
6. A Vegetation Restoration Plan with a three-year maintenance period and bonding for the riparian area must be submitted prior to Design Stage Approval.

ATTACHMENT B CONTEXT MAP

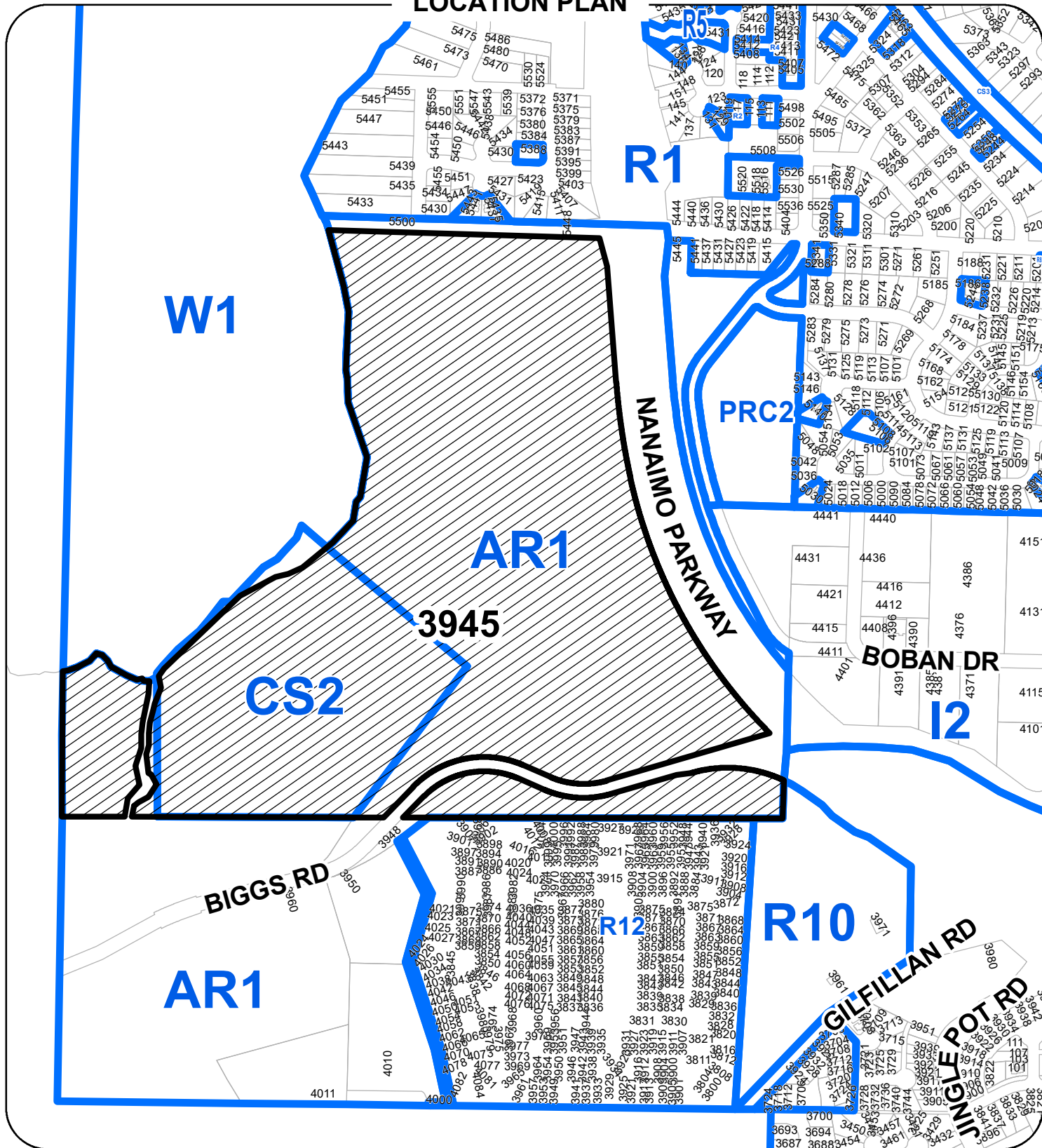


DEVELOPMENT PERMIT APPLICATION NO. DP001221



 3945 BIGGS ROAD

ATTACHMENT C LOCATION PLAN



REZONING APPLICATION NO. DP001221

LOCATION PLAN

Civic: 3945 BIGGS ROAD

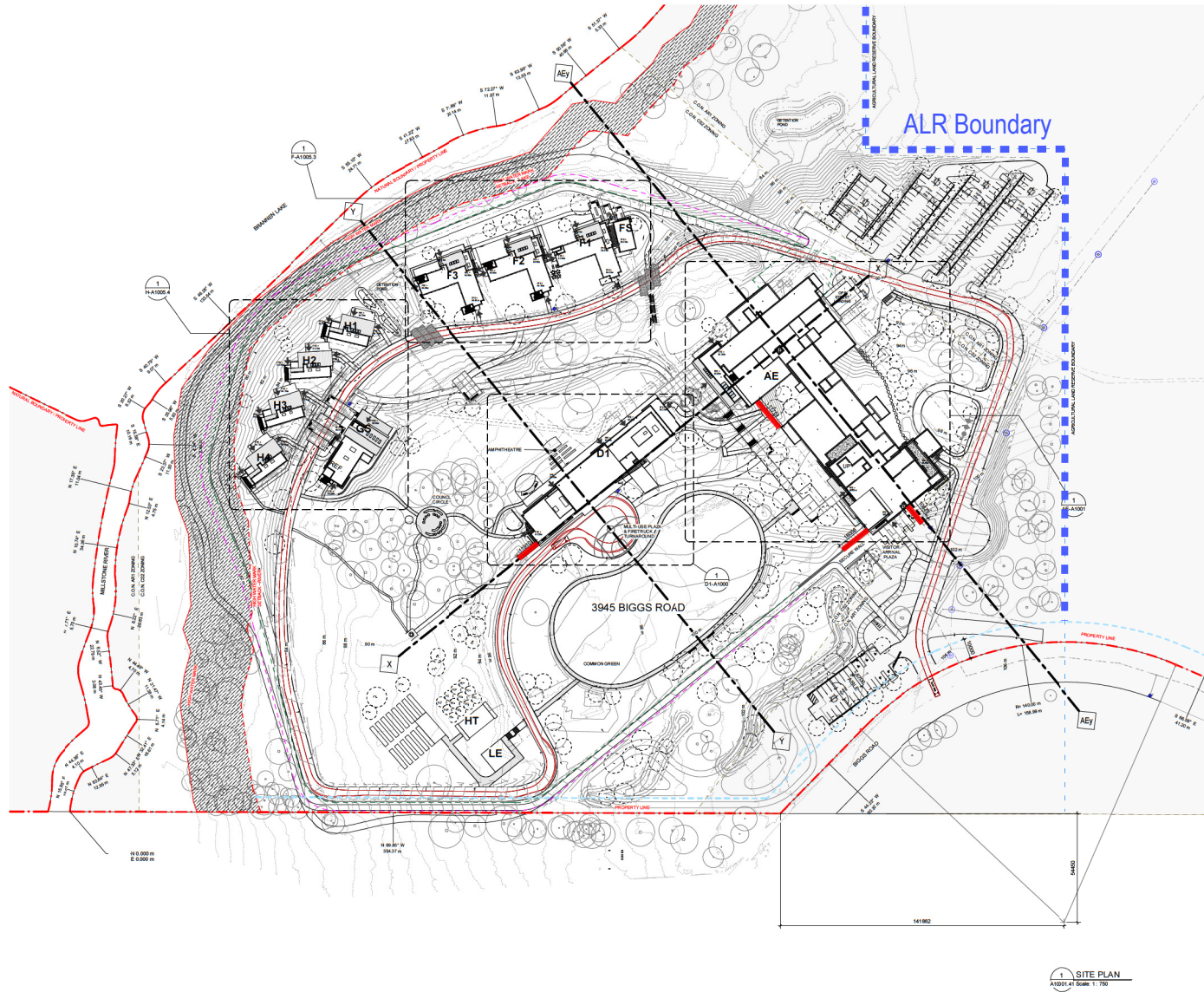
Legal: LT 1, DL 22G, LD 58 PLN VIP73819



SUBJECT PROPERTY

ATTACHMENT D SITE PLAN AND DETAILS

1 of 2



1 SITE PLAN
A1001.41 Scale: 1:750

KEY PLAN

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ISSUE NO.	DESCRIPTION	DATE
1	DP SUBMISSION	2021-02-03
2	REVISED FOR DEMOLITION PERMIT	2021-02-19
3	AS-BUILT FOUNDATION BP	2021-05-14
4	AS-BUILT SURVEY/TOTAL STATION BP	2021-06-18
5	DP RESPONSE	2021-06-25
6	DP RESPONSE	2021-07-09

CONSULTANTS

LEGEND

- PROPERTY BOUNDARY
- SETBACK
- HIGH WATER MARK
- HIGH WATER MARK SETBACK
- SECURE PERIMETER FENCE
- THREAT PERIMETER FENCE
- LEAVE STRIP
- OVERHEAD POWER LINE - EXISTING
- OVERHEAD POWER LINE - PROPOSED
- SANITARY MAIN - EXISTING
- SANITARY MAIN - PROPOSED
- SITE LIGHTING POWER CONDUIT
- STORM MAIN - EXISTING
- STORM MAIN - PROPOSED
- UG POWER CONDUIT - EXISTING
- UG POWER CONDUIT - PROPOSED
- UNDERGROUND TELECOMM
- FIRE ALARM UNDERGROUND DUCT
- WATER MAIN - EXISTING
- WATER MAIN - PROPOSED
- GAS LINE
- EXISTING SITE TOPOGRAPHY
- PROPOSED REGRADING
- TREE - EXISTING
- TREE - PROPOSED
- FIRE HYDRANT
- FIRE TRUCK TURNING MOVEMENTS
- FIRE DEPT CONNECTION
- AREA DRAIN
- LAWN BASIN
- CATCH BASIN
- TRENCH DRAIN
- LAMP STAND
- POWER POLE - EXISTING
- POWER POLE - PROPOSED

PRIME CONSULTANT

PROJECT
NANAIMO CORRECTIONAL CENTRE
3945 BIGGS ROAD
NANAIMO, BC
V9P 5K3, CANADA

PROJECT NO.
122747

DRAWN BY:
NM

CHECKED BY:
GS

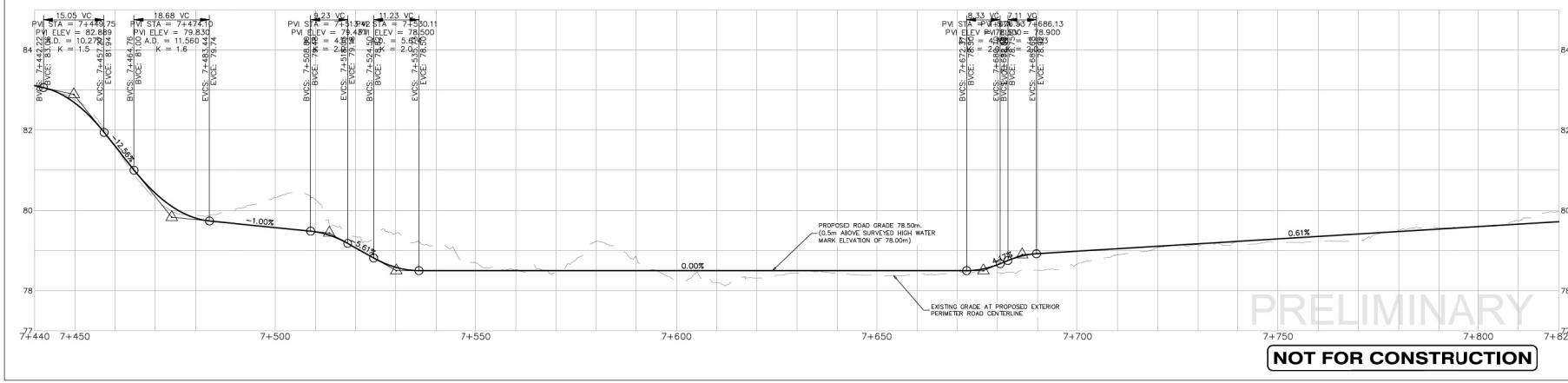
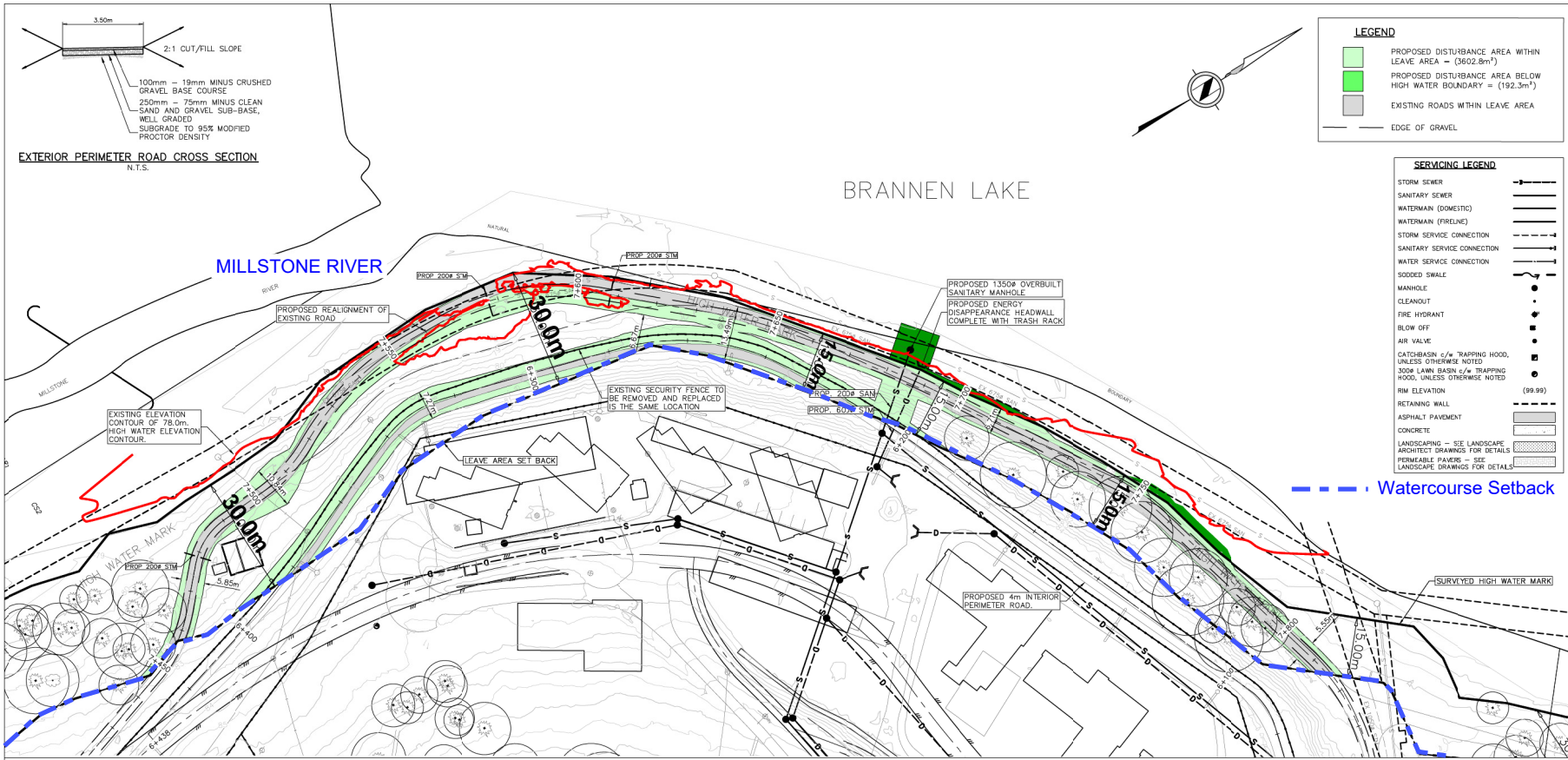
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SHEET TITLE
SITE PLAN - PHASE 4 - PROPOSED

SHEET NUMBER
A10001.41

ISSUE
6



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REVISION HISTORY

No.	DESCRIPTION	DATE
00	ISSUED FOR DISCUSSION	2021 FEB 01
01	ISSUED FOR DISCUSSION	2021 FEB 18

CONSULTANTS

APLIN MARTIN
ARCHITECTURE PLANNING SURVEYING

IBI GROUP
ARCHITECTS (CANADA) INC.

PROJECT
NANAIMO CORRECTIONAL CENTRE
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO: 20-8001

DRAWN BY: P.N.
SCALE: H: 1:500
V: 1:50

CHECKED BY: S.A.L.
APPROVED BY: S.A.L.

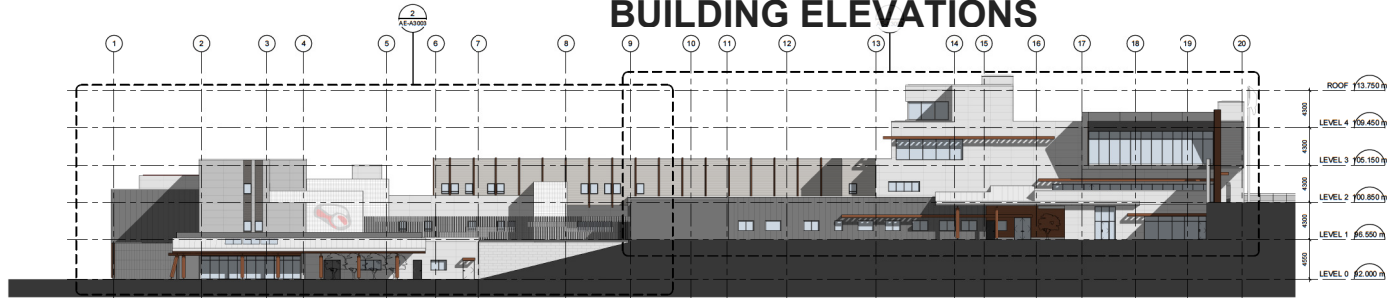
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SHEET NUMBER 20-8001-EV-01

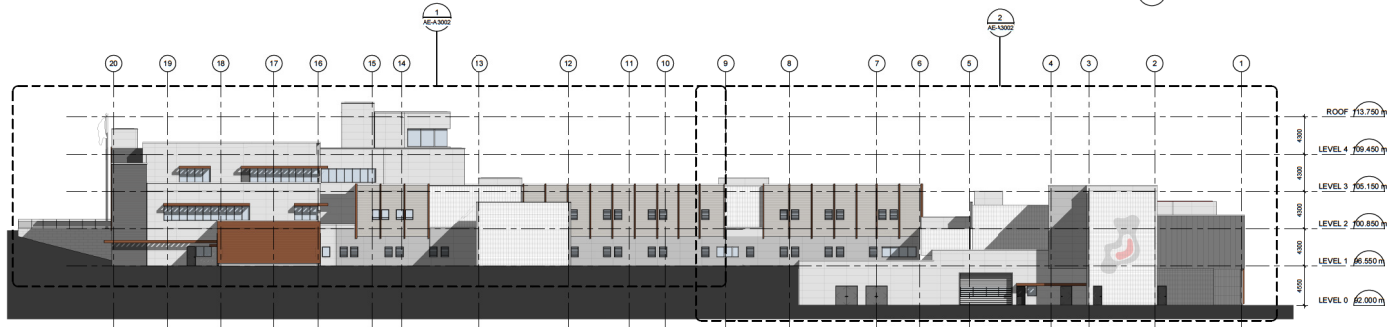
ISSUE 01

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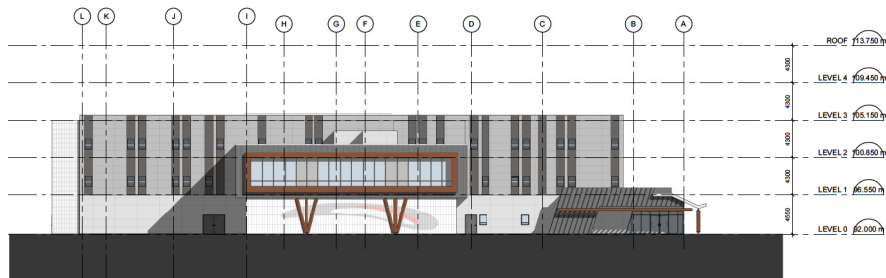
ATTACHMENT E BUILDING ELEVATIONS



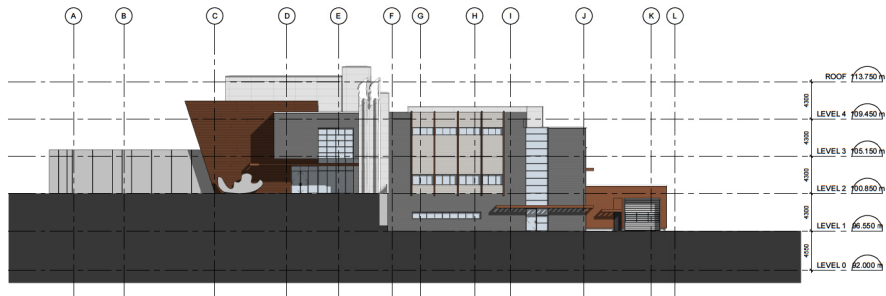
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AE-A300 Scale: 1:200



1 BLOCK AE NORTH ELEVATION
AE-A300 Scale: 1:200



1 BLOCK AE WEST ELEVATION
AE-A229 Scale: 1:200



2 BLOCK AE EAST ELEVATION
Scale: 1:200

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1	DP SUBMISSION	2021-02-03
2	ADDITIONAL FOUNDATION BP	2021-05-14
3	ADDITIONAL SUPERSTRUCTURE BP AMENDMENT	2021-06-18
4	REVISIONS	2021-06-18
5	DP RESPONSE	2021-07-07
6	DP RESPONSE	2021-07-14

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PROJECT NO.
122747

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M/N/MS/P

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SM

PROJECT MGR:
L/S

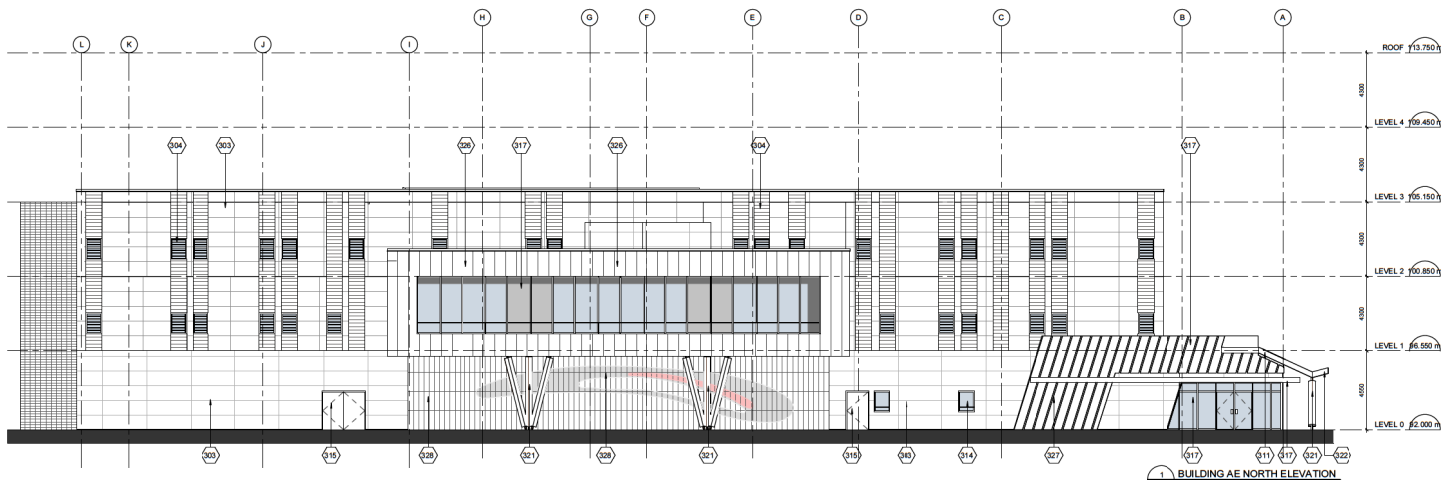
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SHEET TITLE
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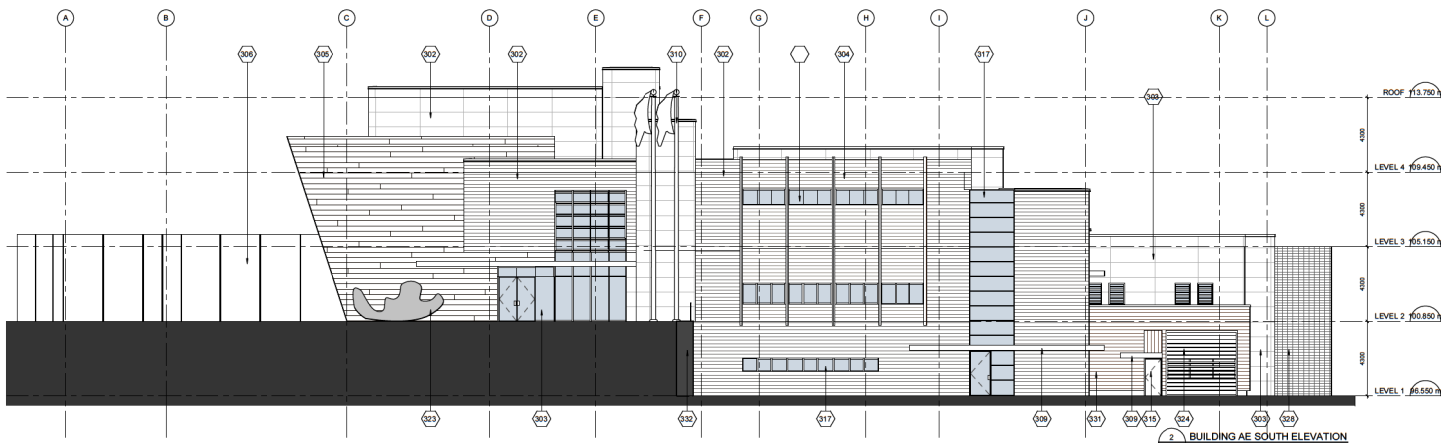
SHEET NUMBER
AE-A3000

ISSUE
5

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DP1221
2021-JUL-14
CLIENT PLANNING



1 BUILDING AE NORTH ELEVATION
 Scale: 1:100



2 BUILDING AE SOUTH ELEVATION
 Scale: 1:100

EXTERIOR FINISHES LEGEND	
Key Value	Keynote Text
302	FIBRE CEMENT SIDING - WOOD GRAIN FINISH
303	FIBRE CEMENT SIDING - PANEL
304	FIBRE CEMENT SIDING - HORIZONTAL LAP
305	HORIZONTAL WOOD LAP SIDING
306	ARCHITECTURAL CONCRETE
309	PREFINISHED METAL CLADDING
310	METAL FLAG POLE
311	STANDING SEAM METAL ROOF
314	GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
315	METAL DOOR AND FRAME
317	GLAZED ALUMINUM CURTAIN WALL
321	ROUND WOOD COLUMN
322	WOOD SOFFIT
323	FUTURE ARTWORK BY OTHERS
324	OVERHEAD COILING DOOR
326	COMPOSITE ALUMINUM PANEL
327	PREFORMED SHEET METAL CLADDING
328	SLC SECURITY MESH
331	T&G SIMULATED WOOD SIDING
332	SEGMENTAL RETAINING WALL SYSTEM 300

ISSUES

NO.	DESCRIPTION	DATE
1	DP SUBMISSION	2021-02-03
2	ADDITIONAL FOUNDATION BP	2021-05-14
3	ADDITIONAL SUPERSTRUCTURE BP AMENDMENT	2021-06-08
4	DP FORNAL	2021-06-18
5	DP RESPONSE	2021-07-07
6	DP RESPONSE	2021-07-04

CONSULTANTS

SCALE

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SHEET TITLE
 BLOCKAE - BUILDING ELEVATIONS WEST & EAST

SHEET NUMBER
 AE-A3001

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DP1221
 2021-JUL-14
 Current Planning

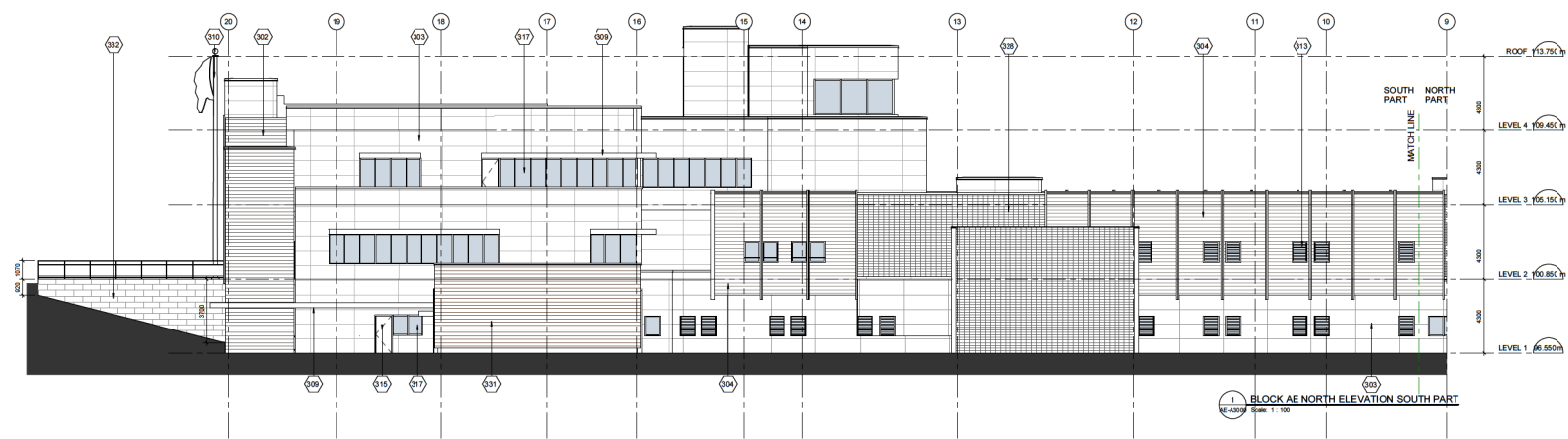
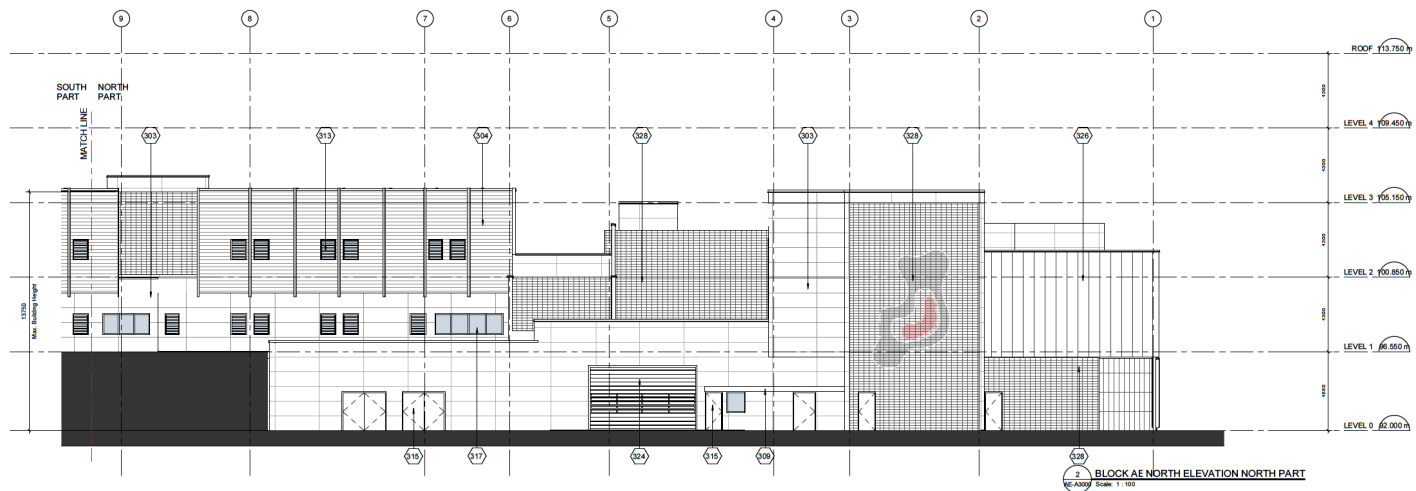
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ISSUES

NO.	DESCRIPTION	DATE
1	DP SUBMISSION	2021-05-03
2	ADDITIONAL FOUNDATION BP	2021-05-14
3	ADDITIONAL SUPERSTRUCTURE BP AMENDMENT	2021-06-08
4	REVISION	2021-06-18
5	DP RESPONSE	2021-07-07
6	DP RE-SUBMISSION	2021-07-04

EXTERIOR FINISHES LEGEND

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315	METAL DOOR AND FRAME
317	GLAZED ALUMINUM CURTAIN WALL
324	OVERHEAD COILING DOOR
326	COMPOSITE ALUMINUM PANEL
328	SLC SECURITY MESH
331	T&G SIMULATED WOOD SIDING
332	SEGMENTAL RETAINING WALL SYSTEM 300



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PROJECT NO: 122747
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 PROJECT MGR: MS/MS/SP
 CHECKED BY: SM
 APPROVED BY: MS/MS/SP

SHEET TITLE
 BLOCKAE - BUILDING ELEVATIONS NORTH (NORTH & SOUTH)

SHEET NUMBER: AE-A3002
 ISSUE: 5

ISSUES

NO.	DESCRIPTION	DATE
1	DP SUBMISSION	2021-02-03
2	ADDT FOUNDATION BP	2021-05-14
3	ADDT SUPERSTRUCTURE BP AMENDMENT	2021-06-18
4	DP FINAL	2021-06-18
5	DP RESPONSE	2021-07-07
6	DP RESPONSE	2021-07-04

EXTERIOR FINISHES LEGEND

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314	GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
315	METAL DOOR AND FRAME
317	GLAZED ALUMINUM CURTAIN WALL
318	COMMERCIAL SKYLIGHT
321	ROUND WOOD COLUMN
322	WOOD SOFFIT
325	STEEL MESH - ART WORK ATTACHED BY OTHER
326	COMPOSITE ALUMINUM PANEL
327	PREFORMED SHEET METAL CLADDING
328	SLC SECURITY MESH
329	ARCHITECTURAL FENCING
331	T&G SIMULATED WOOD SIDING
332	SEGMENTAL RETAINING WALL SYSTEM 300

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PROJECT NO.
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 M/N

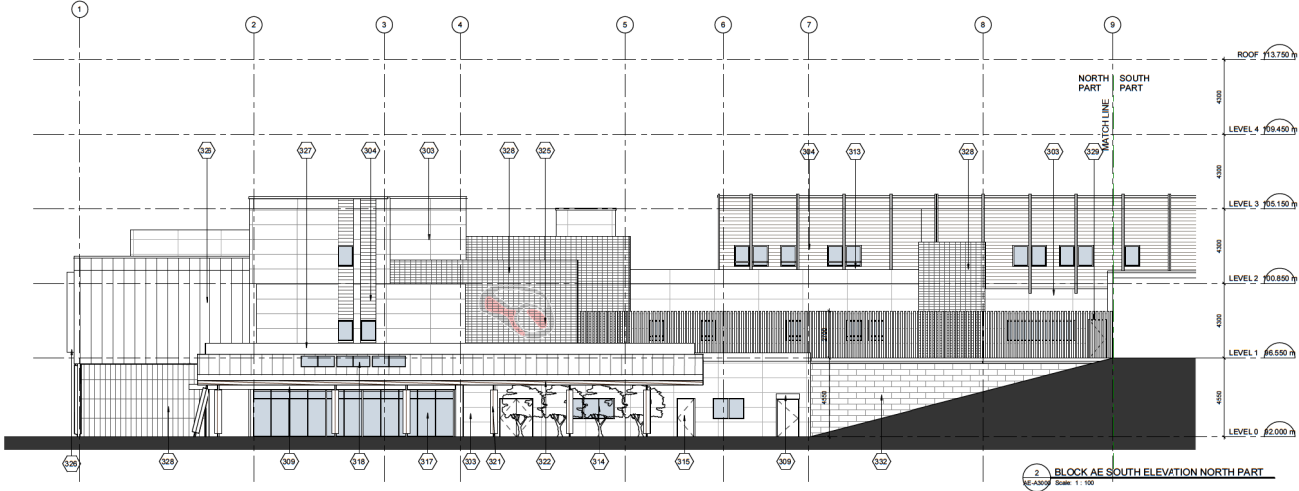
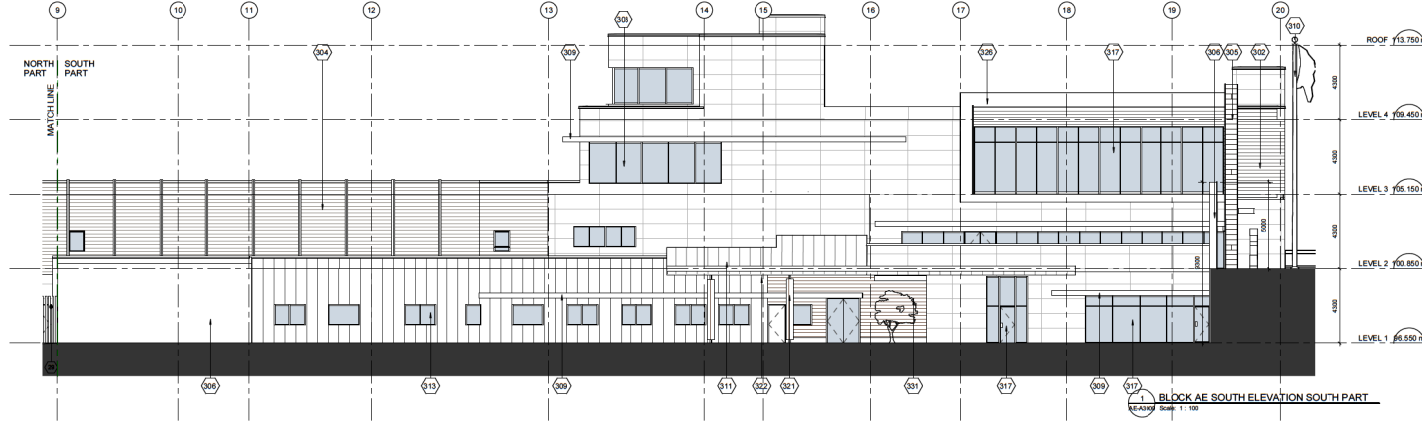
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 M/N

SHEET TITLE
 BLOCKAE - BUILDING ELEVATIONS SOUTH (NORTH & SOUTH)

SHEET NUMBER
 AE-A3003

ISSUE
 5

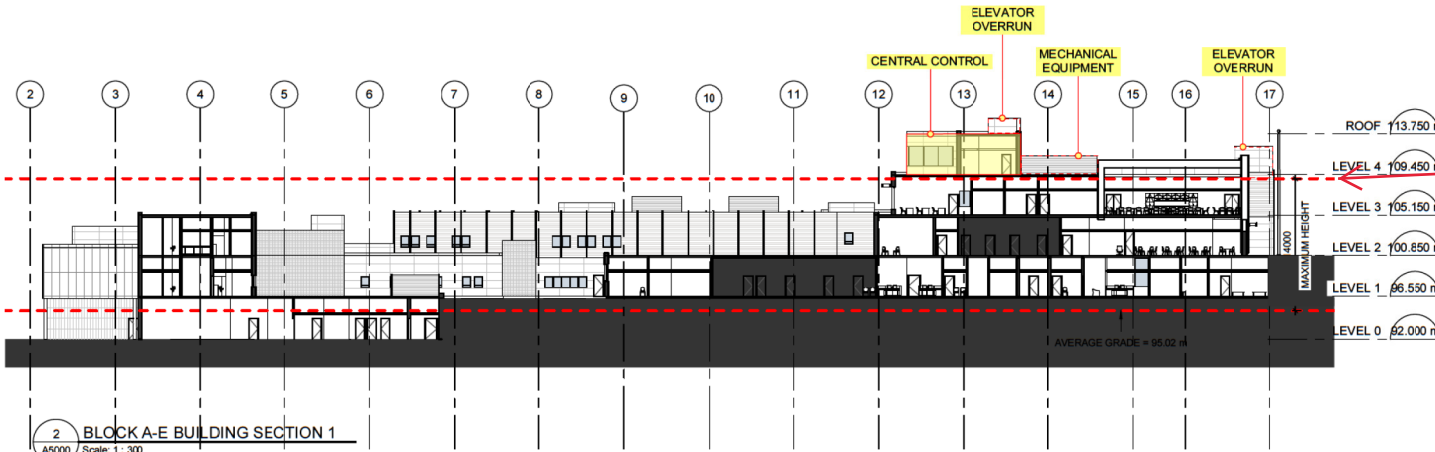


3 BLOCK AE LO L1 PLAN
A5000 Scale: 1: 300

AVERAGE GRADE CALCULATION

segment	formula	elev A	elev B1	elev B2	elev C1	elev C2	elev D2	elev D2	avr grade	length	grade by segment
A B1	$(\text{elev A} + \text{elev B1}) / 2 \times (\text{A B1 length})$	92	96.55	96.55	100.85	92	92	92	94.275	108000	10181700
B1 B2	$(\text{elev B1} + \text{elev B2}) / 2 \times (\text{B1 B2 length})$								96.55	11850	1144117.5
B2 C1	$(\text{elev B2} + \text{elev C1}) / 2 \times (\text{B2 C1 length})$								98.7	45375	4478512.5
C1 C2	$(\text{elev C1} + \text{elev C2}) / 2 \times (\text{C1 C2 length})$								96.425	107970	10411007.25
C2 D1	$(\text{elev C2} + \text{elev D1}) / 2 \times (\text{C2 D1 length})$								92	12030	1106760
D1 D2	$(\text{elev D1} + \text{elev D2}) / 2 \times (\text{D1 D2 length})$								92	33350	3068200
D A	$(\text{elev D2} + \text{elev A}) / 2 \times (\text{D A length})$								92	39690	3651480

totals: 3582656 34041777.25
average grade: 95.02



Maximum Allowable Building Height

2 BLOCK A-E BUILDING SECTION 1
A5000 Scale: 1: 300

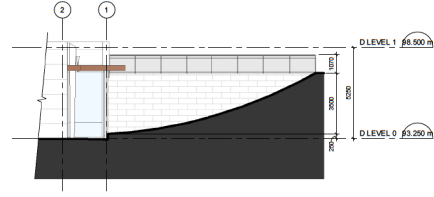
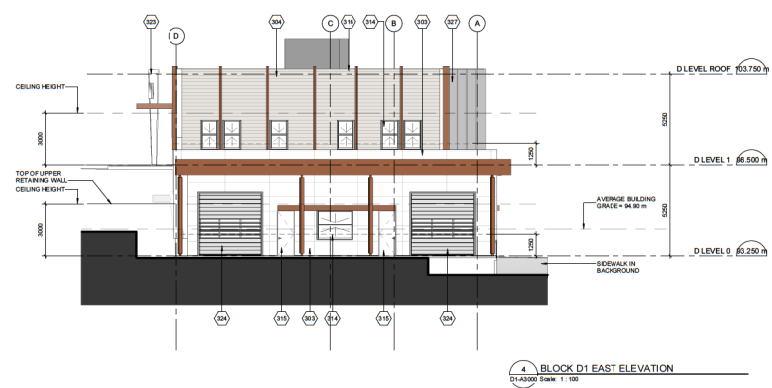
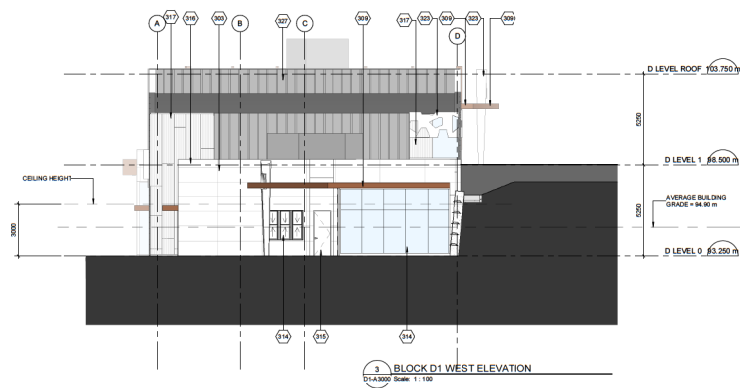
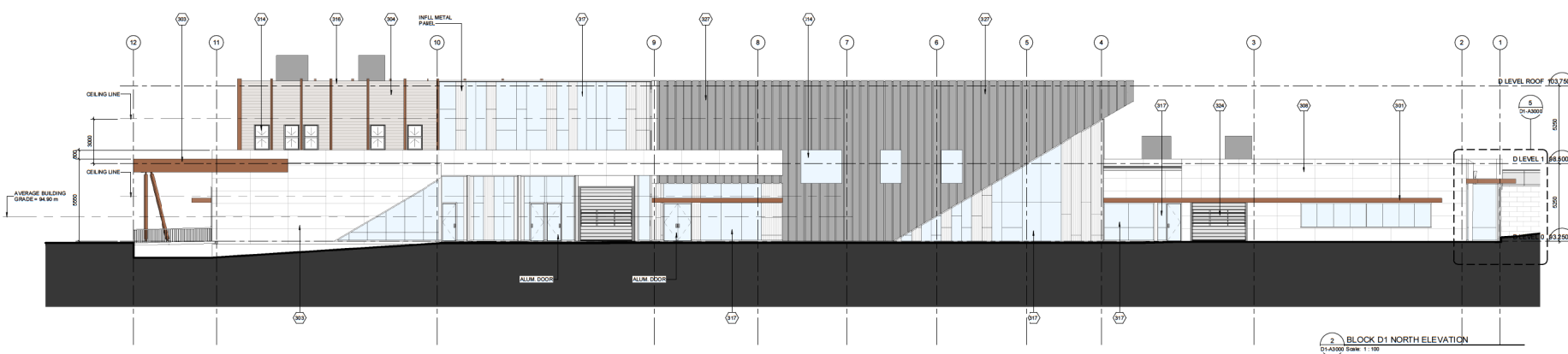
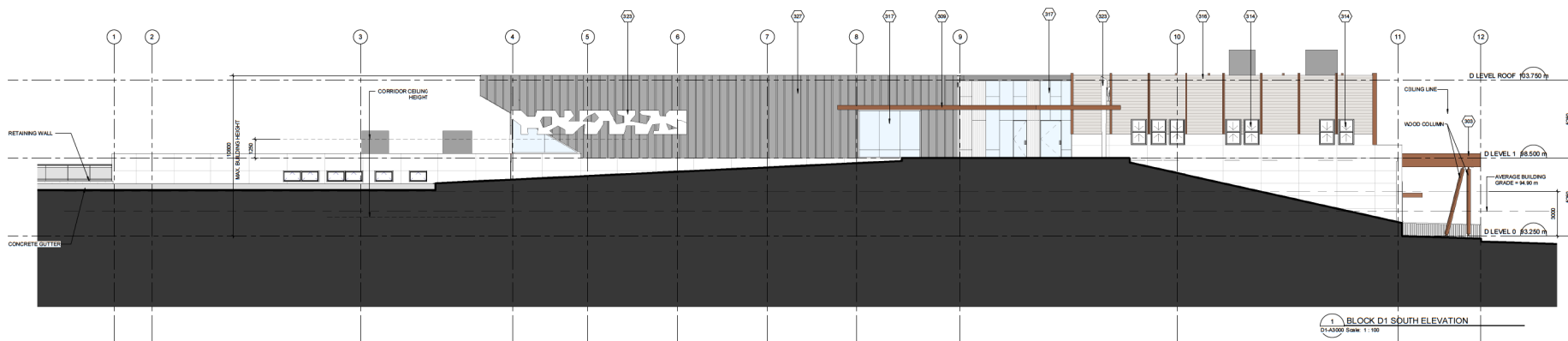
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PRIME CONSULTANT IBI GROUP ARCHITECTS (CANADA) INC. 100-125 West Pender Street, Vancouver, BC V6E 4B1, Canada tel 604 683 8797 fax 604 683 0492 ibigroup.com	
PROJECT NANAIMO CORRECTIONAL CENTRE 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA	
PROJECT NO: 122747	
DRAWN BY: Author	CHECKED BY: Checker
PROJECT MGR: Designer	APPROVED BY: Approver
SHEET TITLE BUILDING AE HEIGHT CALCULATION	
SHEET NUMBER A5000	ISSUE

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ISSUE NO.	DESCRIPTION	DATE
1	DP SUBMISSION	2021-05-03
2	ADIT FOUNDATION BP	2021-06-14
3	ADIT SUPPLEMENTAL BP	2021-06-18
4	DP RESPONSE	2021-07-07
5	DP RESPONSE	2021-07-14




EXTERIOR FINISHES LEGEND	
301	CONCRETE UNIT MASONRY
303	FIBRE CEMENT SIDING - PANEL
304	FIBRE CEMENT SIDING - HORIZONTAL LAP
308	CONCRETE FACED INSULATION
309	PREFINISHED METAL CLADDING
314	GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
315	METAL DOOR AND FRAME
316	SHEET METAL FLASHING AND TRIM
317	GLAZED ALUMINUM CURTAIN WALL
323	FUTURE ARTWORK BY OTHERS
324	OVERHEAD COILING DOOR
327	PERFORMED SHEET METAL CLADDING

PRIME CONSULTANT	IBI GROUP
PROJECT	NANAIMO CORRECTIONAL CENTRE 3944 BOSS ROAD NANAIMO, BC V9P 5N3, CANADA
PROJECT NO.	122747
DRAWN BY:	CC
CHECKED BY:	YED
PROJECT MGR:	CC
APPROVED BY:	YED
SHEET TITLE	BLOCK D1 - BUILDING ELEVATIONS
SHEET NUMBER	D1-A3000
ISSUE	4

205

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ISSUES

NO.	DESCRIPTION	DATE
1	ISSUE SUBMISSION	2021-02-03
2	DESIGN FOR PLAN	2021-02-19
3	ISSUE RESPONSE	2021-02-27
4	ISSUE RESPONSE	2021-07-14

CONSULTANTS

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PRIME CONSULTANT
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 100 West Beaver Street
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 www.ibigroup.com

PROJECT
 NANAIMO CORRECTIONAL CENTRE
 3948 BOSS ROAD
 NANAIMO, BC
 V9P 2N3, CANADA

PROJECT NO
 122747

DRAWN BY
 M/N/W/S/P

CHECKED BY
 GS

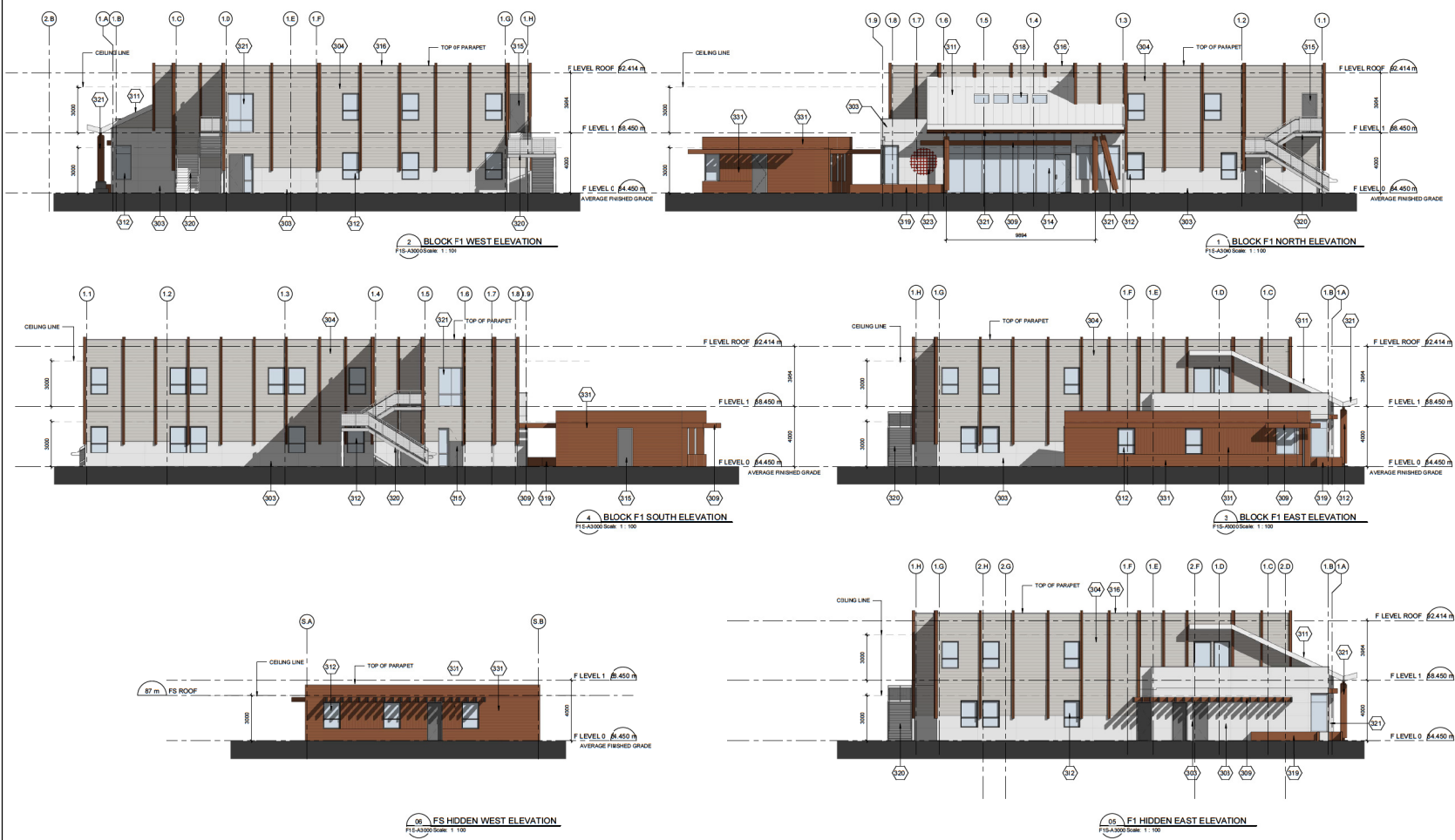
PROJECT MGR.
 M/S

APPROVED BY

SHEET TITLE
 BLOCK F1S - BUILDING ELEVATIONS

SHEET NUMBER
 F1S-A3000

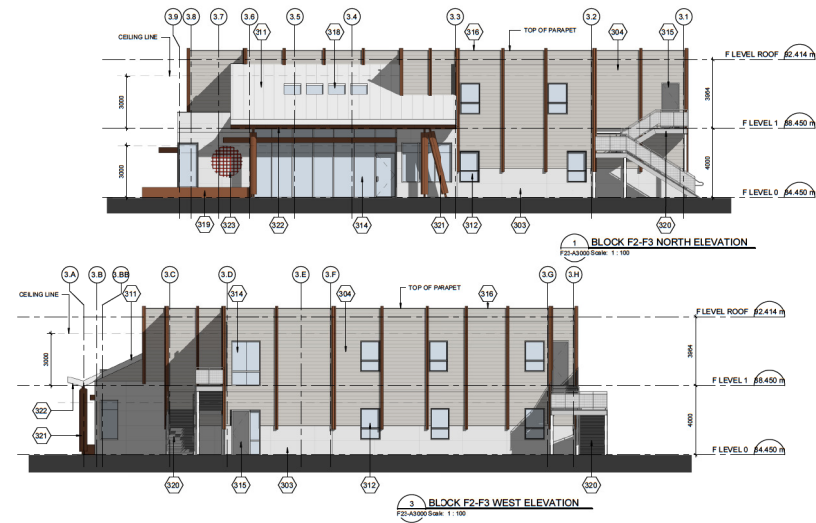
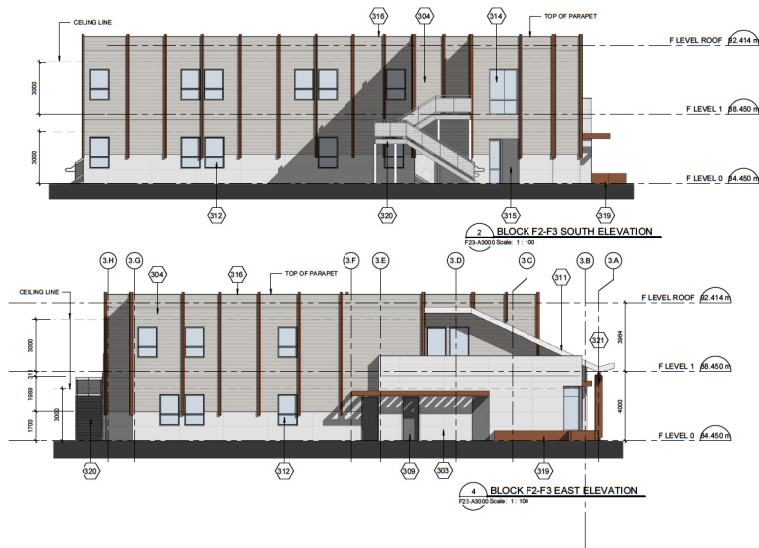
ISSUE
 3



- LEGEND:**
- 303 FIBRE CEMENT SIDING - PANEL
 - 304 FIBRE CEMENT SIDING - HORIZONTAL LAP
 - 309 PREFINISHED METAL CLADDING
 - 311 STANDING SEAM METAL ROOF
 - 312 VINYL WINDOW
 - 314 GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
 - 315 METAL DOOR AND FRAME
 - 316 SHEET METAL FLASHING AND TRIM
 - 318 COMMERCIAL SKYLIGHT
 - 319 PLANTER BOX (REFER TO LANDSCAPE)
 - 320 METAL STAIR C/W METAL RAILING
 - 321 ROUND WOOD COLUMN
 - 323 FUTURE ARTWORK BY OTHERS
 - 331 T&G SIMULATED WOOD SIDING

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LEGEND :

- 303 FIBRE CEMENT SIDING - PANEL
- 304 FIBRE CEMENT SIDING - HORIZONTAL LAP
- 309 PREFINISHED METAL CLADDING
- 311 STANDING SEAM METAL ROOF
- 312 VINYL WINDOW
- 314 GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
- 315 METAL DOOR AND FRAME
- 316 SHEET METAL FLASHING AND TRIM
- 318 COMMERCIAL SKYLIGHT
- 319 PLANTER BOX (REFER TO LANDSCAPE)
- 320 METAL STAIR C/W METAL RAILING
- 321 ROUND WOOD COLUMN
- 322 WOOD SOFFIT
- 323 FUTURE ARTWORK BY OTHERS

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ISSUES
 NO. DESCRIPTION DATE

1	DP SUBMISSION	2021-05-20
2	DESIGN FOR PLAN	2021-05-19
3	DP RESPONSE	2021-07-07
4	DP RESPONSE	2021-07-14

CONSULTANTS

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PROJECT
 NANAIMO CORRECTIONAL CENTRE
 3848 BROSS ROAD
 NANAIMO, BC
 V9R 5X3, CANADA

PROJECT NO.
 122747

DRAWN BY:
 MNN/NSP

CHECKED BY:
 GS

PROJECT MGR:
 MNS

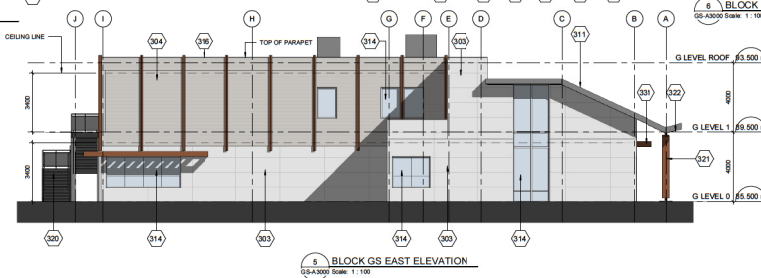
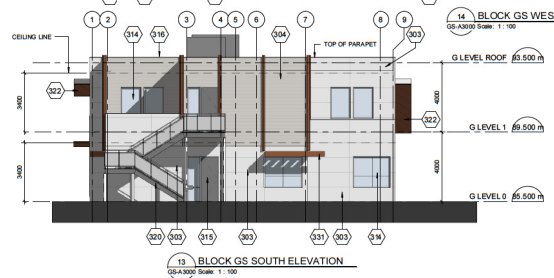
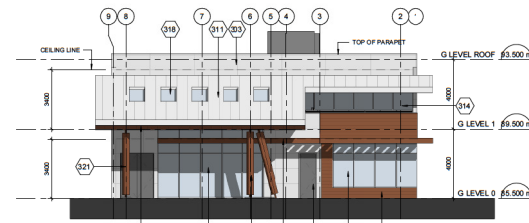
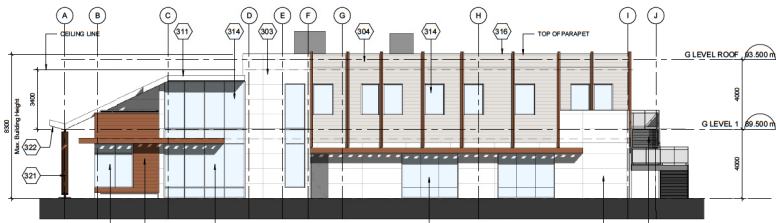
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SHEET TITLE
 BLOCK F23 - BUILDING ELEVATIONS & SECTIONS

SHEET NUMBER
 F23-A3000

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NO.	DESCRIPTION	DATE
1	DP SUBMISSION	2021-02-19
2	DESIGN FOR PLAN	2021-02-19
3	DP RESPONSE	2021-02-07
4	DP RESPONSE	2021-07-14

KEY PLANS (BUILDING SECTIONS)

LEGEND

- 303 FIBRE CEMENT SIDING - PANEL
- 304 FIBRE CEMENT SIDING - HORIZONTAL LAP
- 311 STANDING SEAM METAL ROOF
- 314 GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
- 315 METAL DOOR AND FRAME
- 316 SHEET METAL FLASHING AND TRIM
- 318 COMMERCIAL SKYLIGHT
- 320 METAL STAIR C/W METAL RAILING
- 321 ROUND WOOD COLUMN
- 322 WOOD SOFFIT
- 331 T&G SIMULATED WOOD SIDING

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PROJECT
 NANAIMO CORRECTIONAL CENTRE
 3944 BROSS ROAD
 NANAIMO, BC
 V9T 5N3, CANADA

PROJECT NO.
 122747

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 NS/NNSP

CHECKED BY:
 GS

PROJECT MGR:
 TED

APPROVED BY:
 [Signature]

SHEET TITLE
 BLOCK GS - BUILDING ELEVATIONS & SECTIONS

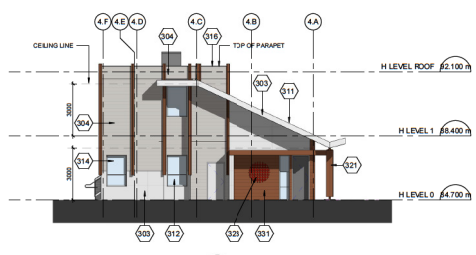
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ISSUE
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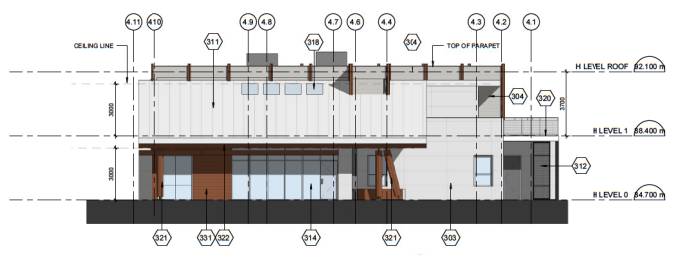
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ISSUE NO.	DESCRIPTION	DATE
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2	DP RESPONSE	2021-07-07
3	DP RESPONSE	2021-07-04

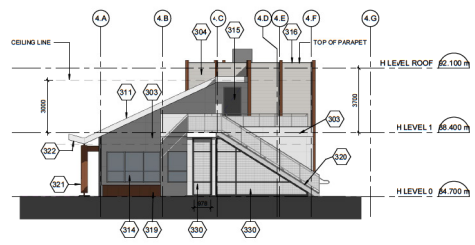
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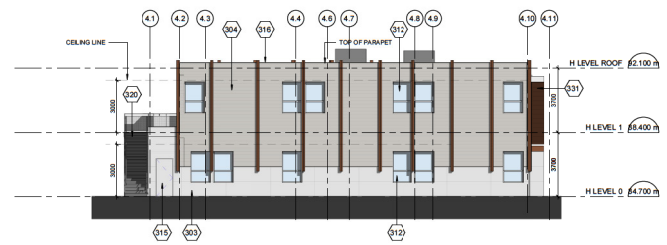
4 BLOCK H EAST ELEVATION
 H-A3000 Scale: 1:100



2 BLOCK H NORTH ELEVATION
 H-A3000 Scale: 1:100



3 BLOCK H WEST ELEVATION
 H-A3000 Scale: 1:100



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ISSUES
 NO. DESCRIPTION DATE
 1 ISSUED FOR TECHNICAL SUBMISSION 2020-06-03
 2 ISSUED FOR REVIEW 2020-07-23
 3 ARCHITECTURAL REWORKS 2020-09-08
 4 ARCHITECTURAL REWORKS 2020-09-10
 5 FINANCIAL SUBMISSION 2020-10-15
 6 PDP ISSUED FOR REVIEW 2021-02-02
 7 SCHEMATIC DESIGN SUBMITTAL 2021-01-15
 8 DP SUBMISSION 2021-02-03
 9 DP RESPONSE 2021-02-04

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PROJECT
 NANAIMO CORRECTIONAL CENTRE
 3848 BRUCE ROAD
 NANAIMO, BC
 V9P 6N3, CANADA

PROJECT NO.
 122747

DRAWN BY:
 Author

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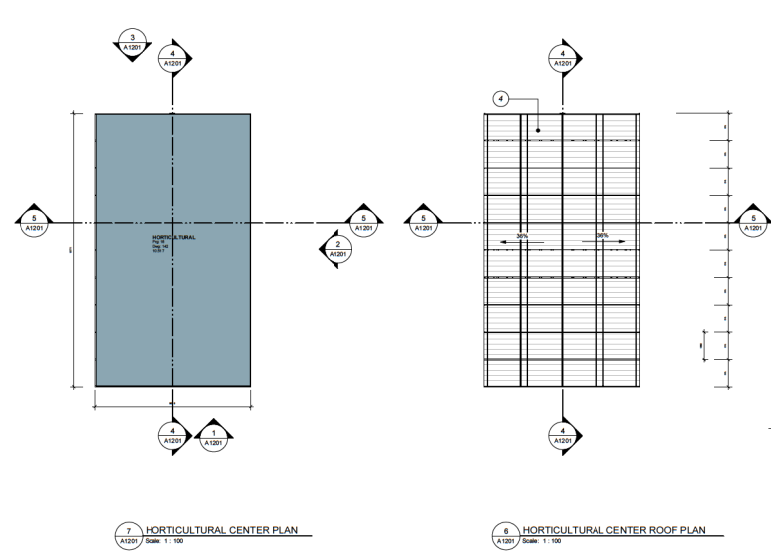
PROJECT MGR:
 Designer

APPROVED BY:
 Approver

SHEET TITLE
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 PLAN, ELEVATIONS &
 SECTIONS

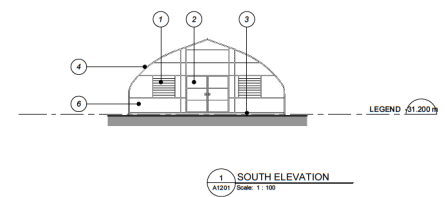
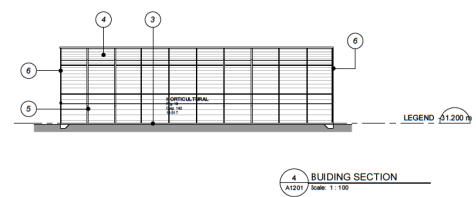
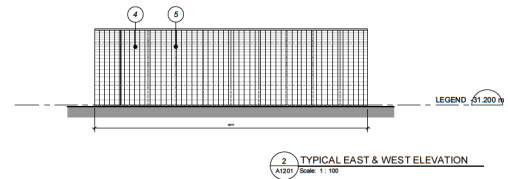
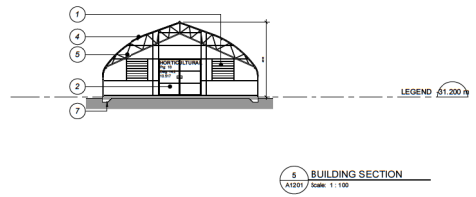
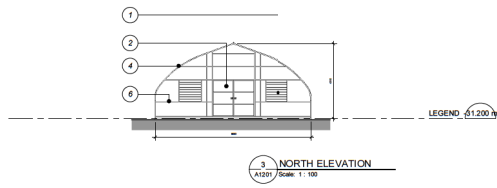
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ISSUE
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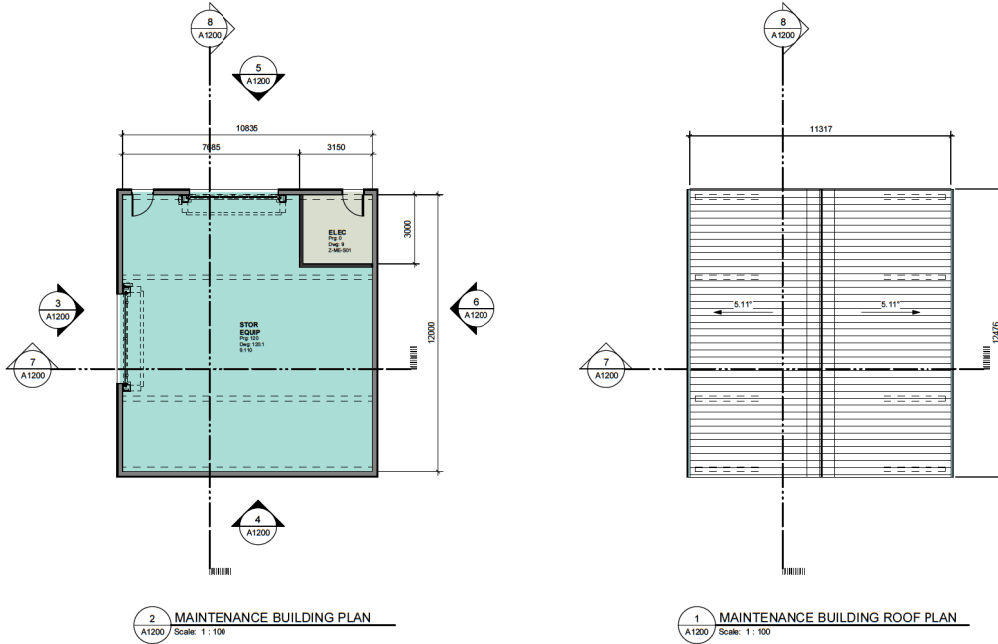
EXTERIOR FINISHES LEGEND

①	MOTORIZED LOUVER
②	DOUBLE DOOR
③	SLAB ON GRADE
④	POLYETHYLENE SHEET SKIN ENCLOSURE
⑤	GALV. STEEL TRUSS FRAME
⑥	GALV. STEEL END FRAME
⑦	SLAB THICKENING



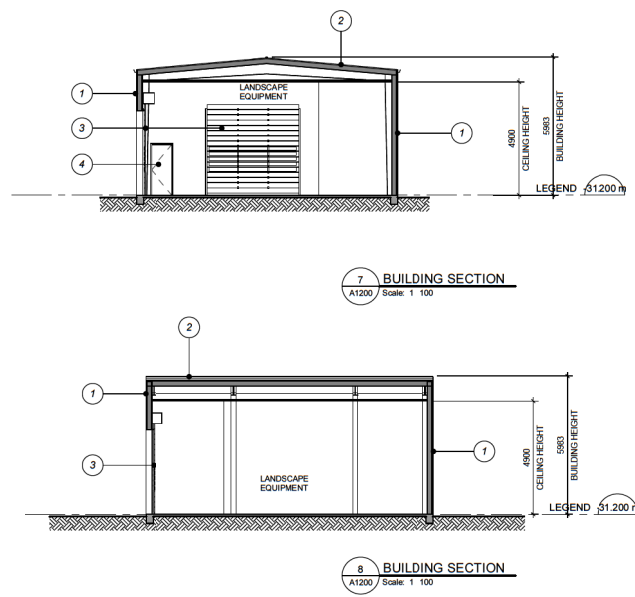
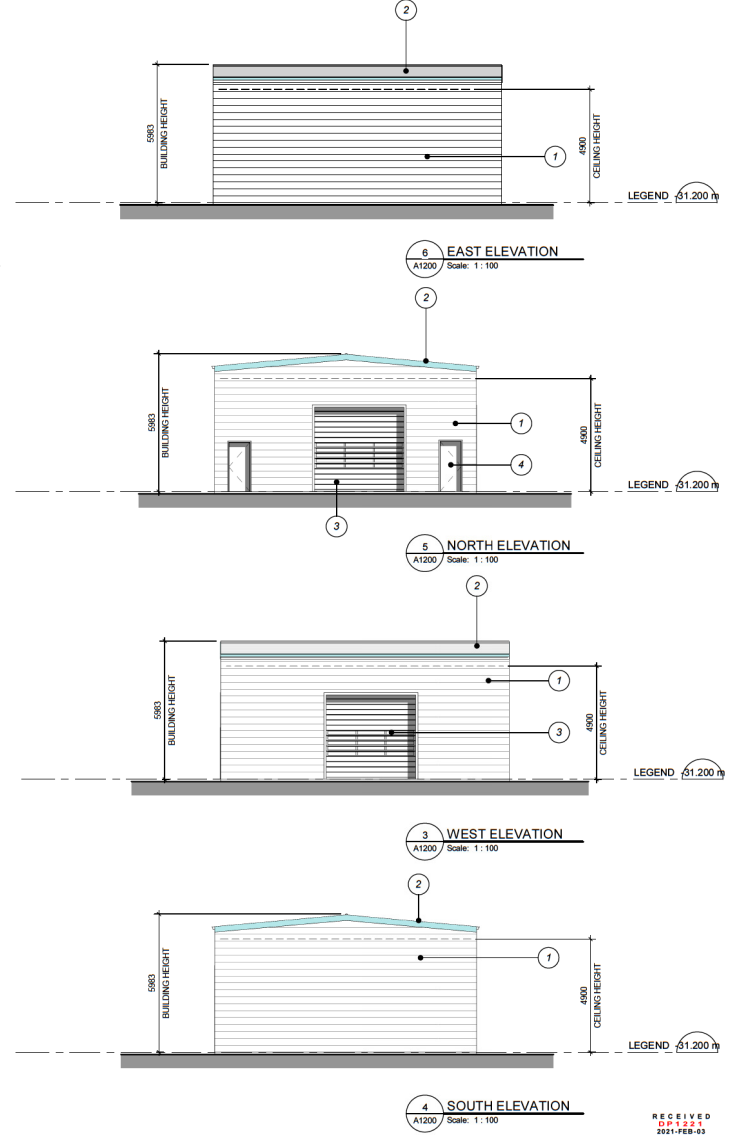
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EXTERIOR FINISHES LEGEND

①	EXTERIOR WALL METAL CLADDING FINISH
②	ROOF METAL CLADDING FINISH
③	ROLL UP STEEL DOOR
④	STEEL DOOR
⑤	CONCRETE KNEE WALL
⑥	GLASS SIDEWALLS
⑦	CURVE GLAZING WALL



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ISSUES

No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2021-01-05
2	ISSUED FOR REVIEW	2021-01-20
3	ARCHITECTURAL REVISIONS	2021-01-28
4	ARCHITECTURAL REVISIONS	2021-01-28
5	ISSUED FOR CLIENT REVIEW	2021-01-27
6	DRAFTED ISSUED FOR PLO	2021-01-28
7	FINAL SUBMISSION 1	2021-01-18
8	ISSUED FOR REVIEW SUBMITTAL	2021-01-18
9	OF SUBMISSION	2021-01-05

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ibi@group.com

PROJECT
NANAIMO CORRECTIONAL CENTRE
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO: 122747

DRAWN BY: Author **CHECKED BY:** Checker

PROJECT MGR: Designer **APPROVED BY:** Approver

SHEET TITLE
MAINTENANCE BUILDING PLAN, ELEVATIONS & SECTIONS

SHEET NUMBER A1200 **ISSUE**

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ISSUES		
No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2020-05-05
2	ISSUED FOR REVIEW	2020-05-20
3	ARCHITECTURAL BACKGROUND	2020-05-20
4	ARCHITECTURAL BACKGROUND	2020-05-15
5	ISSUED FOR CLIENT REVIEW	2020-05-17
6	DRAFTED ISSUED FOR RFI	2020-10-08
7	FINANCIAL SUBMISSION 2	2020-10-15
8	FINANCIAL SUBMISSION 1	2020-10-15
9	RFI SUBMISSION	2021-03-05

EXTERIOR FINISHES LEGEND					
①	CMU CLADDING	⑩	PREFINISHED METAL EYEBROW	⑰	ALUMINUM CURTAINWALL - COMMERCIAL WINDOW
②	MINERAL FIBRE CEMENT SIDING - WOODGRAIN FINISH	⑪	2 PLY MODIFIED BITUMEN MEMBRANE ROOFING	⑱	RESIDENTIAL SKYLIGHT
③	MINERAL FIBRE CEMENT SIDING - PANEL	⑫	STANDING SEAM METAL ROOF	⑲	PLANTER BOX
④	MINERAL FIBRE CEMENT SIDING - HORIZONTAL LAP	⑬	VINYL WINDOWS	⑳	STEEL FRAMED STAIR, GUARD
⑤	WOOD HORIZONTAL LAP SIDING	⑭	DETENTION / SECURE WINDOW	㉑	CIRCULAR WOOD POST
⑥	ARCHITECTURAL CONCRETE, PATTERN FINISH	⑮	COMMERCIAL WINDOW - HEAVY DUTY	㉒	WOOD SOFFIT
⑦	CAST IN PLACE CONCRETE	⑯	STEEL DOOR	㉓	FUTURE ARTWORK
⑧	CONCRETE FACED INSULATION	⑰	PREFINISHED METAL FLASHING / FASCIA	㉔	ROLL UP DOOR



CONSULTANTS

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PROJECT
NANAIMO CORRECTIONAL CENTRE
 3945 BIGGS ROAD
 NANAIMO, BC
 V9R 5N3, CANADA

PROJECT NO:
 122747
 DRAWN BY: Author
 PROJECT MGR: Designer
 CHECKED BY: Checker
 APPROVED BY: Approver

SHEET TITLE
EXTERIOR FINISH MATERIALS PALETTE

SHEET NUMBER
A002

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ATTACHMENT F BUILDING RENDERINGS



BUILDING AE / MAIN ENTRANCE

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ISSUES	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2021-04-05
2	ISSUED FOR REVIEW	2021-07-25
3	ARCHITECTURAL BACKGROUND	2021-04-05
4	PROFESSIONAL BACKGROUND	2021-04-15
5	ISSUED FOR CLIENT REVIEW	2021-04-17
6	DRAFTED ISSUED FOR P&I	2021-10-26
7	FINAL SUBMISSION 1	2021-11-15
8	SCHEMATIC DESIGN SUBMITTAL	2021-01-18
9	OF SUBMISSION	2021-03-05

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PROJECT
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3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO:
122747

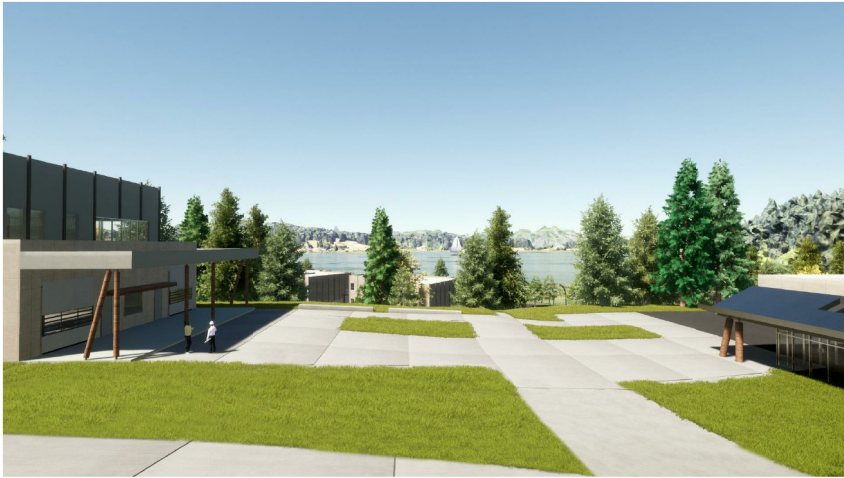
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PROJECT MGR: Designer	APPROVED BY: Approver

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BUILDING D1 / BUILDING AE



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BLOCK F



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ISSUES

No.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2020-04-03
2	ISSUED FOR REVIEW	2020-07-20
3	ARCHITECTURAL REVISIONS	2020-08-04
4	PROFESSIONAL KNOWLEDGE	2020-08-10
5	ISSUED FOR CLIENT REVIEW	2020-08-17
6	DRAFTED ISSUED FOR PLO	2020-10-08
7	FINANCIAL SUBMISSION 1	2020-11-10
8	SCHEMATIC DESIGN SUBMITTAL	2021-01-18
9	OF SUBMISSION	2021-03-05

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PROJECT
NANAIMO CORRECTIONAL CENTRE
 3945 BIGGS ROAD
 NANAIMO, BC
 V9R 5N3, CANADA

PROJECT NO.
 122747

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SOUTHWEST VIEW

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1	ISSUED FOR TECHNICAL SUBMISSION	2020-04-09
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4	ARCHITECTURAL REVISIONS	2020-08-10
5	ISSUED FOR CLIENT REVIEW	2020-08-17
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8	SCHEMATIC DESIGN SUBMITTAL	2021-01-18
9	OF SUBMISSION	2021-03-05

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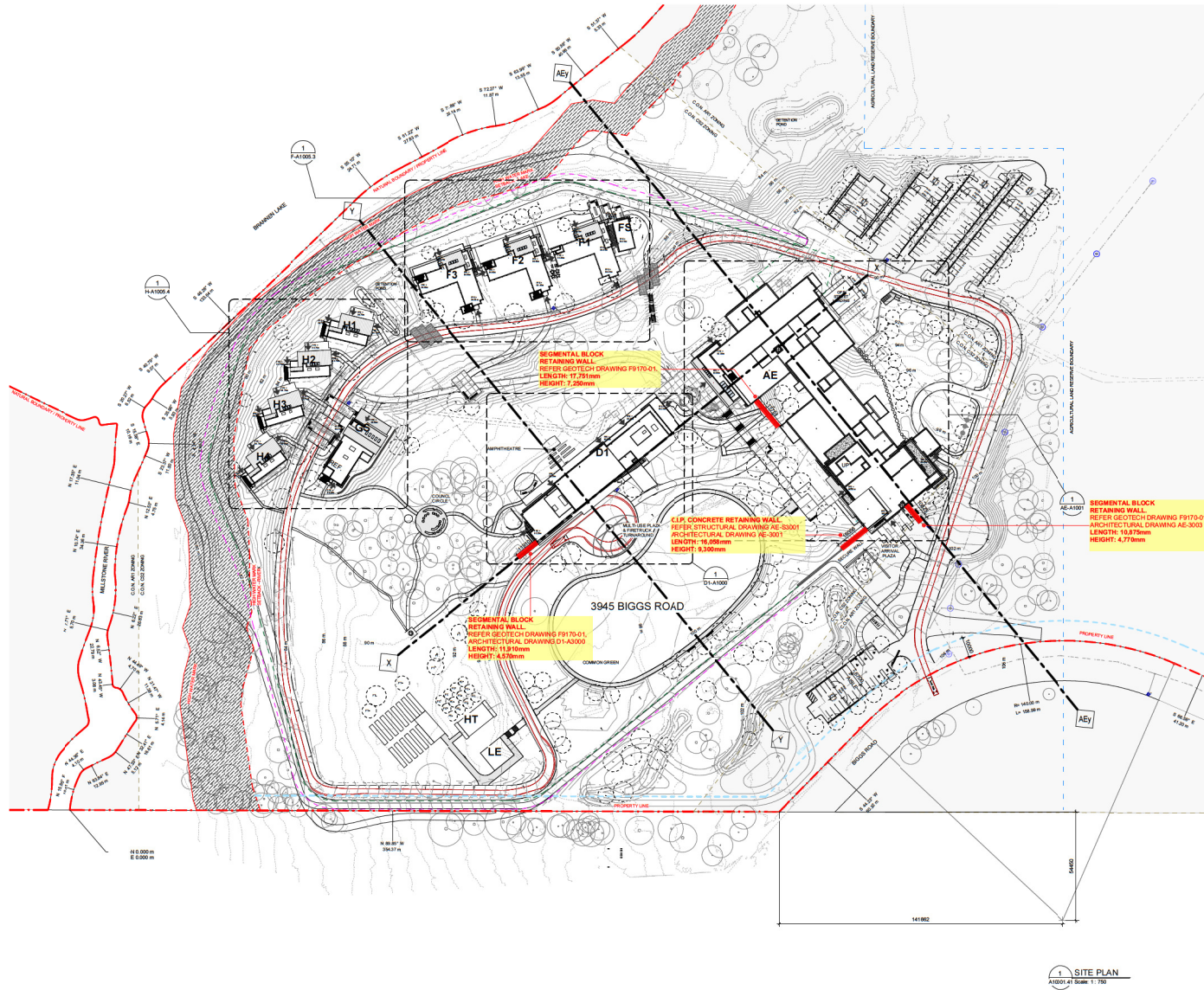
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ATTACHMENT G RETAINING WALL PLAN AND DETAILS

1 of 3



KEY PLAN

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ISSUE NO.	DESCRIPTION	DATE
1	DP SUBMISSION	2021-02-03
2	REBID FOR DEMOLITION PERMIT	2021-02-19
3	AS-BUILT FOUNDATION BP	2021-05-14
4	AS-BUILT SURVEY/STRUCTURE BP	2021-06-18
5	DP RESPONSE	2021-06-25
6	DP RESPONSE	2021-07-09

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LEGEND

- PROPERTY BOUNDARY
- SETBACK
- HIGH WATER MARK
- HIGH WATER MARK SETBACK
- SECURE PERIMETER FENCE
- THREAT PERIMETER FENCE
- LEAVE STRIP
- OVERHEAD POWER LINE - EXISTING
- OVERHEAD POWER LINE - PROPOSED
- SANITARY MAN - EXISTING
- SANITARY MAN - PROPOSED
- SITE LIGHTING POWER CONDUIT
- STORM MAN - EXISTING
- STORM MAN - PROPOSED
- UG POWER CONDUIT - EXISTING
- UG POWER CONDUIT - PROPOSED
- UNDERGROUND TELECOMM
- FIRE ALARM UNDERGROUND DUCT
- WATER MAN - EXISTING
- WATER MAN - PROPOSED
- GAS LINE
- EXISTING SITE TOPOGRAPHY
- PROPOSED REGRADING

- TREE - EXISTING
- TREE - PROPOSED
- FIRE HYDRANT
- FIRE TRUCK TURNING MOVEMENTS
- FIRE DEPT CONNECTION
- AREA DRAIN
- LAWN BASIN
- CATCH BASIN
- TRENCH DRAIN
- LAMP STAND
- POWER POLE - EXISTING
- POWER POLE - PROPOSED

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3945 BIGGS ROAD
NANAIMO, BC
V9X 3K3, CANADA

PROJECT NO.
122747

DRAWN BY:
MM

CHECKED BY:
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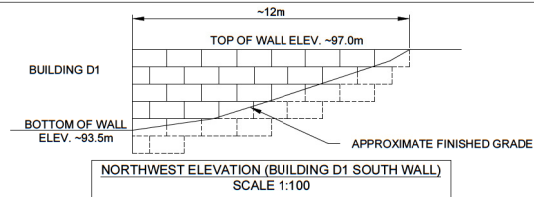
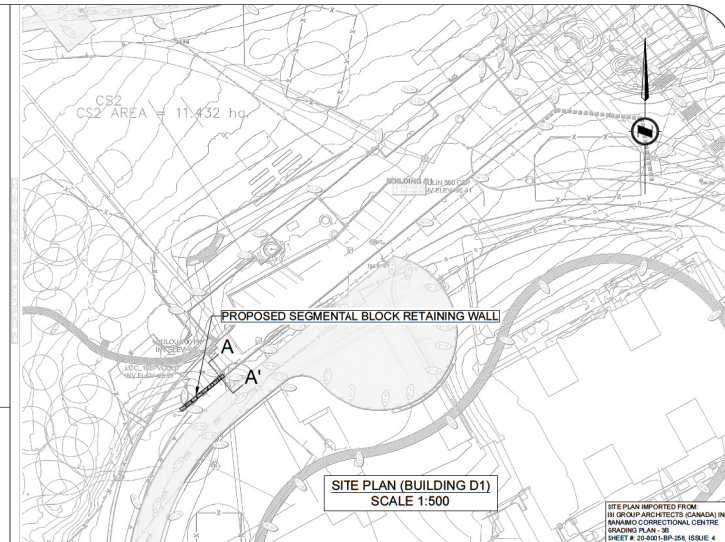
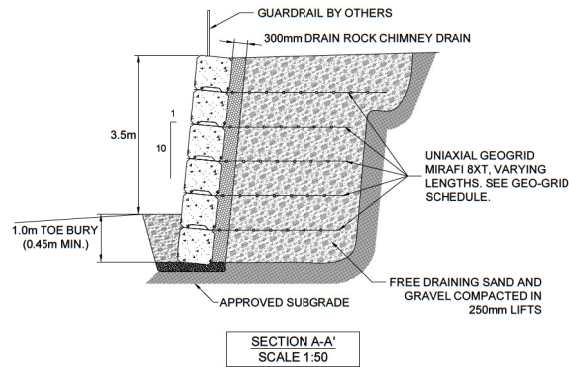
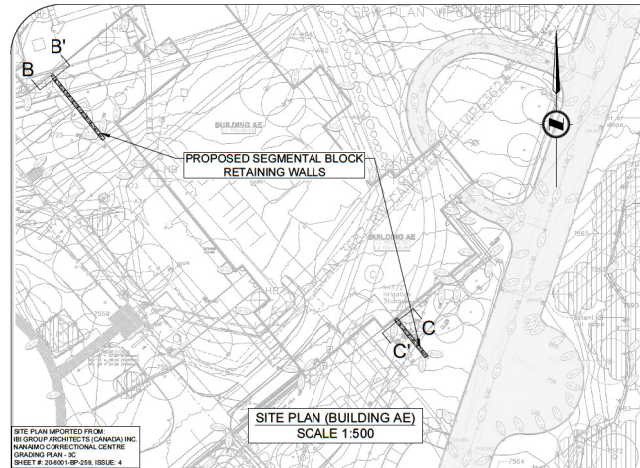
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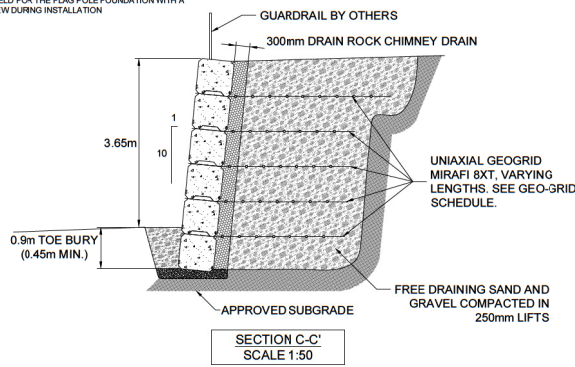
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SITE PLAN - PHASE 4 - PROPOSED

SHEET NUMBER
A10001.41

ISSUE
6

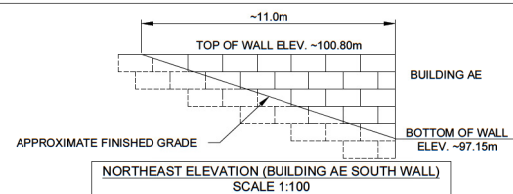
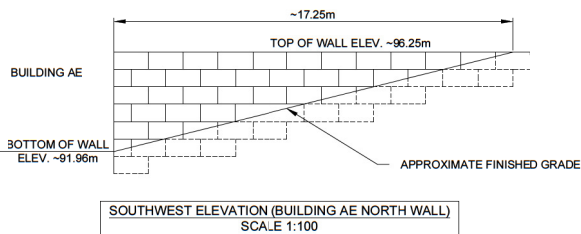
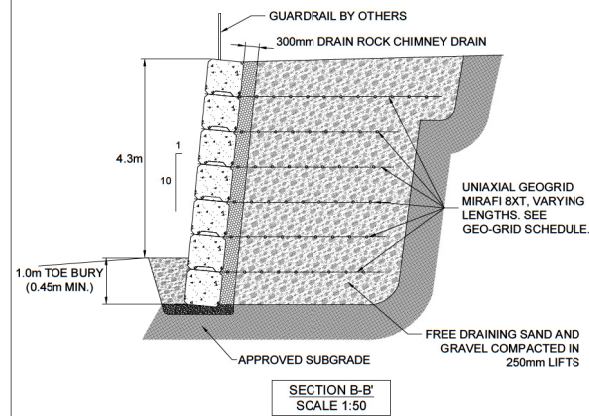


NOTE: FOR BUILDING AE SOUTH WALL GEO-GRID WILL REQUIRE ALTERATION IN FIELD FOR THE FLAG POLE FOUNDATION WITH A ENGINEERS REVIEW DURING INSTALLATION



GEO-GRID SCHEDULE

Wall Height (# of Blocks)	Geo-grid Length Top Layer (m)	Geo-grid Length Lower Layers (m)
6	5.15	4.30
5	4.30	3.60
4	3.55	3.00
3	2.85	2.45
2 OR LESS	N/A	N/A



GENERAL NOTES:

- GEO-TECHNICAL INSPECTIONS:
 - BEARING (SUBGRADE)
 - BACKFILL COMPACTION
- SEGMENTAL BLOCKS, 0.75m X 0.75m X 1.5m MONO POUR ONLY
- BLOCKS ASSEMBLED IN A RUNNING BOND PATTERN
- RETAINING WALLS SHOULD NOT BE ALTERED ONCE INSTALLED
- DRAINAGE THROUGH FACE OF WALL
- LINE AND LAYOUT TO BE CONFIRMED BY OTHERS
- SERVICE LINES TO BE REVIEWED AND ANY CONFLICTS WITH REINFORCED SOILS ENVELOPE RESOLVED PRIOR TO INSTALLATION

DESIGN NOTES:

- SEGMENTAL BLOCKS 0.75m X 0.75m X 1.5m, NO. 1 (MONO POUR) CONCRETE WITH INTERLOCKING NODULES.
- RETAINED SOIL, $\phi = 30^\circ$, $\gamma = 21 \text{ kN/m}^3$
- BEARING SOIL, $\phi = 30^\circ$, $\gamma = 21 \text{ kN/m}^3$
- SURCHARGE = 12 kN/m^2
- MSE WALL DESIGN GENERALLY FOLLOWS FHWA, CFEM AND EGBC GUIDELINES.

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REV No	DATE	BY	P.Eng	REVISION DESCRIPTION	LEGEND	DRAWING TITLE	ENGINEER'S SEA.	PLOT DATE	DRAWN BY
						SEGMENTAL BLOCK WALLS		2021-06-25	NV
						PROJECT NAME NANAIMO CORRECTIONAL CENTRE, 3945 BIGGS ROAD, NANAIMO, BC		REVIEWED BY CH	SCALE AS NOTED
						LEGAL DESCRIPTION		PROJECT No. F9170	DRAWING No. F9170-01



ATTACHMENT H LANDSCAPE PLAN AND DETAILS



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2	Issued for DP Response	20210707

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PROJECT
NANAIMO CORRECTIONAL CENTRE REPLACEMENT
 3945 BIGGS ROAD
 NANAIMO, BC
 V9R 5N3, CANADA

PROJECT NO: 19-080	SCALE: 1:750
DRAWN BY: JS	CHECKED BY: MP
PROJECT MGR: JP	APPROVED BY: MP

SHEET TITLE
 Landscape Site Plan

SHEET NUMBER L0.0	ISSUE 2021-07-08
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LEGEND

- Pedestrian Circulation
- Vehicular Circulation

BRANNAN LAKE



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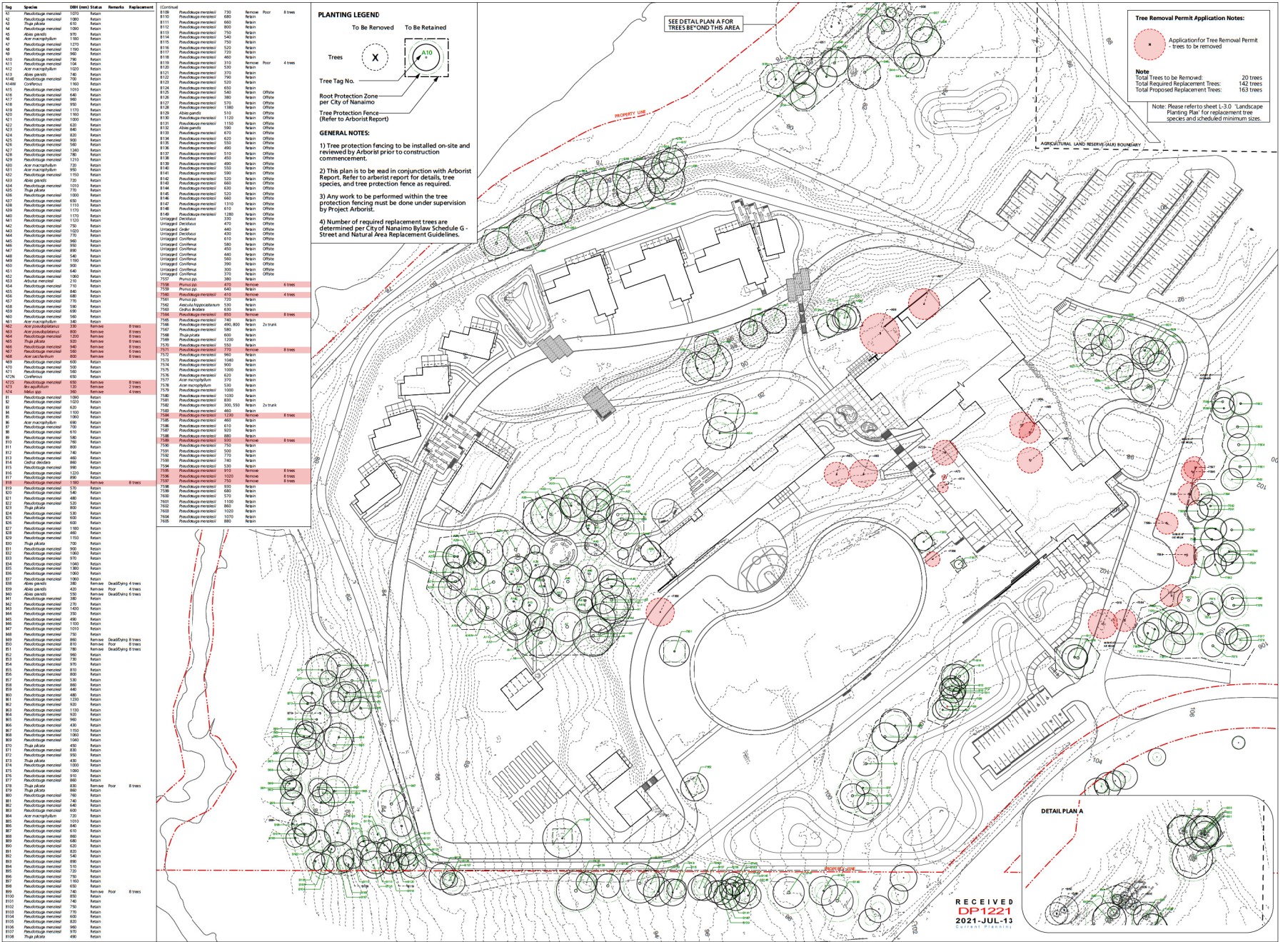
PROJECT NO: 18-080	SCALE: 1:750
DRAWN BY: JB	CHECKED BY: MP
PROJECT MGR: JP	APPROVED BY: MP

SHEET TITLE
Landscape Site Circulation Diagram

SHEET NUMBER L0.1	ISSUE
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Site Circulation Diagram
Scale: 1:750



Tag	Species	DBH (mm)	Stem	Remarks	Replacement	Quantity	Species	DBH (mm)	Stem	Remarks
42	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
43	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
44	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
45	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
46	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
47	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
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49	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
50	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
51	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
52	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
53	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		
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100	Pinus strobus	100	Repin		Pinus strobus	70	Repin	4 trees		

PLANTING LEGEND

To Be Removed To Be Retained

Trees (X) (A10)

Tree Tag No.

Root Protection Zone per City of Nanaimo

Tree Protection Fence (Refer to Arborist Report)

GENERAL NOTES:

1) Tree protection fencing to be installed on-site and commenced.

2) This plan is to be read in conjunction with Arborist Report. Refer to arborist report for details, tree species, and tree protection fence as required.

3) Any work to be performed within the tree protection fencing must be done under supervision by Project Arborist.

4) Number of required replacement trees are determined per City of Nanaimo Bylaw Schedule G - Street and Natural Area Replacement Guidelines.

Tree Removal Permit Application Notes:

Application for Tree Removal Permit - trees to be removed

Note: Total Trees to be Removed: 20 trees
Total Required Replacement Trees: 142 trees
Total Proposed Replacement Trees: 163 trees

Note: Please refer to sheet L-3.0 Landscape Planting Plan for replacement tree species and scheduled minimum sizes.

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PROJECT

NANAIMO CORRECTIONAL CENTRE REPLACEMENT
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N5, CANADA

PROJECT NO: 19-080 **SCALE:** 1:750

DRAWN BY: JB **CHECKED BY:** MP










PROJECT MGR: JP **APPROVED BY:** MP

SHEET TITLE
Tree Management Plan

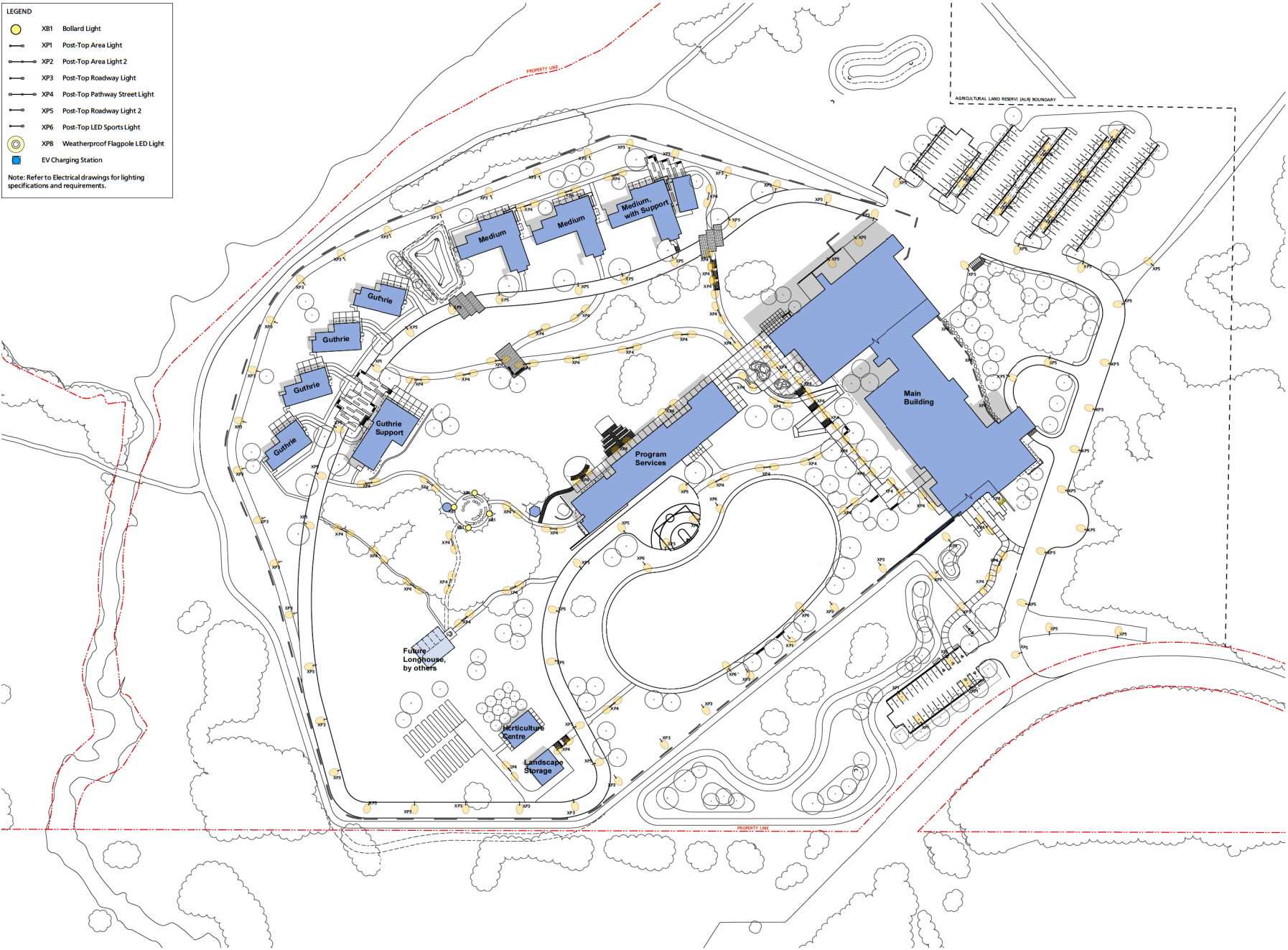
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2021-07-08


LEGEND

-  XB1 Bollard Light
-  XP1 Post-Top Area Light
-  XP2 Post-Top Area Light 2
-  XP3 Post-Top Roadway Light
-  XP4 Post-Top Pathway Street Light
-  XP5 Post-Top Roadway Light 2
-  XP6 Post-Top LED Sports Light
-  XP8 Weatherproof Flagpole LED Light
-  EV Charging Station

Note: Refer to Electrical drawings for lighting specifications and requirements.



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PROJECT
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3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

PROJECT NO: 19-080	SCALE: 1:750
DRAWN BY: JS	CHECKED BY: MP
PROJECT MGR: JP	APPROVED BY: MP

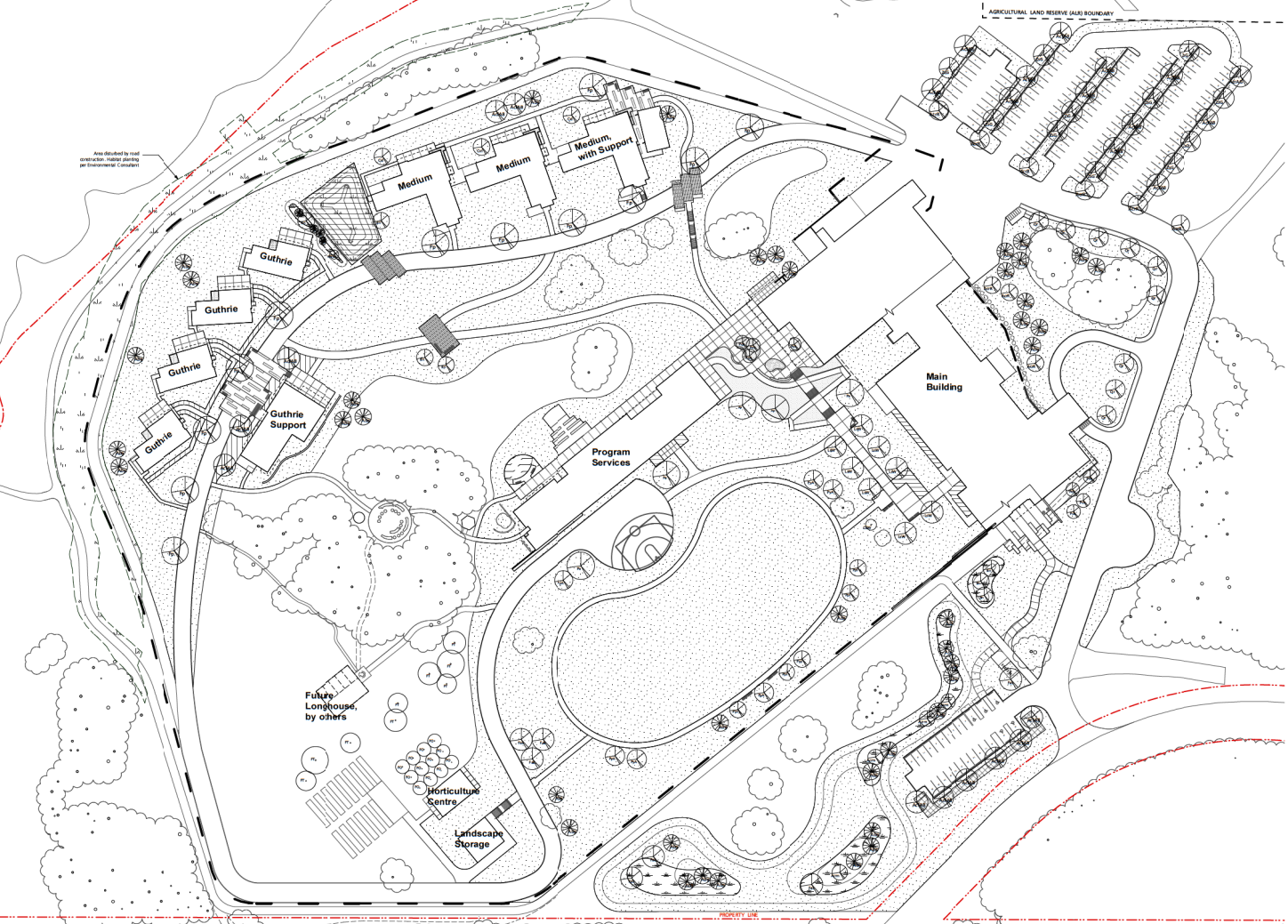
SHEET TITLE
Landscape
Site Lighting Plan

SHEET NUMBER L2.0	ISSUE 2021-07-08
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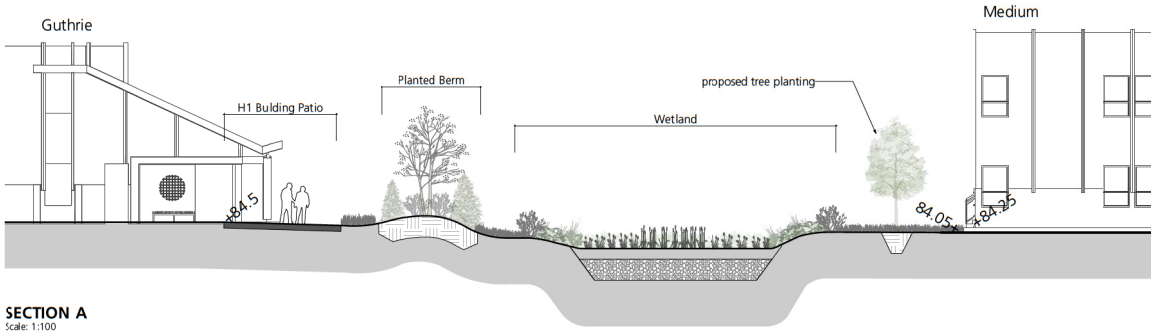
PLANTING LEGEND table with 11 categories (A-K) and corresponding symbols for Entry Plaza, Commons, Commons Plaza, Guthrie Neighbourhood, Wetland, Berm, Healing Garden, Guthrie/Medium Building Planters, Hydroseed, Habitat Planting, and Parking Lot Planting.

PLANTING PALETTE table with 11 sections (A-K) listing botanical names, common names, and size/spacing for various plant species like Berberis thunbergii, Calamagrostis, Carex, and others.

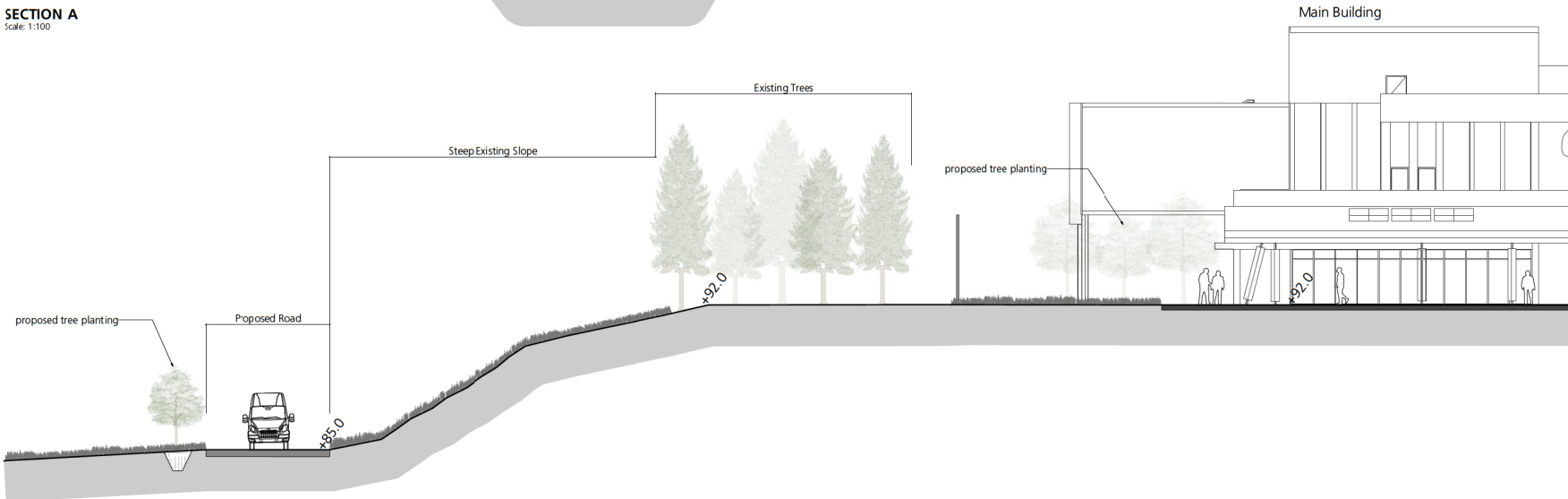
Tree Planting List table with columns: Symbol, Qty., Botanical Name, Common Name, Scheduled Size, and Remarks. Lists 22 tree types with quantities and specific planting instructions.



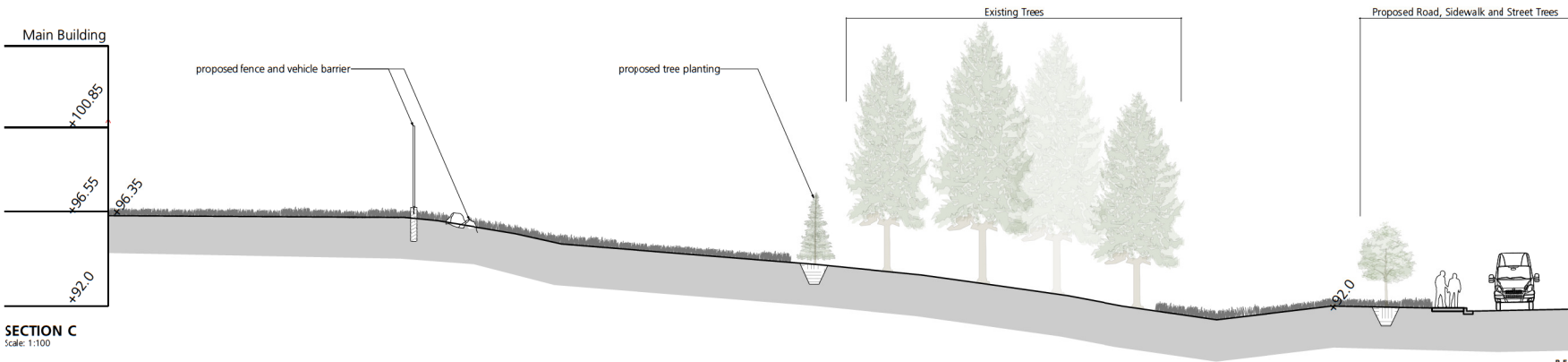
Project information block containing CLIENT (stuartolson), COPYRIGHT, ISSUES, CONSULTANTS (P+A Landscape Architecture), RECEIVED stamp (2021-JUL-13), SEAL, PRIME CONSULTANT (IBI GROUP), PROJECT (NANAIMO CORRECTIONAL CENTRE REPLACEMENT), PROJECT NO. (19-080), SCALE (1:750), SHEET NUMBER (L3.0), and ISSUE (2021-07-08).



SECTION A
Scale: 1:100



SECTION B
Scale: 1:100



SECTION C
Scale: 1:100

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111 number of IBI Group of companies

ISSUES	DESCRIPTION	DATE
1	Issued for Technical Submission	2020/05/05
2	Financial Submission 2	2020/10/15
3	Issued for Development Permit	2021/02/03

CONSULTANTS

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Landscape Architecture
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SEAL

PRIME CONSULTANT

IBI GROUP
ARCHITECTS (CANADA) INC.
705-108 West Pender Street
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ibi@ibi.com

PROJECT
NANAIMO CORRECTIONAL CENTRE REPLACEMENT
3945 BIGGS ROAD
NANAIMO, BC
V9R 5N3, CANADA

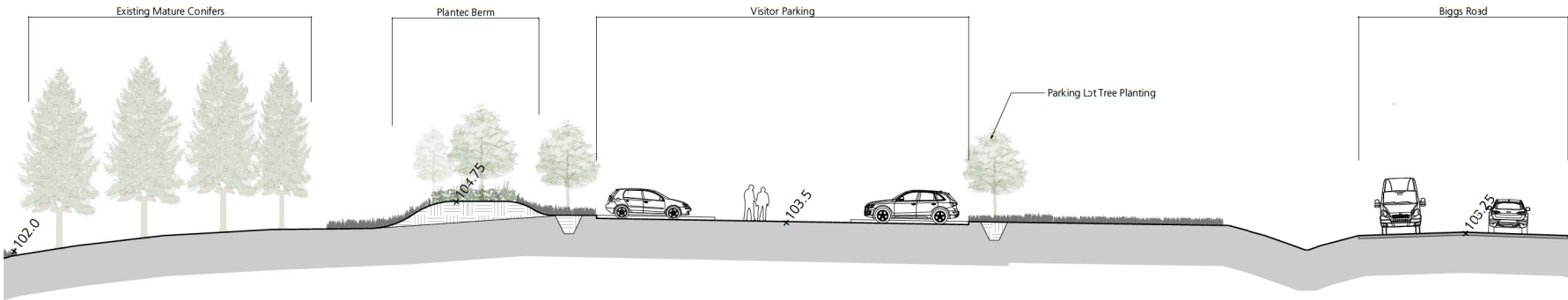
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DRAWN BY: JP	CHECKED BY: MP
PROJECT MGR: JP	APPROVED BY: MP

SHEET TITLE
Illustrative
Landscape Sections

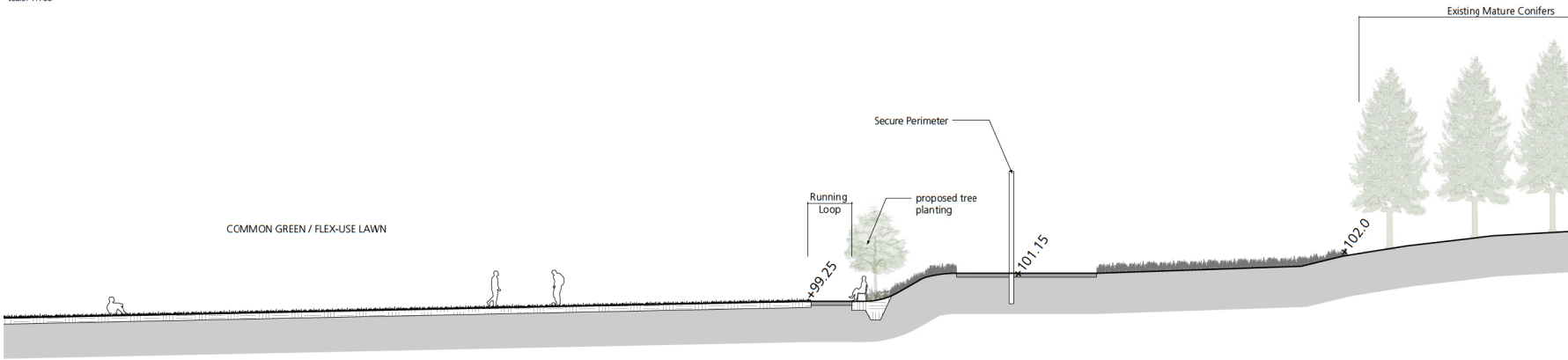
SHEET NUMBER L4.0	ISSUE
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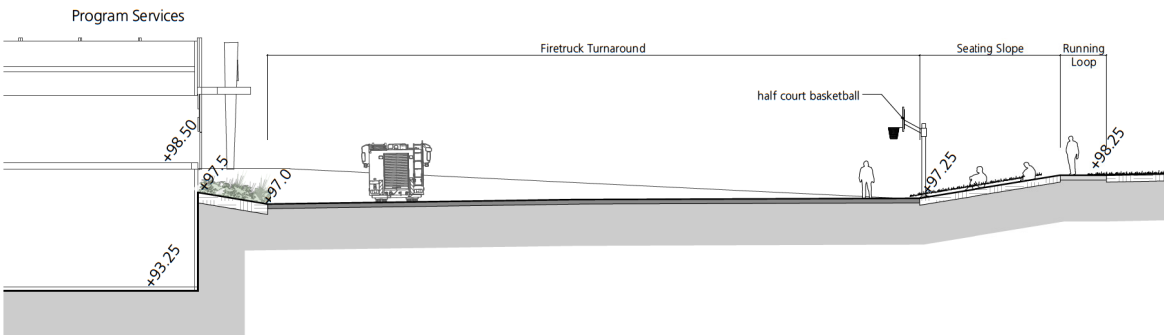
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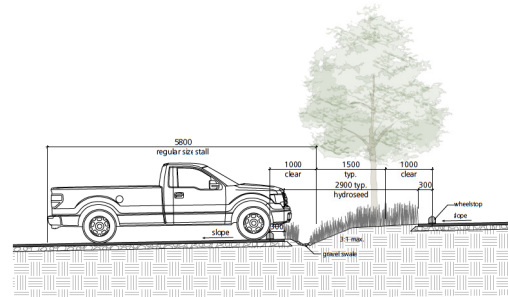
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SECTION D (cont.)
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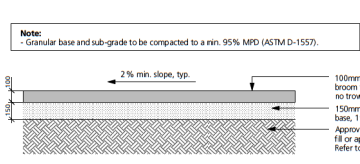
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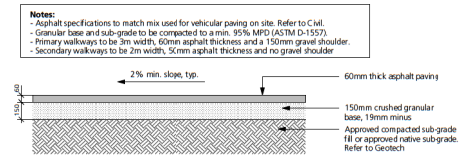
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<p>ISSUES</p> <table border="1"> <thead> <tr> <th>No.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>Issued for Technical Submission</td> <td>2020/09/05</td> </tr> <tr> <td>2</td> <td>Financial Submission 2</td> <td>2020/10/15</td> </tr> <tr> <td>3</td> <td>Issued for Development Permit</td> <td>2021/02/03</td> </tr> </tbody> </table>		No.	DESCRIPTION	DATE	1	Issued for Technical Submission	2020/09/05	2	Financial Submission 2	2020/10/15	3	Issued for Development Permit	2021/02/03
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2	Financial Submission 2	2020/10/15											
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<p>PROJECT</p> <p>NANAIMO CORRECTIONAL CENTRE REPLACEMENT 3945 BIGGS ROAD NANAIMO, BC V9R 5N5, CANADA</p>													
PROJECT NO: 19-080	SCALE: As Shown												
DRAWN BY: JP	CHECKED BY: MP												
PROJECT MGR: JP	APPROVED BY: MP												
SHEET TITLE Illustrative Landscape Sections													
SHEET NUMBER L4.1	ISSUE												

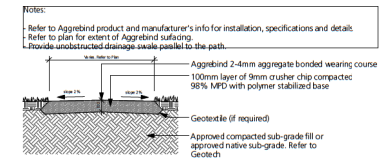
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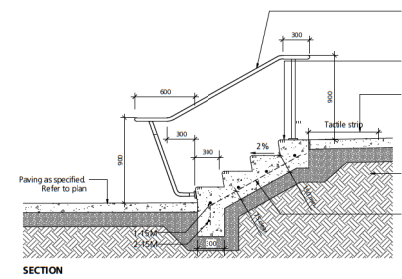
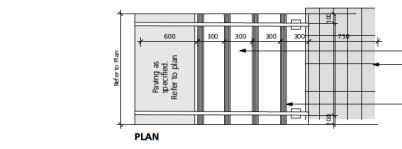
1 Pedestrian Concrete Paving
L5.0 1:20



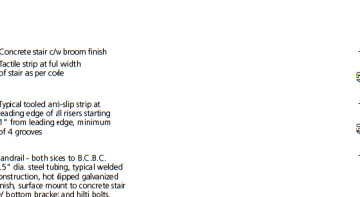
2 Pedestrian Asphalt Paving
L5.0 1:20



3 Pedestrian Granular Paving
L5.0 1:20



4 Cast Concrete Stairs
L5.0 1:25



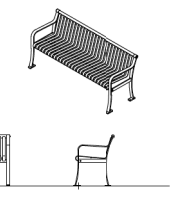
5 Concrete Seat Wall
L5.0 1:20



7 Bike Rack
L5.0 1:20

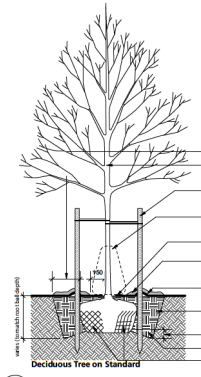


6 Metal Bench
L5.0 nts

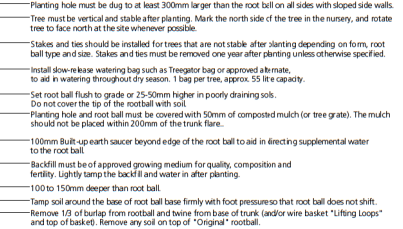


8 Garbage Receptacle
L5.0 nts

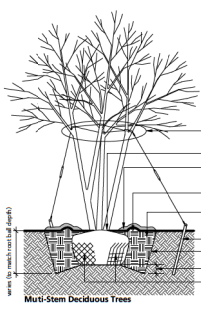
- Tree Planting Notes:**
- Do not cut leader.
 - Stake trees only upon the approval of the landscape architect. wrap tree trunks only upon the approval of the landscape architect.
 - Protect tree from danger during planting. ensure rootball is protected from sun, frost or desiccation.
 - Tree selection, handling, planting and maintenance must meet local/bcna standards, be in good health and condition without wounds, have normal form, and be free of disease and pests.
 - Site preparation must include provision for soil placement, replacement or enhancement to meet project specifications.
 - Planting holes must be free draining to the extent that rainwater and/or supplemental water does not accumulate and drown the roots. if necessary, the subgrade must be graded with positive slope and/or drainage services such as but not limited to percolation holes, french drains or drain pipes must be installed to suit.
 - Watering of the root ball must be undertaken immediately after planting and then for the first growing season so that the root ball is thoroughly wetted once per week (min/num).
 - The mulched root zone should be refreshed annually to replace the mulch. this area must be weeded by hand to avoid trunk and root damage from string trimmers or mowers.
 - The tree should be pruned to ansi a3000 standards after establishment and from time to time to train it for structure to conform to the form of the species and to respond to growing site constraints. all pruning must be undertaken by or performed under the direction of a qualified arborist certified by the international society of arboriculture and who demonstrates proficiency in pruning.



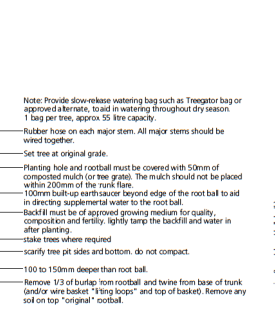
9 Deciduous Tree on Standard
L5.0 1:25



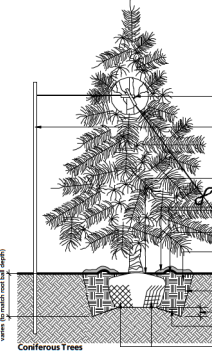
10 Multi-Stem Deciduous Trees
L5.0 1:25



11 Coniferous Trees
L5.0 1:25



12 Coniferous Trees
L5.0 1:25



13 Coniferous Trees
L5.0 1:25

- Note: Provide slow-release watering bag such as Treegator bag or approved alternate, to aid in watering throughout dry season. 1 bag per tree, approx. 55 litre capacity.
- Fasten trunk to stake with tree ring as necessary.
 - Locate anchor stake 450mm away from tree trunk on side of prevailing wind. T-rail iron stake or acceptable wooden substitute. Anchor firmly.
 - Set root ball flush to grade or 25-50mm higher in poorly draining soils. Do not cover the top of the root ball with soil.
 - Planting hole and root ball must be covered with 50mm of composted mulch (or tree grate). The mulch should not be placed within 200mm of the trunk flare.
 - 100mm built-up earth saucer beyond edge of the root ball to aid in directing supplemental water to the root ball.
 - Backfill must be of approved growing medium for quality, composition and fertility. Lightly tamp the backfill and water in after planting.
 - Stake trees where required.
 - scarify tree pit sides and bottom. do not compact.
 - 100 to 150mm deeper than root ball.
 - Tamp soil around the base of root ball base firmly with foot pressure so that root ball does not shift.
 - Remove 1/3 of burlap from rootball and twine from base of trunk (and/or wire basket "lifting loops" and top of basket). Remove any soil on top "original" rootball.

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PRIME CONSULTANT		
PROJECT		
NANAIMO CORRECTIONAL CENTRE REPLACEMENT 3945 BIGGS ROAD NANAIMO BC V9R 5N5, CANADA		
PROJECT NO: 19-080	SCALE: As Shown	
DRAWN BY: JP	CHECKED BY: MP	
PROJECT MGR: JP	APPROVED BY: MP	
SHEET TITLE		
Landscape Details		
SHEET NUMBER	L5.0	ISSUE
2021-02-03		



Visitor Arrival Plaza with Planting, Seating Elements, Bollards and Flag Poles



The Commons Plaza with Organic Edges



Outdoor Patios Adjacent Support Buildings



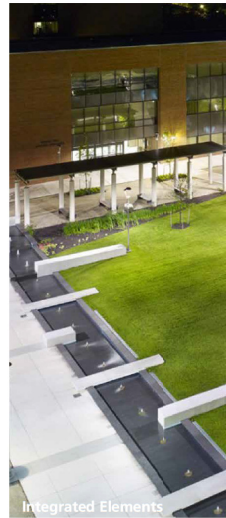
The Commons



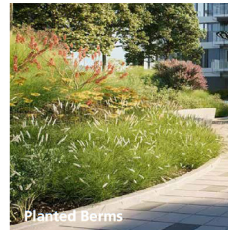
Support Building Entrance



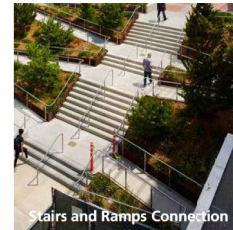
Visitor Arrival Plaza with Planting, Seating Elements and Flag Poles



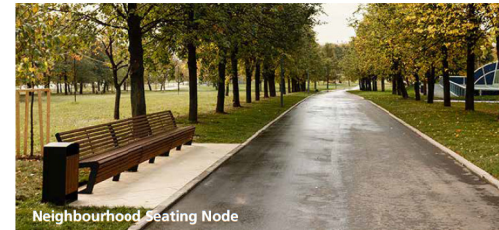
Integrated Elements



Planted Berms



Stairs and Ramps Connection



Neighbourhood Seating Node



Flex Use Plaza with Basketball Court



Council Circle



Cast Concrete Elements



Common Green and Running Loop



Amphitheatre

ARRIVAL PLAZA

COMMONS AREAS

NEIGHBOURHOOD AND GATHERING SPACES

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<p>PROJECT</p> <p>NANAIMO CORRECTIONAL CENTRE REPLACEMENT 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA</p>		
PROJECT NO: 19-080	SCALE: 1:730	
DRAWN BY: JB	CHECKED BY: MP	
PROJECT MGR: JP	APPROVED BY: MP	
SHEET TITLE Landscape Precedents		
SHEET NUMBER L6.0	ISSUE	2021-02-03

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Tree Planting between Staff Parking Lots



Granular Pathways



Cedar Log and Stump Seating



Planted Berms and Hedgerows providing Visual Screening



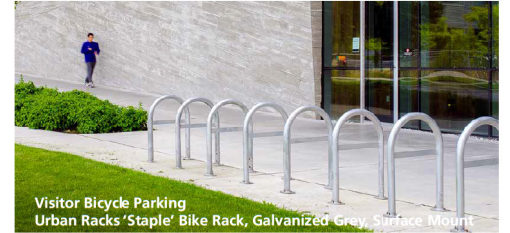
Integrated Stormwater Solutions



Asphalt Pathways and Paving Areas



Flex-Use Common Green Area



Visitor Bicycle Parking
Urban Racks 'Staple' Bike Rack, Galvanized Grey, Surface Mount



Cast Concrete Paving c/w Broom Finish



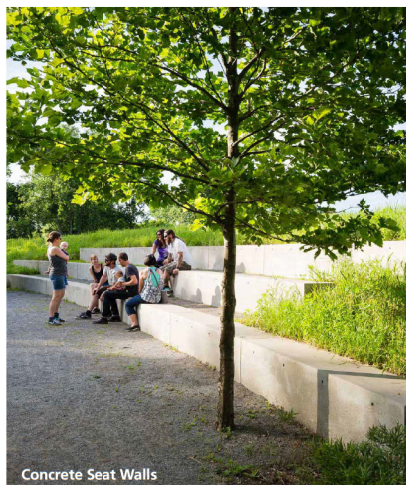
Cast Concrete Stairs



Maglin 510 Backed Bench, Powdercoat Silver 14, Surface Mount



Painted Asphalt Patterns at Neighbourhood Plazas



Concrete Seat Walls



Basketball Hoop

Maglin 250 Trash Container
Powdercoat Silver 14, Surface Mount



Precast Concrete Wheel Stops



Stamped Asphalt Pattern at Nodes



Dero 'Single Locker', Powdercoat Grey - Secure Staff Bicycle Parking

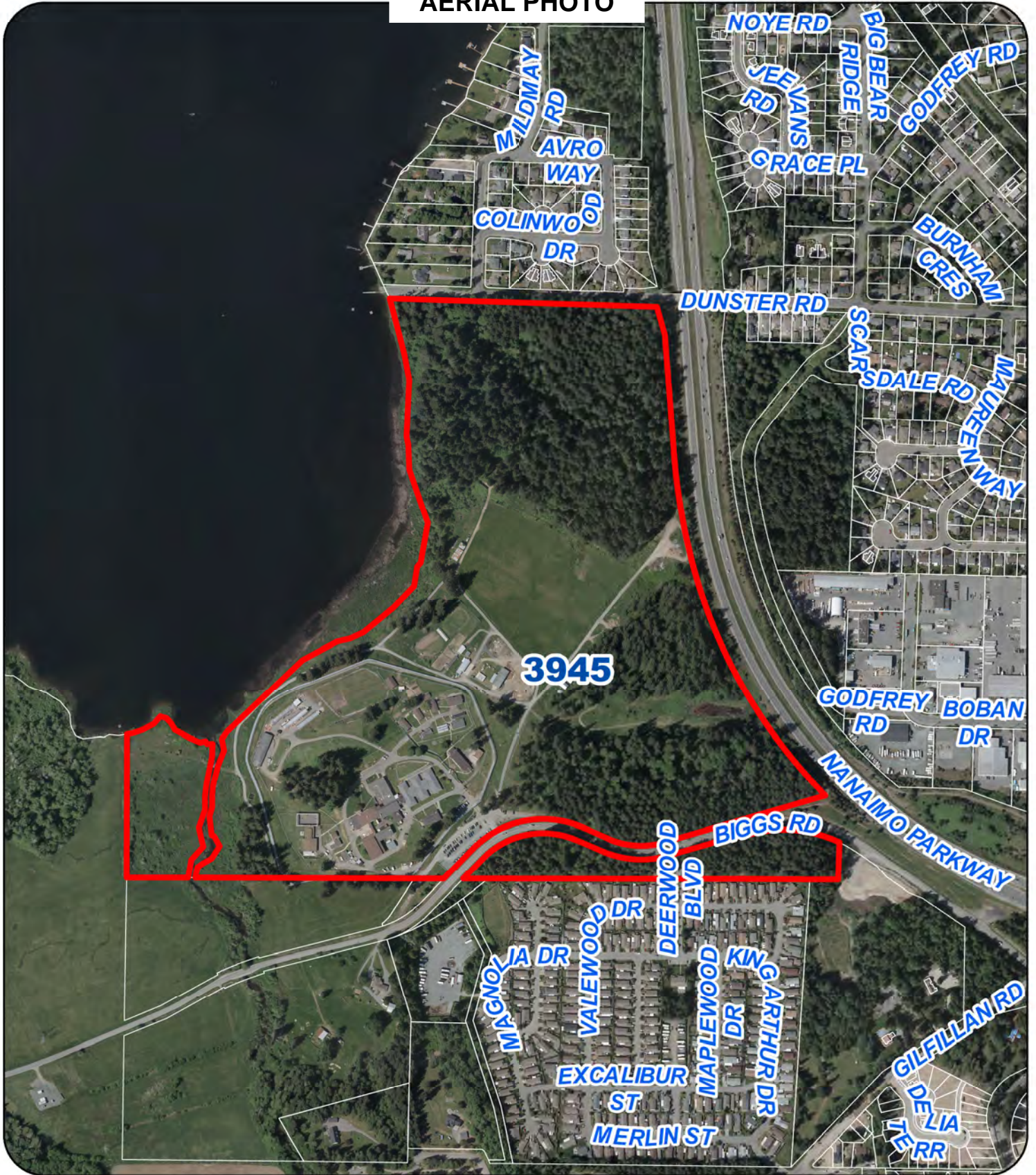
PARKING LOTS

MATERIALS AND SITE ELEMENTS

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<p>IBI IBI GROUP ARCHITECTS (CANADA) INC. 770-1038 West Pender Street Vancouver, BC V6E 4B1 Canada Tel: 604.683.0797 Fax: 604.683.0842 ibigroup.com</p>		
PROJECT		
<p>NANAIMO CORRECTIONAL CENTRE REPLACEMENT 3945 BIGGS ROAD NANAIMO, BC V9R 5N3, CANADA</p>		
PROJECT NO: 19-080	SCALE: 1:750	
DRAWN BY: JB	CHECKED BY: MP	
PROJECT MGR: JP	APPROVED BY: MP	
SHEET TITLE		
Landscape Precedents		
SHEET NUMBER	ISSUE	
L6.1		

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 2021 FEB 03
 Current Planning

ATTACHMENT I
AERIAL PHOTO




3945

REZONING APPLICATION NO. DP001221



LEGEND

 SUBJECT PROPERTY

Delegation Request

Delegation's Information:

Tony Gill, IBI Architects, has requested an appearance before Council.

City: Nanaimo

Province: BC

Delegation Details:

The requested date is July 26, 2021.

The requested meeting is:
Council

Bringing a presentation: Yes

Details of the Presentation:

Provide overview of the Nanaimo Correctional Centre Project, DP1221.