



**DEVELOPMENT PERMIT NO. DP001221**

**HER MAJESTY THE QUEEN IN RIGHT OF THE PROVINCE OF BRITISH COLUMBIA  
AS REPRESENTED BY THE MINISTER OF CITIZEN'S SERVICES**

**Name of Owner(s) of Land (Permittee)**

**3945 BIGGS ROAD**

**Civic Address**

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 1, DISTRICT LOT 22G, WELLINGTON DISTRICT, PLAN VIP73819  
(NANAIMO CORRECTIONAL CENTRE)**

**PID No. 024-424-530**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan  
Schedule B Site Plan and Details  
Schedule C Building Elevations and Details  
Schedule D Retaining Wall Plan and Details  
Schedule E Landscape Plan and Details**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

"City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

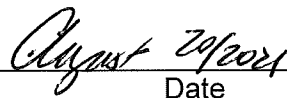
1. *Section 14.6.1 Size of Buildings* – to increase the maximum allowable building height from 14.0m to 18.73m for Building AE.
2. *Section 6.3.2 Location and Siting of Buildings and Structures to Watercourses* – to reduce the minimum watercourse setback for the Millstone River from 30m to 0m and for Brannen Lake from 15m to 0m for proposed upgrades to the existing road, security fence, and utility infrastructure.

### CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan and Details prepared by IBI Group Architects (Canada) Inc., dated 2021-JUL-09, and Alpin Martin, dated 2021-FEB-18, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by IBI Group Architects (Canada) Inc., dated 2021-FEB-03, 2021-JUN-25 and 2021-JUL-14, as shown in Schedule C.
3. The development is in substantial compliance with the Retaining Wall Plan and Details prepared by IBI Group Architects (Canada) Inc., received 2021-JUL-09, as shown on Schedule D.
4. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by P+A Landscape Architecture Site Planning, dated 2021-FEB-03 and 2021-JUL-07, as shown on Schedule E.
5. The subject property is developed in accordance with the recommendations contained within the Environmental Impact Assessment prepared by Aquaparian Environmental Consulting Ltd., dated 2021-MAR-10.
6. A Vegetation Restoration Plan with a three-year maintenance period and bonding for the riparian area must be submitted prior to Design Stage Approval.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 26TH DAY OF JULY, 2021.

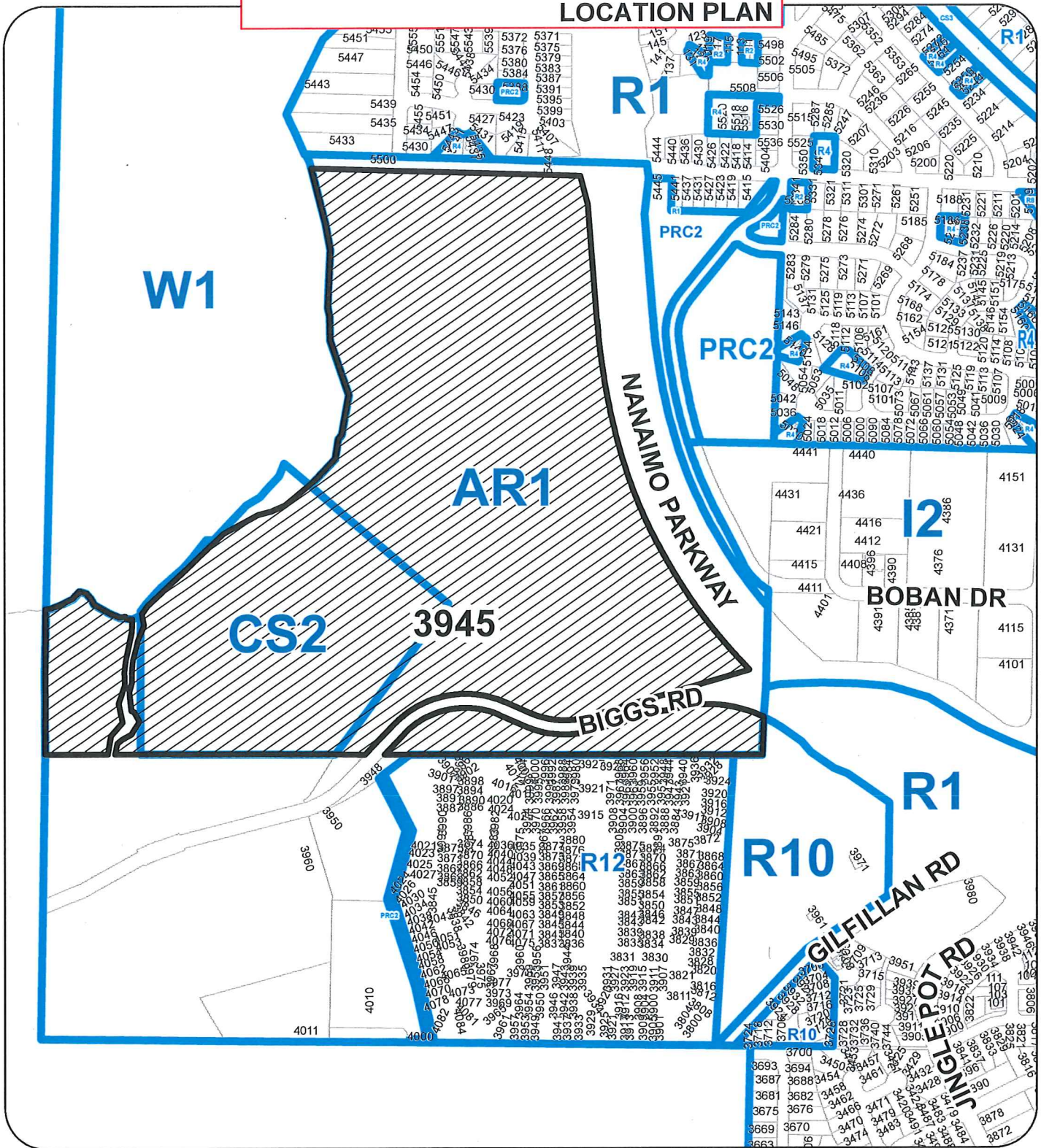
  
\_\_\_\_\_  
Corporate Officer

  
\_\_\_\_\_  
Date

LS/ln  
Prospero attachment: DP001221

Development Permit No. DP001221 Schedule A  
 3945 Biggs Road

**LOCATION PLAN**



N



**REZONING APPLICATION NO. DP001221**

**LOCATION PLAN**



SUBJECT PROPERTY

Civic: 3945 BIGGS ROAD  
 Legal: LOT 1, DISTRICT LOT 22G  
 WELLINGTON DISTRICT, PLAN VIP73819

Development Permit No. DP001221 Schedule B  
 3945 Biggs Road  
**SITE PLAN AND DETAILS**

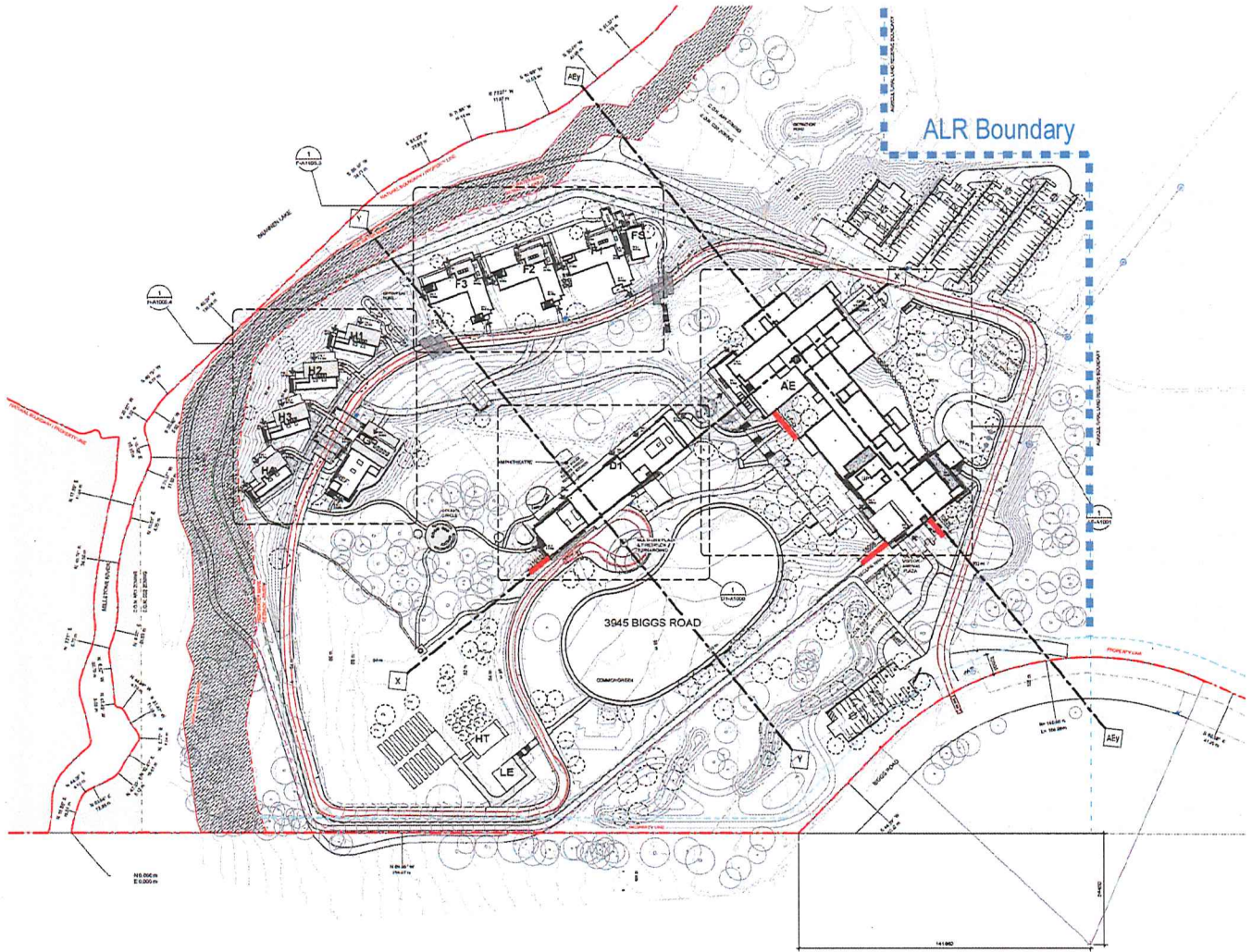
KEY PLAN

CURVE

Copyright

© Stuart Tolson Inc. 2014

REV	DESCRIPTION	DATE
1	FOR APPROVAL	2014-08-08
2	REVISED FOR SUBMITTAL	2014-08-15
3	REVISED FOR SUBMITTAL	2014-08-22
4	REVISED FOR SUBMITTAL	2014-09-05
5	REVISED FOR SUBMITTAL	2014-09-12
6	REVISED FOR SUBMITTAL	2014-09-19



COMMENTS

SCALE

LEGEND

- PROPERTY BOUNDARY
- RETRACE
- HIGH WATER MARK
- HIGH WATER MARK SETBACK
- SECURE PERIMETER SERVICE
- THREAT PERIMETER EDGE
- LEAVE STRIP
- OVERHEAD POWER LINE - EXISTING
- OVERHEAD POWER LINE - PROPOSED
- SANITARY MAIN - EXISTING
- SANITARY MAIN - PROPOSED
- SITE LIGHTING POWER CONDUIT
- STORM MAIN - EXISTING
- STORM MAIN - PROPOSED
- HIGH VOLTAGE CONDUIT - EXISTING
- HIGH VOLTAGE CONDUIT - PROPOSED
- UNDERGROUND TELECOMM
- FIRE ALARM UNDERGROUND DUCT
- WATER MAIN - EXISTING
- WATER MAIN - PROPOSED
- GAS LINE
- EXISTING SITE TOPOGRAHY
- PROPOSED RESURFACING
- TREE - EXISTING
- TREE - PROPOSED
- FIRE HYDRANT
- FIRE TRUCK TURNING MOVEMENTS
- FIRE DEEP CONNECTION
- AREA DRAIN
- LAMPI BASH
- CATCH BASIN
- TRENCH DRAIN
- LAMP STAND
- POWER POLE - EXISTING
- POWER POLE - PROPOSED

PRIME CONSULTANT

**IBI**

PROJECT

**NANAIMO CORRECTIONAL CENTRE**

3945 BIGGS ROAD  
 NANAIMO, BC  
 VANUCCI, CANADA

PROJECT NO.  
 122747

DRAWN BY: [Signature] CHECKED BY: [Signature]

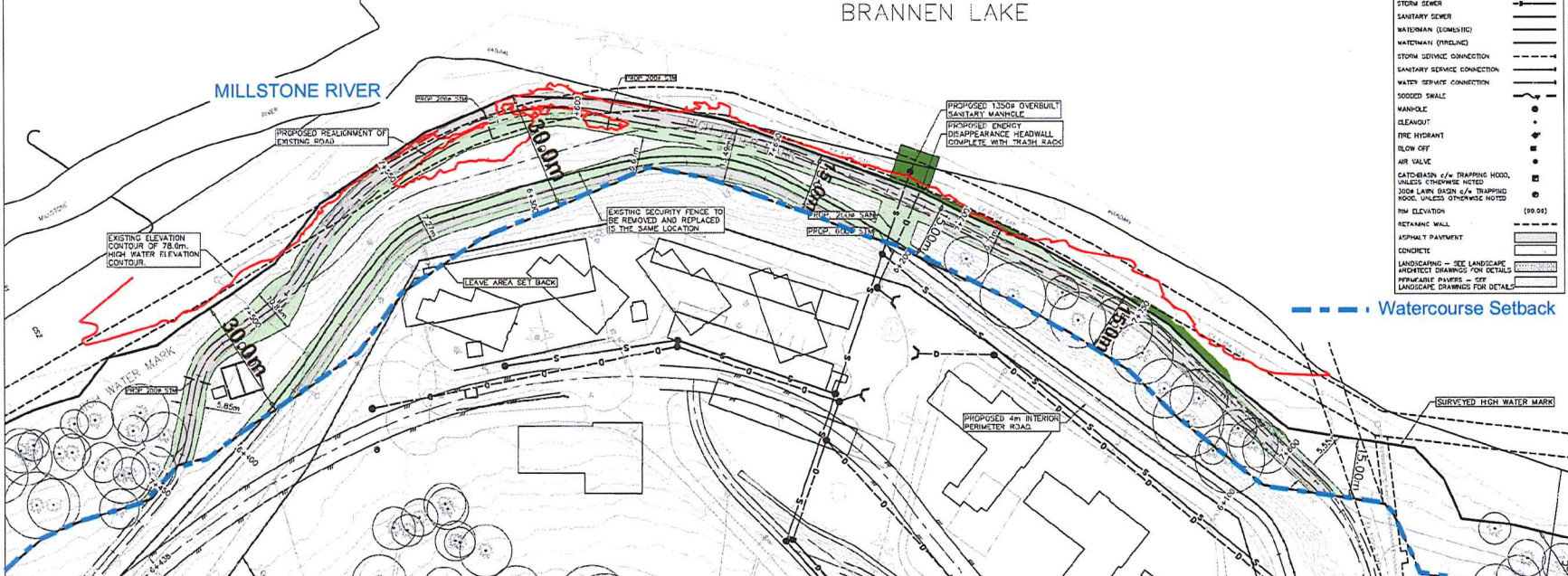
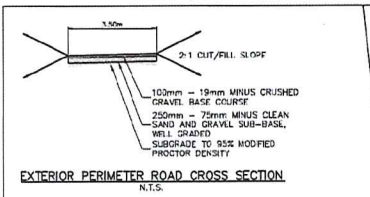
PROJECT MGR: [Signature] APPROVED BY: [Signature]

SHEET TITLE  
 SITE PLAN - PHASE 4 - PROPOSED

SHEET NUMBER  
**A10001.41**

6

1 SITE PLAN  
 ADJUST TO SCALE 1:100

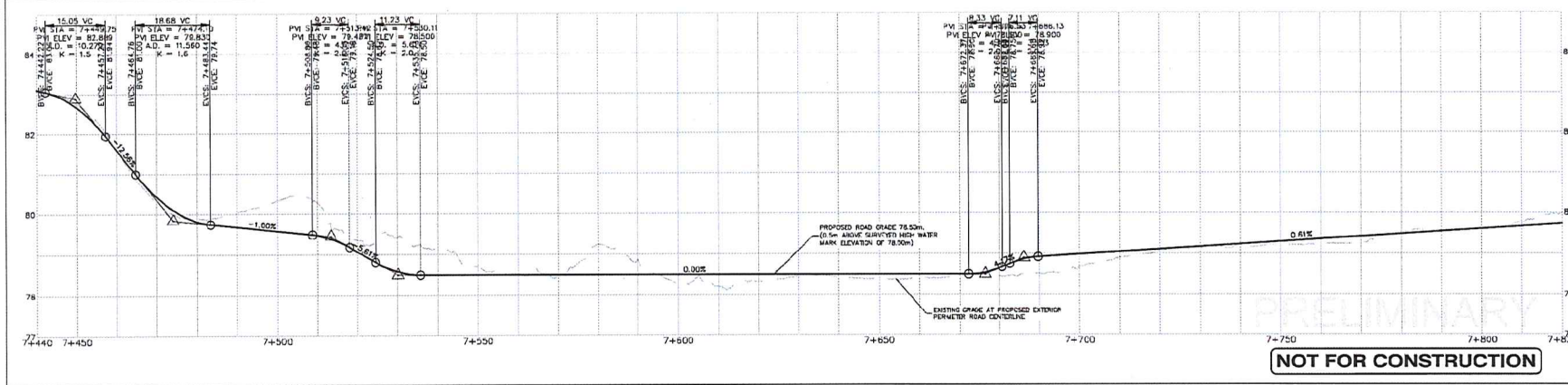


**LEGEND**

- PROPOSED DISTURBANCE AREA WITHIN LEAVE AREA = (3602.6m<sup>2</sup>)
- PROPOSED DISTURBANCE AREA BELOW HIGH WATER BOUNDARY = (192.3m<sup>2</sup>)
- EXISTING ROADS WITHIN LEAVE AREA
- EDGE OF GRAVEL

**SERVICING LEGEND**

- STORM SEWER
- SANITARY SEWER
- WATERMAIN (DOMESTIC)
- WATERMAIN (FIRE/PLAC)
- STORM SERVICE CONNECTION
- SANITARY SERVICE CONNECTION
- WATER SERVICE CONNECTION
- FOODED SHALE
- MANHOLE
- CLEANOUT
- FIRE HYDRANT
- BLOW OFF
- AIR VALVE
- CATCH-BASIN c/w TRAPPING HOOD, UNLESS OTHERWISE NOTED
- 3008 LARRY BASIN c/w TRAPPING HOOD, UNLESS OTHERWISE NOTED
- P.W. ELEVATION
- RETAINING WALL
- ASPHALT PAVEMENT
- CONCRETE
- LANDSCAPING - SEE LANDSCAPE ARCHITECT DRAWINGS FOR DETAILS
- PERMEABLE PAVEMENTS - SEE LANDSCAPE DRAWINGS FOR DETAILS



**NOT FOR CONSTRUCTION**

**CLIENT**

**COPYRIGHT**

© Stuart Tolson Inc. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Stuart Tolson Inc.

88 Green Architects (Canada) Inc. is a member of the Stuart Tolson Group.

NO.	REVISION HISTORY	DATE
00	ISSUED FOR DISCUSSION	2021 FEB 01
01	ISSUED FOR DISCUSSION	2021 FEB 19

**CONSULTANTS**

**RECEIVED**  
**DP1221**  
 2021-JUL-09  
 Stuart Tolson

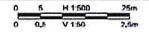
**PRIME CONSULTANT**

**PROJECT**  
 NANAIMO CORRECTIONAL CENTRE  
 3045 BIGGS ROAD  
 NANAIMO, BC  
 V8R 5N3, CANADA

**PROJECT NO:** 20-8014  
**DRAWN BY:** S.A.L.  
**CHECKED BY:** S.A.L.  
**SCALE: H:** 1:300  
**V:** 1:50  
**APPROVED BY:** S.A.L.

**SHEET TITLE**  
 LEAVE AREA DISTURBANCE SKETCH

**SHEET NUMBER** 20-8001-EV-01 **ISSUE** 01



**BUILDING ELEVATIONS AND DETAILS**

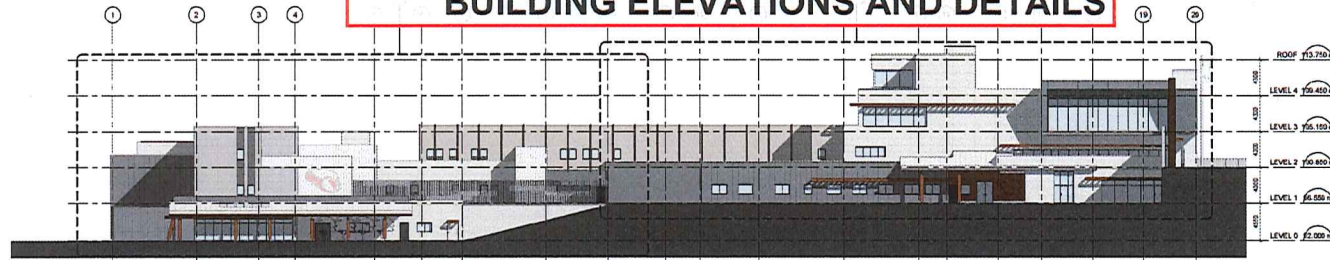


CLIENT: Information BC

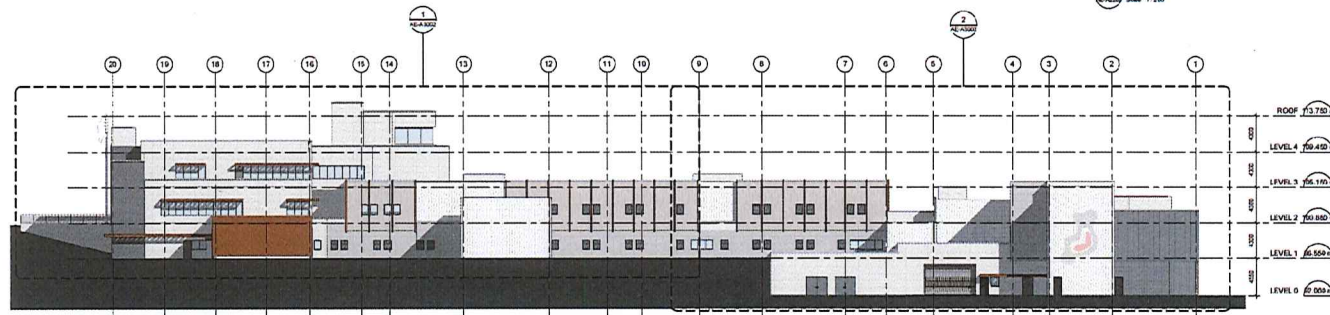
PROJECT: Nanaimo Correctional Centre

DATE: 2021-07-14

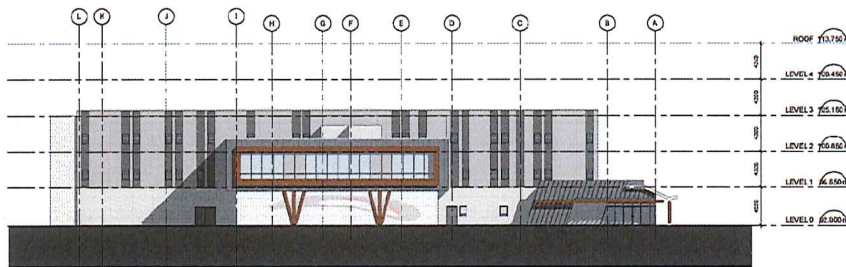
NO.	DESCRIPTION	DATE
1	DP SUBMISSION	2021-07-14
2	DP APPROVAL	2021-07-14
3	DP APPROVAL	2021-07-14
4	DP APPROVAL	2021-07-14
5	DP APPROVAL	2021-07-14
6	DP APPROVAL	2021-07-14
7	DP APPROVAL	2021-07-14
8	DP APPROVAL	2021-07-14



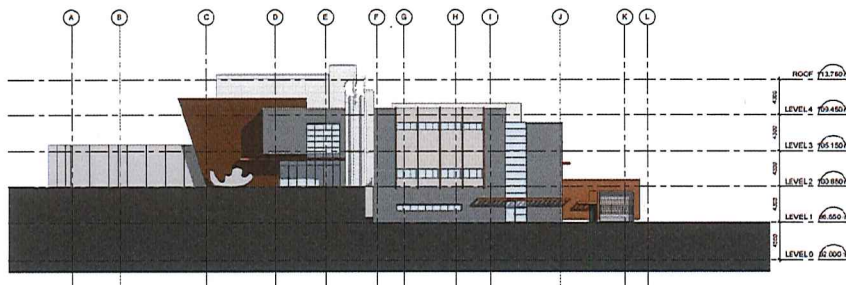
4 BLOCK AE SOUTH ELEVATION  
Scale: 1/200



1 BLOCK AE NORTH ELEVATION  
Scale: 1/200



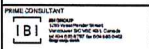
1 BLOCK AE WEST ELEVATION  
Scale: 1/200



2 BLOCK AE EAST ELEVATION  
Scale: 1/200

CONSULTANTS

SCALE



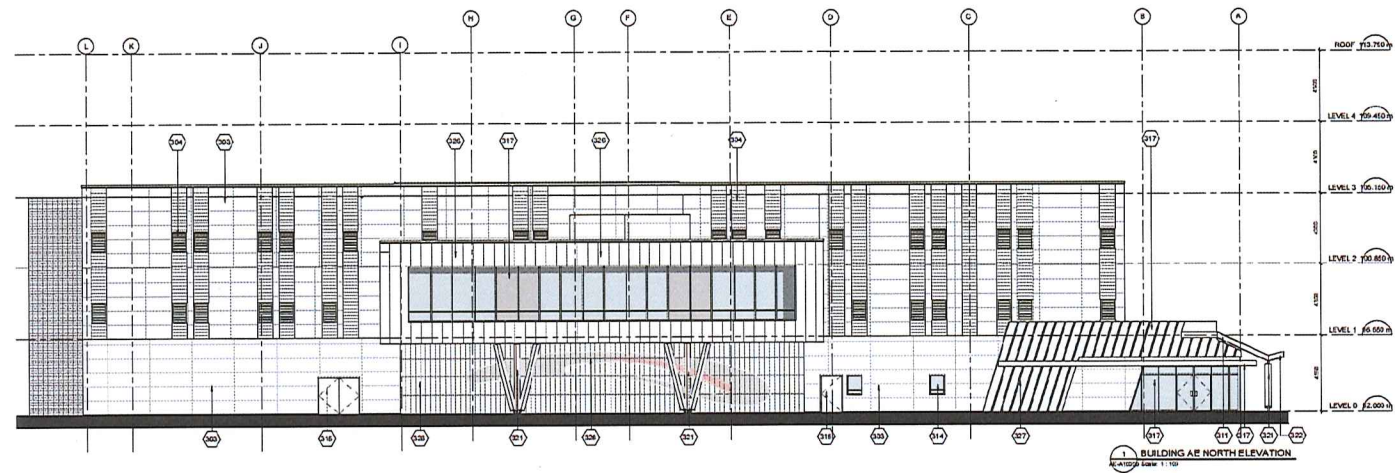
PROJECT: NANAIMO CORRECTIONAL CENTRE  
3945 BIGGS ROAD  
NANAIMO, BC  
V9R 5N4, CANADA

PROJECT NO: 122747  
DRAWN BY: [Signature]  
CHECKED BY: [Signature]

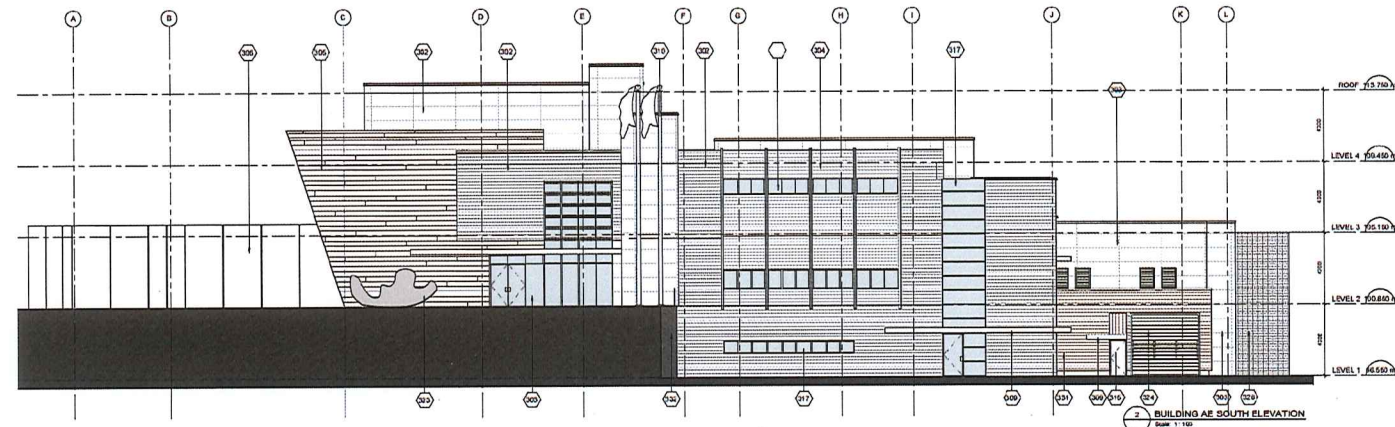
SHEET TITLE: BLOCK AE - BUILDING ELEVATION KEY

SHEET NUMBER: AE-A3000  
ISSUE: 5

RECEIVED  
DP1221  
2021-JUL-14  
Culbert Planning



EXTERIOR FINISHES LEGEND	
Key Value	Keynote Text
302	FIBRE CEMENT SIDING - WOOD GRAIN FINISH
303	FIBRE CEMENT SIDING - PANEL
304	FIBRE CEMENT SIDING - HORIZONTAL LAP
305	HORIZONTAL WOOD LAP SIDING
306	ARCHITECTURAL CONCRETE
309	PREFINISHED METAL CLADDING
310	METAL FLAG POLE
311	STANDING SEAM METAL ROOF
314	GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
315	METAL DOOR AND FRAME
317	GLAZED ALUMINUM CURTAIN WALL
321	ROUND WOOD COLUMN
322	WOOD SOFFIT
323	FUTURE ARTWORK BY OTHERS
324	OVERHEAD COILING DOOR
326	COMPOSITE ALUMINUM PANEL
327	PREFORMED SHEET METAL CLADDING
328	SLC SECURITY MESH
331	T&G SIMULATED WOOD SIDING
332	SEGMENTAL RETAINING WALL SYSTEM 300



**DETAILS**

**SCALE**

**PRIME CONSULTANT**  
**IBI**  
 400-600-1111  
 3400 BROADVIEW AVENUE  
 VANCOUVER, BC V6K 3P3  
 TEL: 604-261-1111  
 WWW.IBI.COM

**PROJECT**  
 NANAIMO CORRECTIONAL CENTRE  
 3400 BROADVIEW ROAD  
 NANAIMO, BC  
 VANCOUVER, CANADA

**PROJECT NO.**  
 122747

**DRAWN BY:** MANABP  
**CHECKED BY:** SH  
**PROJECT NO.:** 122747  
**APPROVED BY:**

**SHEET TITLE**  
 BLOCK AE - BUILDING ELEVATIONS WEST & EAST

**SHEET NUMBER**  
 AE-A3001  
**ISSUE**  
 5

RECEIVED  
**DP1221**  
 2021-JUL-14  
 Current Planning



**CLIENT**  
 Infrastructure BC  
 JACOBS  
 STUART OLSON  
 ARCHITECTS

**CONTRACT**  
 NANNAMO CORRECTIONAL CENTRE  
 3400 BRIDGE ROAD  
 NANNAMO, BC  
 V9T 0A1, CANADA

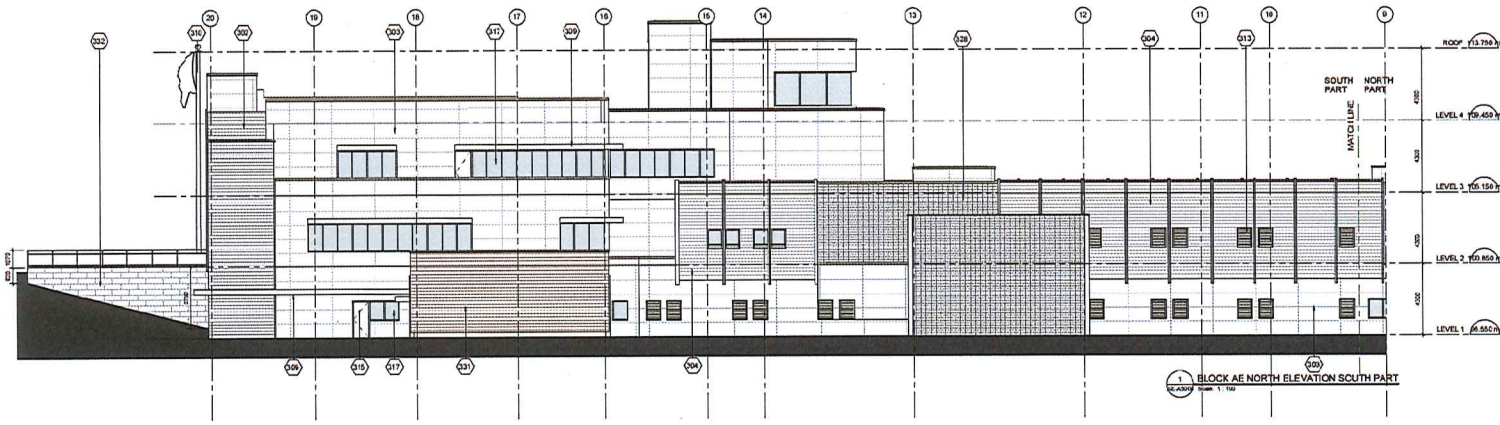
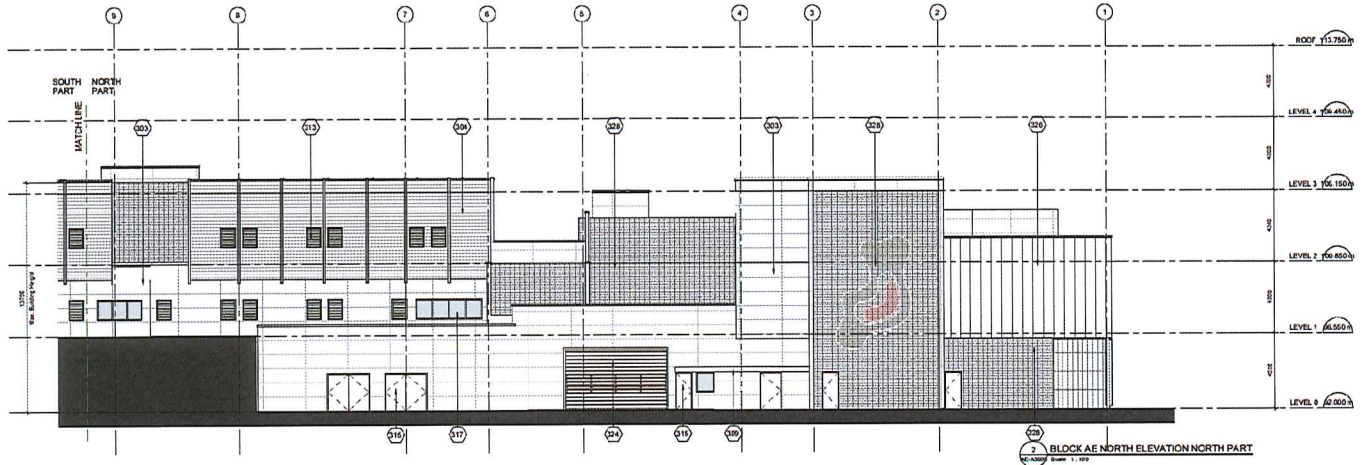
**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2021-06-03
2	ISSUED FOR CONSTRUCTION	2021-07-14
3	ISSUED FOR CONSTRUCTION	2021-07-14
4	ISSUED FOR CONSTRUCTION	2021-07-14
5	ISSUED FOR CONSTRUCTION	2021-07-14
6	ISSUED FOR CONSTRUCTION	2021-07-14

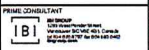
**COMMITMENTS**

**EXTERIOR FINISHES LEGEND**

Key Value	Keynote Text
302	FIBRE CEMENT SIDING - WOOD GRAIN FINISH
303	FIBRE CEMENT SIDING - PANEL
304	FIBRE CEMENT SIDING - HORIZONTAL LAP
309	PREFINISHED METAL CLADDING
310	METAL FLAG POLE
313	GLAZED ALUMINUM SECURITY WINDOW
315	METAL DOOR AND FRAME
317	GLAZED ALUMINUM CURTAIN WALL
324	OVERHEAD COILING DOOR
326	COMPOSITE ALUMINUM PANEL
328	SLC SECURITY MESH
331	T&G SIMULATED WOOD SIDING
332	SEGMENTAL RETAINING WALL SYSTEM 300



**SCALE**



**PROJECT**  
 NANNAMO CORRECTIONAL CENTRE  
 3400 BRIDGE ROAD  
 NANNAMO, BC  
 V9T 0A1, CANADA

**PROJECT NO.**  
 122747  
**DESIGNED BY:**  
 MMS/MS/SP  
**CHECKED BY:**  
 DM

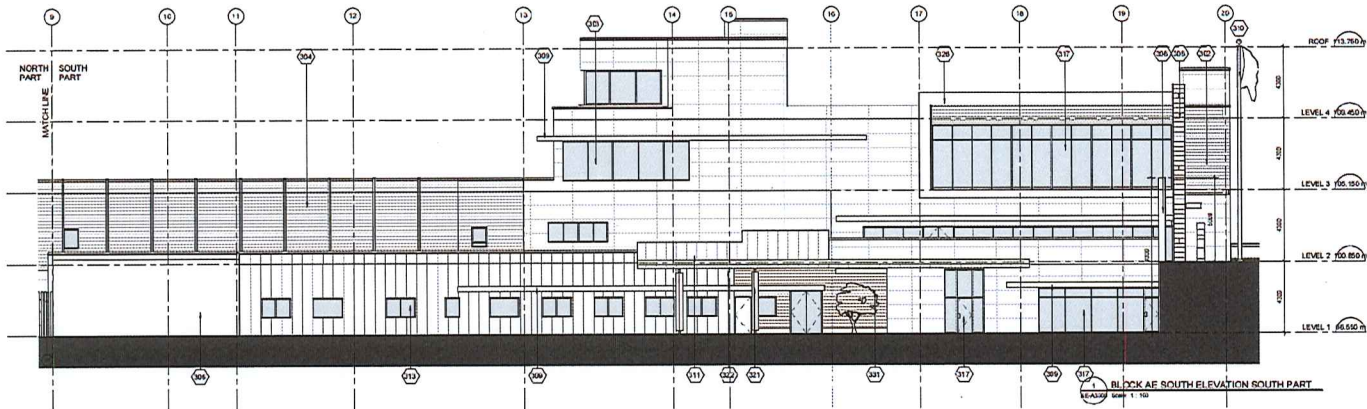
**PROJECT MONITOR:**  
 LEB  
**APPROVED BY:**  
 [Signature]  
**SHEET TITLE**  
 BLOCK AE - BUILDING ELEVATIONS NORTH (NORTH & SOUTH)

**SHEET NUMBER**  
 AE-A3002  
**ISSUE**  
 5

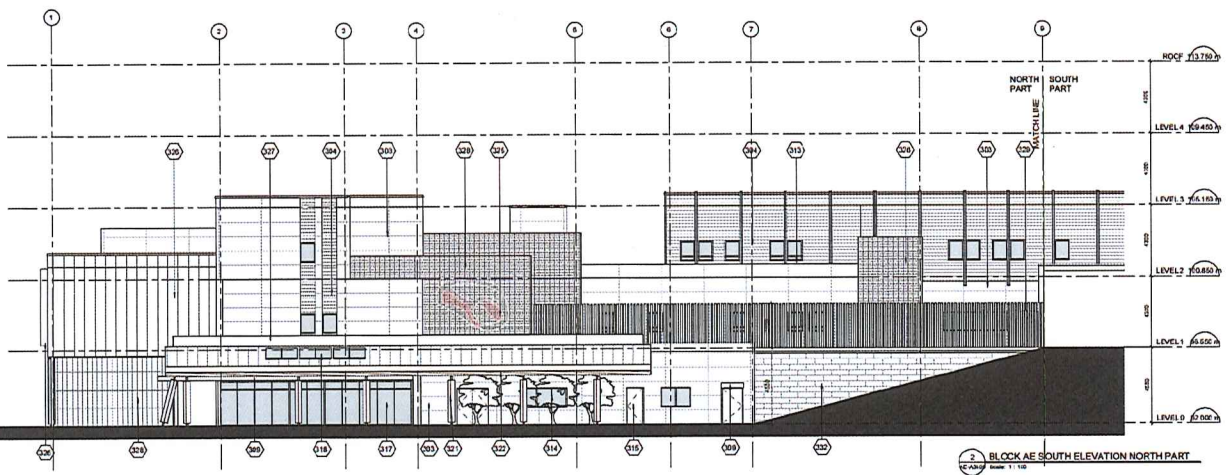
RECEIVED  
 DP1221  
 2021-JUL-14  
 GUYTON PUBLISHING

2021-07-14 10:28:06 AM

**COPYRIGHT**  
 All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Stuart Olson Architects Inc.



EXTERIOR FINISHES LEGEND	
Key Value	Keynote Text
302	FIBRE CEMENT SIDING - WOOD GRAIN FINISH
303	FIBRE CEMENT SIDING - PANEL
304	FIBRE CEMENT SIDING - HORIZONTAL LAP
305	HORIZONTAL WOOD LAP SIDING
306	ARCHITECTURAL CONCRETE
309	PREFINISHED METAL CLADDING
310	METAL FLAG POLE
311	STANDING SEAM METAL ROOF
313	GLAZED ALUMINUM SECURITY WINDOW
314	GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
315	METAL DOOR AND FRAME
317	GLAZED ALUMINUM CURTAIN WALL
318	COMMERCIAL SKYLIGHT
321	ROUND WOOD COLUMN
322	WOOD SOFFIT
325	STEEL MESH - ART WORK ATTACHED BY OTHER
326	COMPOSITE ALUMINUM PANEL
327	PREFORMED SHEET METAL CLADDING
328	SLC SECURITY MESH
329	ARCHITECTURAL FENCING
331	T&G SIMULATED WOOD SIDING
332	SEGMENTAL RETAINING WALL SYSTEM 300



CHANGES

SCALE

PRIME CONSULTANT  
**IBI**  
 INCORPORATED  
 1000 WEST BROADWAY  
 VANCOUVER, BC V6Z 2G9  
 TEL: 604-681-2222

PROJECT  
 NANAIMO CORRECTIONAL CENTRE  
 3400 BRUCE ROAD  
 NANAIMO, BC  
 VANCOUVER, CANADA

PROJECT NO.  
 122741  
 DRAWN BY:  
 M/MS/SP  
 PROJECT MGR:  
 T/SP

CHECKED BY:  
 DM  
 APPROVED BY:  
 T/SP

SHEET TITLE  
 BLOCK AE - BUILDING ELEVATIONS SOUTH (NORTH & SOUTH)

SHEET NUMBER  
 AE-A3003  
 ISSUE  
 5

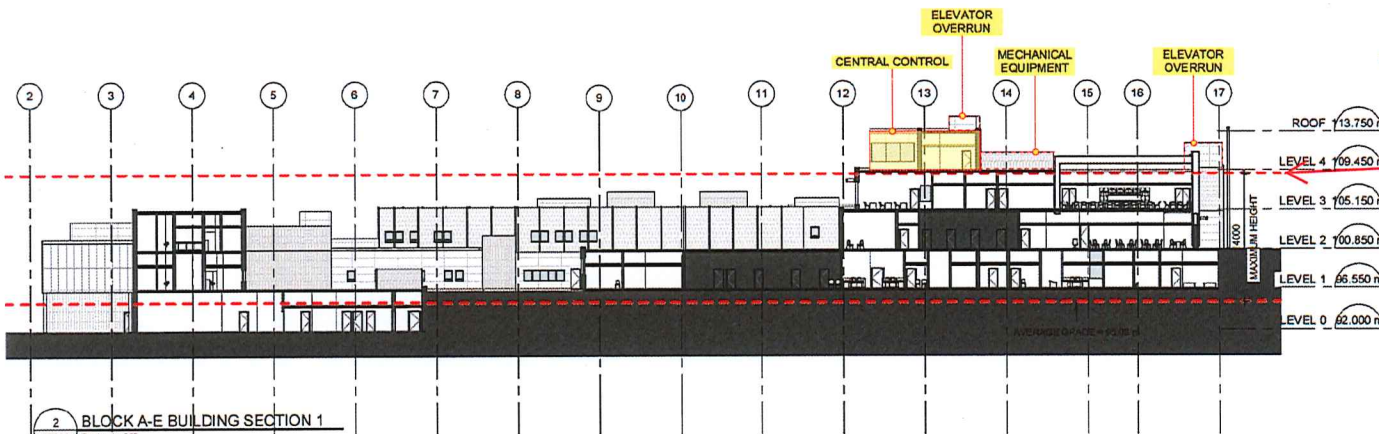
RECEIVED  
**DP1221**  
 2021-JUL-14  
 Digital Printing

2021-07-14 10:30 AM

3 BLOCK AE L0 L1 PLAN  
A5000 / Scale: 1: 300

AVERAGE GRADE CALCULATION

segment	formula	elev A	elev B1	elev B2	elev C1	elev C2	elev D2	elev D2	avr grade	length	grade by segment
A B1	$(\text{elev A} + \text{elev B1}) / 2 \times (\text{A B1 length})$	92	98.55	98.55	108.85	92	92	92	94.275	108000	10181700
B1 B2	$(\text{elev B1} + \text{elev B2}) / 2 \times (\text{B1 B2 length})$								98.55	11850	1144117.5
B2 C1	$(\text{elev B2} + \text{elev C1}) / 2 \times (\text{B2 C1 length})$								98.7	45375	4478512.5
C1 C2	$(\text{elev C1} + \text{elev C2}) / 2 \times (\text{C1 C2 length})$								96.425	107970	10411007.25
C2 D1	$(\text{elev C2} + \text{elev D1}) / 2 \times (\text{C2 D1 length})$								92	12030	11068760
D1 D2	$(\text{elev D1} + \text{elev D2}) / 2 \times (\text{D1 D2 length})$								92	33350	3088200
D A	$(\text{elev D2} + \text{elev A}) / 2 \times (\text{D A length})$								92	30690	3051480



totals: 3582658 34041777.25  
average grade: 95.02

2 BLOCK A-E BUILDING SECTION 1  
A5000 / Scale: 1: 300

Maximum Allowable Building Height

RECEIVED  
DPT 221  
2021-FEB-03  
Current Planning

SEAL

PRIME CONSULTANT  
IBI GROUP  
IBI ARCHITECTS (CANADA) INC.  
750-1200 West Pender Street,  
Vancouver, BC V6E 4B1, Canada  
tel: 604 683 8787 fax: 604 683 0822  
ibi@group.com

PROJECT  
NANAIMO CORRECTIONAL  
CENTRE  
3945 BIGGS ROAD  
NANAIMO, BC  
V9R 5N3, CANADA

PROJECT NO:  
122747

DRAWN BY: Author  
CHECKED BY: Checker

PROJECT MGR: Designer  
APPROVED BY: Approver

SHEET TITLE  
BUILDING AE HEIGHT  
CALCULATION

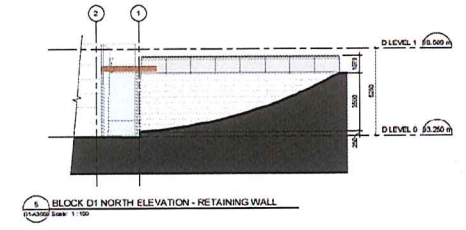
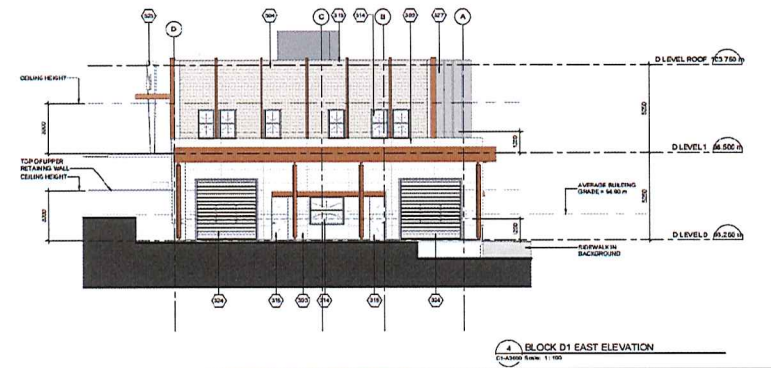
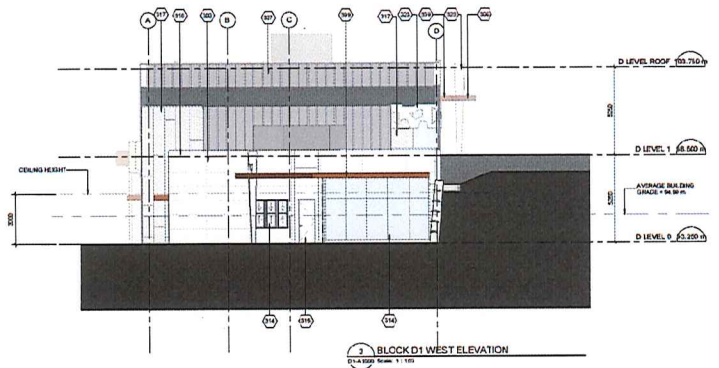
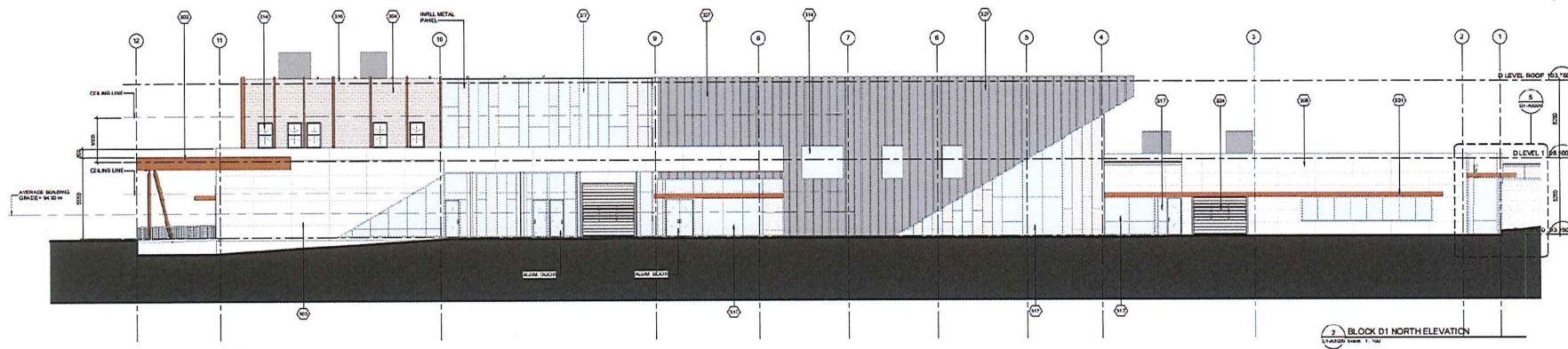
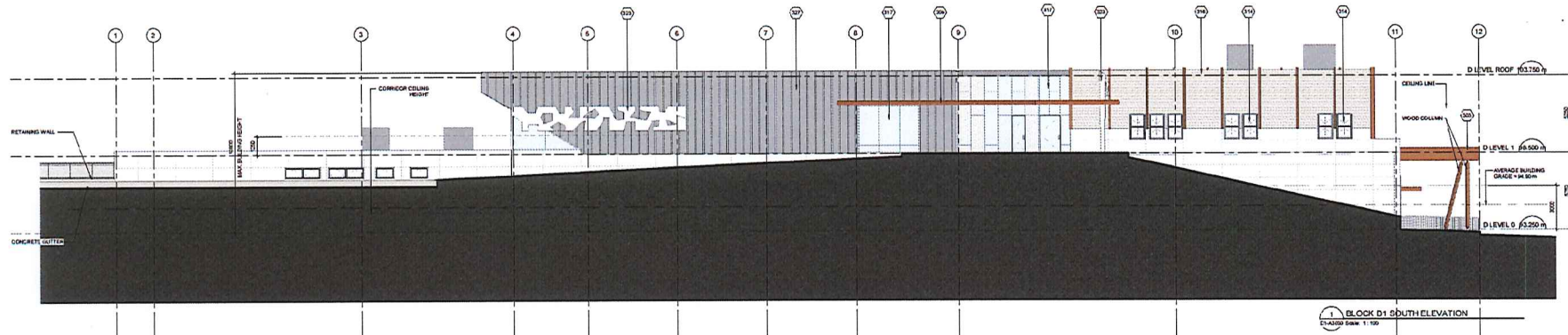
SHEET NUMBER  
A5000

ISSUE

IBI 3001/122747 - Nanaimo Correctional Centre Redevelopment R0020122747\_NCC\_A5000\_BuildingA-E.rvt

**COPYRIGHT**  
 All Rights Reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Stuart Olson Inc.

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMIT	2021-07-14
2	REVISED FOR COMMENTS	2021-07-14
3	REVISED FOR COMMENTS	2021-07-14
4	REVISED FOR COMMENTS	2021-07-14



EXTERIOR FINISHES LEGEND	
301	CONCRETE UNIT MASONRY
303	FIBRE CEMENT SIDING - PANEL
304	FIBRE CEMENT SIDING - HORIZONTAL LAP
308	CONCRETE FACED INSULATION
309	PREFINISHED METAL CLADDING
314	GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
315	METAL DOOR AND FRAME
316	SHEET METAL FLASHING AND TRIM
317	GLAZED ALUMINUM CURTAIN WALL
323	FUTURE ARTWORK BY OTHERS
324	OVERHEAD COILING DOOR
327	PERFORMED SHEET METAL CLADDING

**CONSULTANTS**

**PRIME CONSULTANT**  
 IBi  
 3400 Bay Street  
 Nanaimo BC V9R 5G4  
 Canada  
 Phone: 250-754-1111  
 Fax: 250-754-1112  
 Email: info@ibi.ca

**PROJECT**  
 NANAIMO CORRECTIONAL CENTRE  
 3400 BAY STREET  
 NANAIMO, BC  
 V9R 5G4, CANADA

**PROJECT NO.**  
 122747

**DRAWN BY:**  
 CO

**CHECKED BY:**  
 TB

**PROJECT MGR:**  
 SD

**APPROVED BY:**  
 TB

**SHEET TITLE**  
 BLOCK D1 - BUILDING ELEVATIONS

**SHEET NUMBER**  
 D1-A3000

**ISSUE**  
 4

RECEIVED  
 DP1221  
 2021-JUL-14

**CLIENT**  
  
**stuartolson**  
 ARCHITECTURE

**COPYRIGHT**  
 Copyright © 2021 Stuart Olson Architecture Inc. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Stuart Olson Architecture Inc.

**PROJECT**  
 #10 Group 1 - Nanaimo Correctional Centre

NO.	DESCRIPTION	DATE
1	PRELIMINARY	2021-06-01
2	CONCEPTUAL DESIGN	2021-06-01
3	PRELIMINARY DESIGN	2021-06-01
4	FINAL DESIGN	2021-06-01

**ISSUES**

**COMMENTS**

**SCALE**

**DATE**

**PROJECT CONSULTANT**  
 PROJECT: NANAIMO CORRECTIONAL CENTRE  
 3400 BRIDGE ROAD  
 NANAIMO, BC  
 V9R 5K6, CANADA

**PROJECT NO.**  
122747

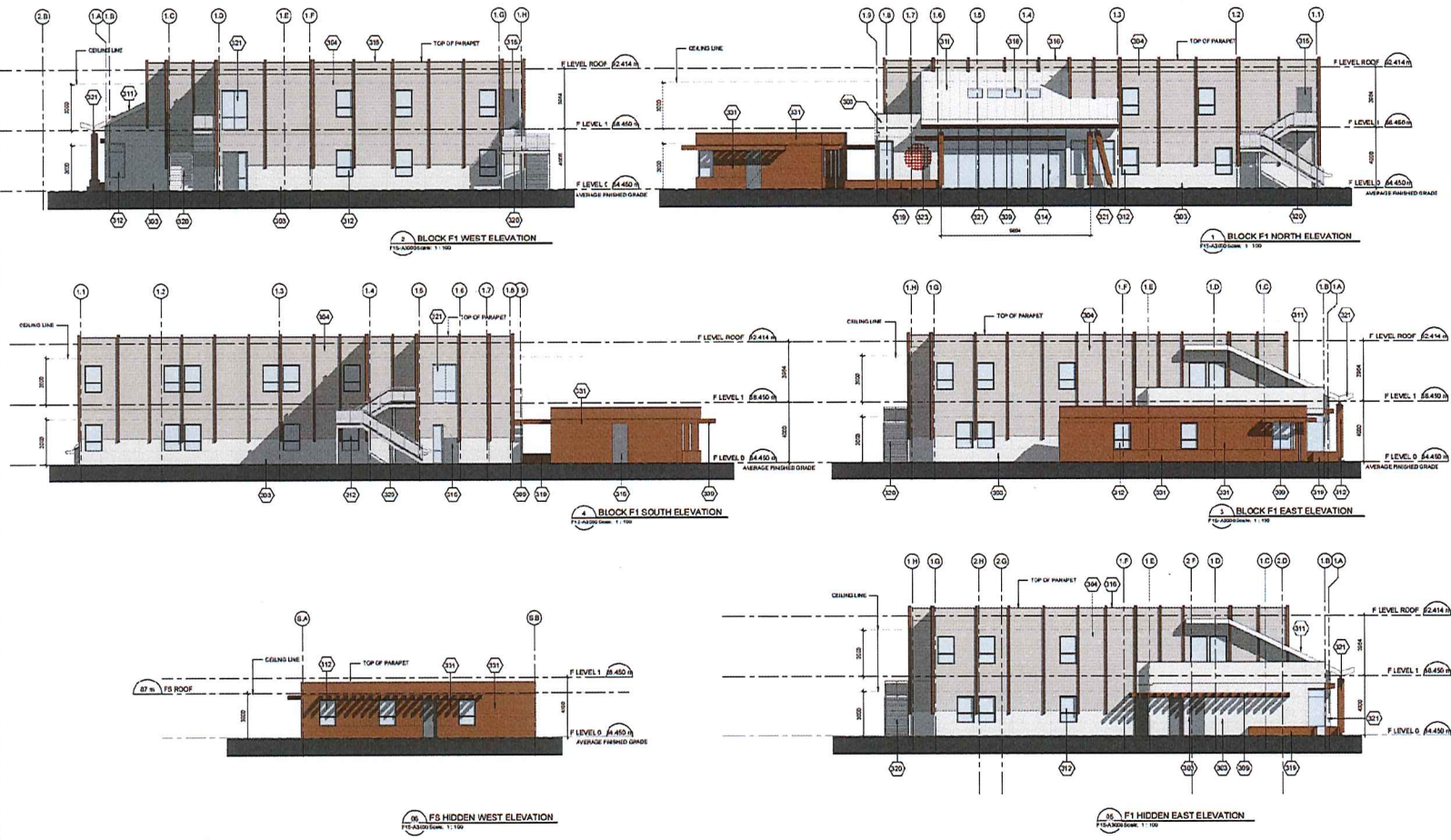
**DRAWN BY:** [Signature]  
**CHECKED BY:** [Signature]

**PROJECT MANAGER:** [Signature]  
**APPROVED BY:** [Signature]

**SHEET TITLE**  
BLOCK F19 - BUILDING ELEVATIONS

**SHEET NUMBER**  
F1S-A3000

**ISSUE NO.**  
3



- LEGEND:**
- 303 FIBRE CEMENT SIDING - PANEL
  - 304 FIBRE CEMENT SIDING - HORIZONTAL LAP
  - 309 PREFINISHED METAL CLADDING
  - 311 STANDING SEAM METAL ROOF
  - 312 VINYL WINDOW
  - 314 GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
  - 315 METAL DOOR AND FRAME
  - 316 SHEET METAL FLASHING AND TRIM
  - 318 COMMERCIAL SKYLIGHT
  - 319 PLANTER BOX (REFER TO LANDSCAPE)
  - 320 METAL STAIR C/W METAL RAILING
  - 321 ROUND WOOD COLUMN
  - 323 FUTURE ARTWORK BY OTHERS
  - 331 T&G SIMULATED WOOD SIDING

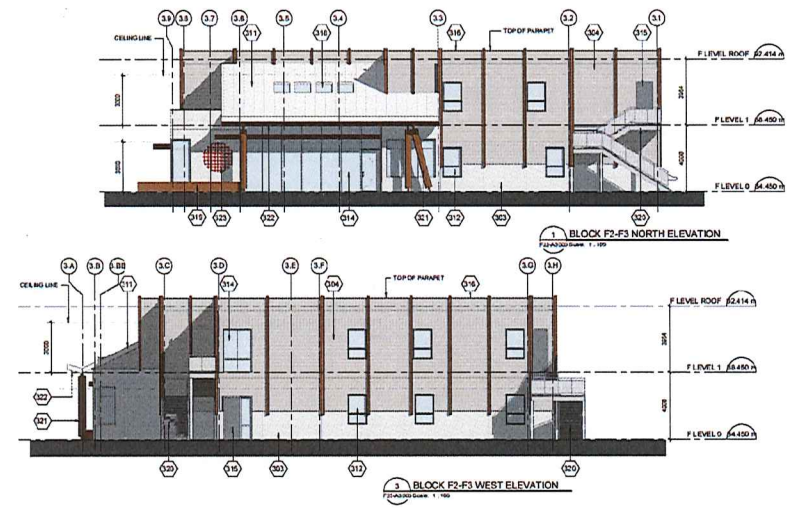
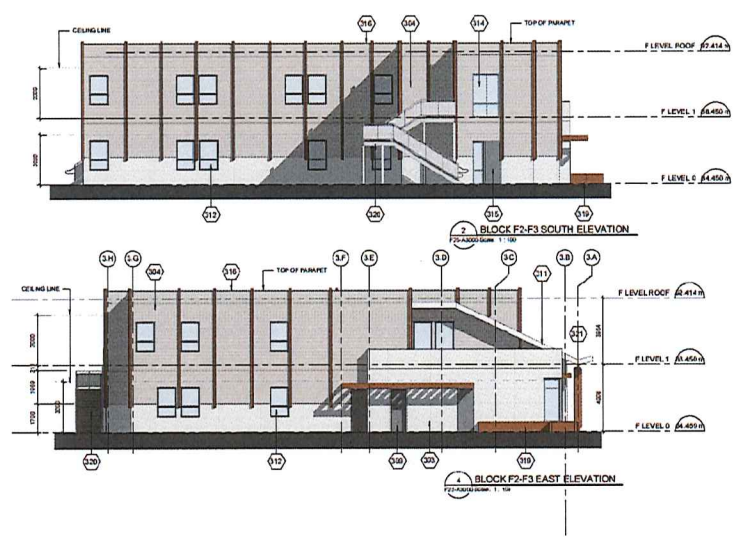
RECEIVED  
**DP1221**  
 2021-JUL-14  
 Stuart Olson

2021-06-01 11:10 AM



**COPYRIGHT**  
 The information contained herein is the property of Stuart Olson Inc. and is intended for the use of the client for the project identified herein. It is not to be used for any other project without the written consent of Stuart Olson Inc.

REV	DESCRIPTION	DATE
1	DP RESPONSE	2021-06-29
2	GENERAL CONTRACT	2021-07-14
3	DP RESPONSE	2021-07-14
4	DP RESPONSE	2021-07-14



**LEGEND :**

- 303 FIBRE CEMENT SIDING - PANEL
- 304 FIBRE CEMENT SIDING - HORIZONTAL LAP
- 309 PREFINISHED METAL CLADDING
- 311 STANDING SEAM METAL ROOF
- 312 VINYL WINDOW
- 314 GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
- 315 METAL DOOR AND FRAME
- 316 SHEET METAL FLASHING AND TRIM
- 318 COMMERCIAL SKYLIGHT
- 319 PLANTER BOX (REFER TO LANDSCAPE)
- 320 METAL STAIR C/W METAL RAILING
- 321 ROUND WOOD COLUMN
- 322 WOOD SOFFIT
- 323 FUTURE ARTWORK BY OTHERS

RECEIVED  
 DP1221  
 2021-JUL-14

**CLIENT**

Infrastructure BC  
 CORRECTIONAL SERVICES  
 stuartolson

**COMMENTS**

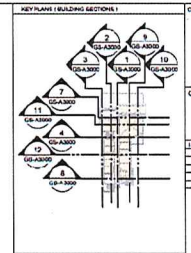
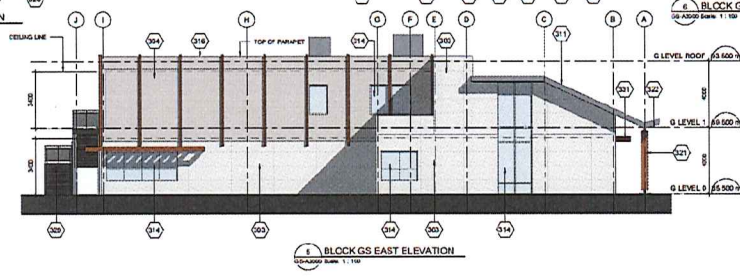
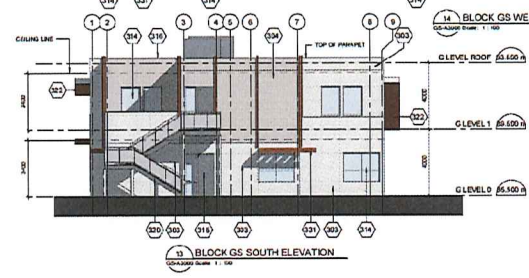
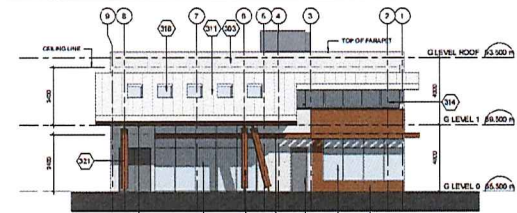
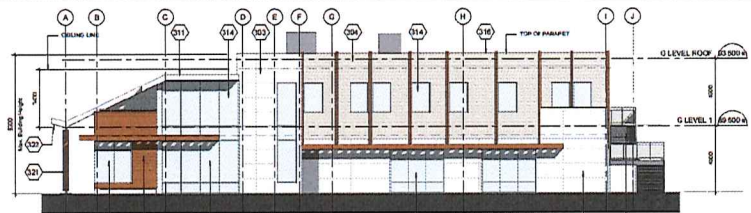
**SCALE**

**PRIME CONTRACTOR**

**IBI**

**PROJECT**  
 NANAIMO CORRECTIONAL CENTRE  
 5405 BRIDGE ROAD  
 NANAIMO, BC  
 V9T 0K4, CANADA

PROJECT NO: 122747	CHECKED BY: CS
DRAWN BY: MHW/SP	APPROVED BY: [Signature]
PROJECT MGR: [Signature]	
SHEET TITLE BLOCK F23 - BUILDING ELEVATIONS & SECTIONS	
SHEET NUMBER F23-A3000	ISSUE NO 3



CLIENT

STUART OLSON ARCHITECTURE INC.

181 BAY STREET, SUITE 1000, VANCOUVER, BC V6A 2K4

TEL: 604.681.1111

WWW.STUARTOLSON.COM

DATE: 2021-07-14

SCALE: 1/8" = 1'-0"

**LEGEND**

- 303 FIBRE CEMENT SIDING - PANEL
- 304 FIBRE CEMENT SIDING - HORIZONTAL LAP
- 311 STANDING SEAM METAL ROOF
- 314 GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
- 315 METAL DOOR AND FRAME
- 316 SHEET METAL FLASHING AND TRIM
- 318 COMMERCIAL SKYLIGHT
- 320 METAL STAIR C/W METAL RAILING
- 321 ROUND WOOD COLUMN
- 322 WOOD SOFFIT
- 331 T&G SIMULATED WOOD SIDING

SCALE

PRIME CONSULTANT

181 BAY STREET, SUITE 1000, VANCOUVER, BC V6A 2K4

TEL: 604.681.1111

WWW.STUARTOLSON.COM

PROJECT

NANAIMO CORRECTIONAL CENTRE

390 BRIDGE ROAD

NANAIMO, BC

V9R 5N3, CANADA

PROJECT NO.

122747

DRAWN BY

MANISH

CHECKED BY

OS

PROJECT MGR

TR

APPROVED BY

TR

SHEET TITLE

BLOCK GS - BUILDING ELEVATIONS & SECTIONS

SHEET NUMBER

GS-A3000

OF

3

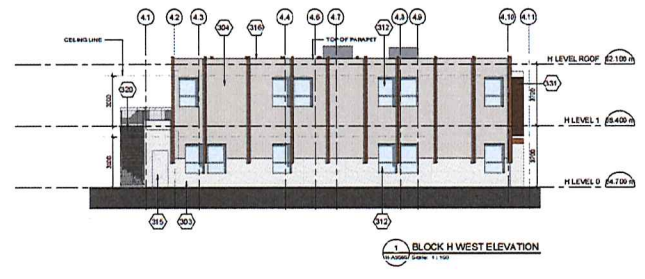
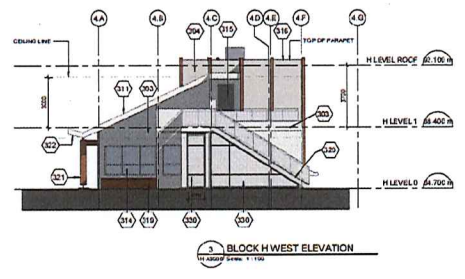
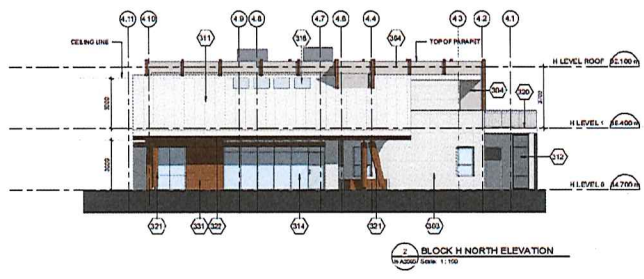
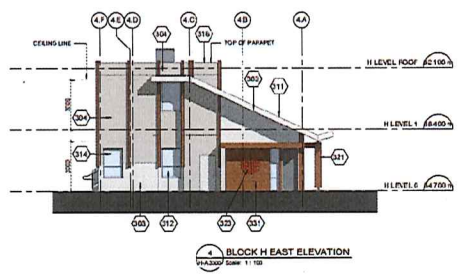
RECEIVED

DP1221

2021-JUL-14

CLIENT RECEIVED

REVISED



**LEGEND:**

- 303 FIBRE CEMENT SIDING - PANEL
- 304 FIBRE CEMENT SIDING - HORIZONTAL LAP
- 311 STANDING SEAM METAL ROOF
- 312 VINYL WINDOW
- 314 GLAZED ALUMINUM STOREFRONT WINDOW - HEAVY DUTY
- 315 METAL DOOR AND FRAME
- 316 SHEET METAL FLASHING AND TRIM
- 318 COMMERCIAL SKYLIGHT
- 319 PLANTER BOX (REFER TO LANDSCAPE)
- 320 METAL STAIR C/W METAL RAILING
- 321 ROUND WOOD COLUMN
- 322 WOOD SOFFIT
- 323 FUTURE ARTWORK BY OTHERS
- 330 METAL MESH SECURITY ENCLOSURE
- 331 T&G SIMULATED WOOD SIDING

**COPYRIGHT**  
 Copyright © 2021 Stuart Olson Inc. All rights reserved. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Stuart Olson Inc.

**REVISIONS**

NO.	DESCRIPTION	DATE
1	ISSUE FOR PERMITS	2021-07-14
2	FOR PERMITS	2021-07-14
3	FOR PERMITS	2021-07-14

**COMMENTS**

**SCALE**



**PROJECT:**  
 NANAIMO CORRECTIONAL CENTRE  
 5805 BRIDGE ROAD  
 NANAIMO, BC  
 VAN CO, CANADA

**PROJECT NO:** 122747  
**DESIGN BY:** MANNSP  
**CHECKED BY:** OS  
**PROJECT MGR:** MJD  
**APPROVED BY:**

**SHEET TITLE:**  
 BLOCK H - BUILDING ELEVATIONS & SECTIONS

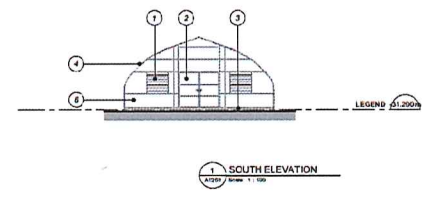
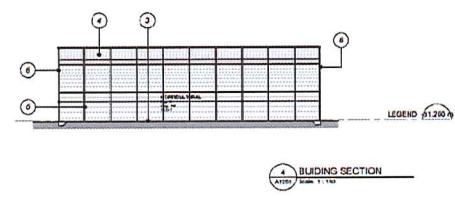
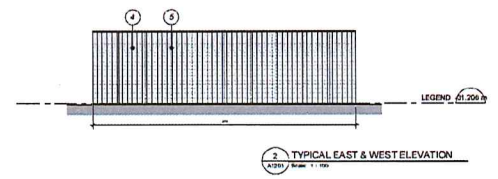
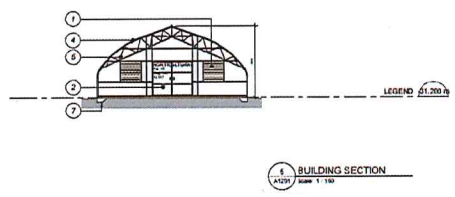
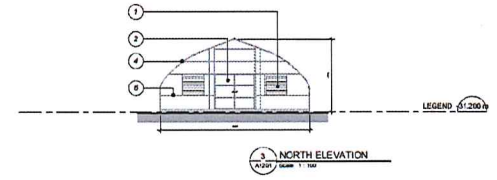
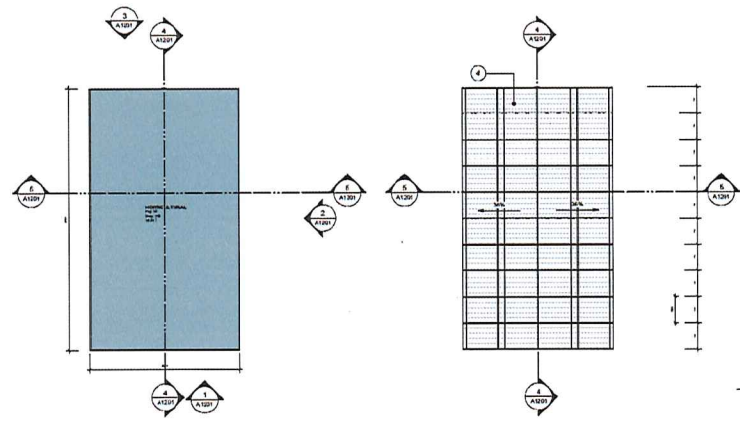
**SHEET NUMBER:** H-A3000  
**ISSUE:** 2

RECEIVED  
 DP1221  
 2021-JUL-14  
 Stuart Olson Inc.

ISSUE	NO.	DESCRIPTION	DATE
	1	ISSUED FOR PERMIT SUBMISSION	2021-06-28
	2	REVISED FOR PERMIT	2021-07-05
	3	ARCHITECTURAL ENCLOSURES	2021-06-28
	4	ARCHITECTURAL ENCLOSURES	2021-06-28
	5	FINAL CALL DIMENSIONS	2021-07-05
	6	REVISIONS FOR PERMIT SUBMITTAL	2021-07-05
	7	REVISIONS FOR PERMIT SUBMITTAL	2021-07-05
	8	REVISIONS FOR PERMIT SUBMITTAL	2021-07-05
	9	REVISIONS FOR PERMIT SUBMITTAL	2021-07-05

**EXTERIOR FINISHES LEGEND**

①	MOTORIZED LOUVER
②	DOUBLE DOOR
③	SLAB ON GRADE
④	POLYETHYLENE SHEET DRAIN ENCLOSURE
⑤	GALV. STEEL TRUSS FRAME
⑥	GALV. STEEL END FRAME
⑦	SLAB THICKENING



CONTRACTS

BSL

PRIME CONSULTANT  
**IBI**  
 INCORPORATED  
 1000 WESTERN AVENUE, SUITE 100  
 VANCOUVER, BC V6C 3R8  
 TEL: 604-681-2222  
 WWW.IBI.COM

PROJECT  
**NANAIMO CORRECTIONAL CENTRE**  
 5005 BRIDGE ROAD  
 NANAIMO, BC  
 VANCOUVER, CANADA

PROJECT NO:  
 122747

DRAWN BY:  
 Author

CHECKED BY:  
 Checker

PROJECT MGR:  
 Designer

APPROVED BY:  
 Approver

SHEET TITLE  
**HORTICULTURAL CENTRE**  
**PLAN, ELEVATIONS &**  
**SECTIONS**

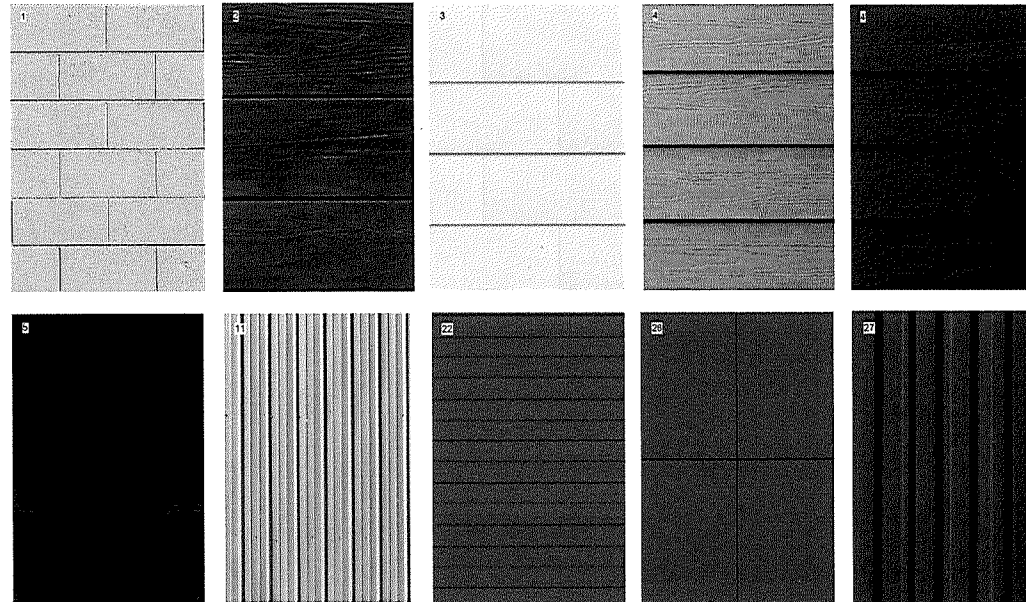
SHEET NUMBER  
**A1201**

ISSUE  
**9**

RECEIVED  
**DP1221**  
 2021-JUL-09



EXTERIOR FINISHES LEGEND			
①	CMU CLADDING	⑥	PREFINISHED METAL EYEBROW
②	MINERAL FIBRE CEMENT SIDING - WOODGRAIN FINISH	⑦	2 PLY MODIFIED BITUMEN MEMBRANE ROOFING
③	MINERAL FIBRE CEMENT SIDING - PANEL	⑧	STANDING SEAM METAL ROOF
④	MINERAL FIBRE CEMENT SIDING - HORIZONTAL LAP	⑨	VINYL WINDOWS
⑤	WOOD HORIZONTAL LAP SIDING	⑩	DETENTION / SECURE WINDOW
⑥	ARCHITECTURAL CONCRETE, PATTERN FINISH	⑪	COMMERCIAL WINDOW - HEAVY DUTY
⑦	CAST IN PLACE CONCRETE	⑫	STEEL DOOR
⑧	CONCRETE FACED INSULATION	⑬	PREFINISHED METAL FLASHING / FASCIA
		⑭	ALUMINUM CURTAINWALL - COMMERCIAL WINDOW
		⑮	RESIDENTIAL SKYLIGHT
		⑯	PLANTER BOX
		⑰	STEEL FRAMED STAIR, GUARD
		⑱	CIRCULAR WOOD POST
		⑲	WOOD SOFFIT
		⑳	FUTURE ARTWORK
		㉑	ROLL UP DOOR
		㉒	PAINTED STEEL MESH - ART WORK ATTACHED BY OTHERS
		㉓	PREFINISHED COMPOSITE ALUMINUM PANEL
		㉔	PERFORMED CUSTOM PROFILE METAL CLADDING
		㉕	SLC SECURE MESH
		㉖	ARCHITECTURAL FENCING



CLIENT

**COPYRIGHT**  
 This document is the property of the Architect. It is to be used only for the project and site for which it was prepared. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect. The Architect shall not be held responsible for any errors or omissions in this document. The Architect shall not be held responsible for any damage or injury to persons or property resulting from the use of this document. The Architect shall not be held responsible for any damage or injury to persons or property resulting from the use of this document.

NO.	DESCRIPTION	DATE
1	ISSUED FOR TECHNICAL SUBMISSION	2024-09-09
2	ISSUED FOR PERMIT	2024-09-09
3	ARCHITECTURAL MODIFICATIONS	2024-09-09
4	ISSUED FOR CLIENT REVIEW	2024-09-17
5	CLIENT APPROVAL	2024-09-18
6	PERMIT SUBMISSION	2024-09-18
7	PERMIT APPROVAL	2024-09-18
8	ISSUED FOR CONSTRUCTION	2024-09-18

CONSULTANTS

SEAL

PRIME CONSULTANT  
**IBI** GROUP  
 ARCHITECTS (CANADA) INC.  
 700-1200 WEST PACIFIC DRIVE  
 VANCOUVER, BC V6E 1B1, CANADA  
 TEL: 604 437 8727 FAX: 604 437 0432  
 ibi@ibi.com

PROJECT  
**NANAIMO CORRECTIONAL CENTRE**  
 3045 BIGGS ROAD  
 NANAIMO, BC  
 V9K 5N3, CANADA

PROJECT NO  
 122147

DRAWN BY: Author	CHECKED BY: Checker
PROJECT MGR: Developer	APPROVED BY: Approver

SHEET TITLE  
**EXTERIOR FINISH MATERIALS PALETTE**

SHEET NUMBER <b>A002</b>	ISSUE
-----------------------------	-------

RECEIVED  
 04 SEP 2024  
 10:17 AM

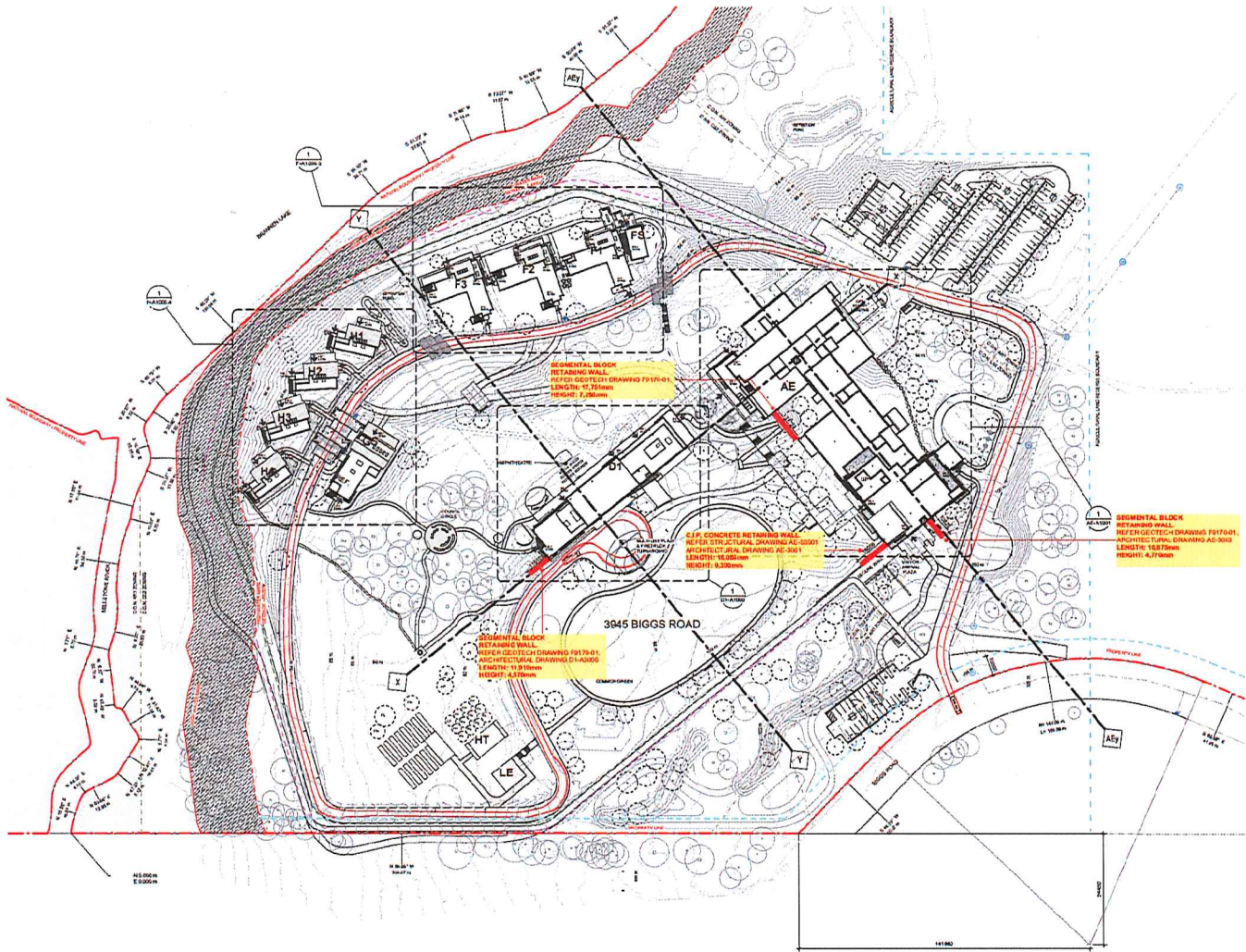
Development Permit No. DP001221 Schedule D  
 3945 Biggs Road  
**RETAINING WALL PLAN AND DETAILS**

CLIENT: **stuartolson**

PROJECT: **NANAIMO CORRECTIONAL CENTRE**

3945 BIGGS ROAD  
 NANAIMO, B.C.  
 V9T 0N1, CANADA

NO.	DESCRIPTION	DATE
1	PRELIMINARY	2021-08-09
2	FOR INFORMATION	2021-08-16
3	FOR PERMITTING	2021-08-16
4	FOR PERMITTING	2021-08-16
5	FOR PERMITTING	2021-08-16
6	FOR PERMITTING	2021-08-16



LEGEND

- PROPERTY BOUNDARY
- RETAINING WALL
- HIGH WATER MARK
- HIGH WATER MARK SETBACK
- SECURE FIREWORK PRICE
- TURF AT PERMETER EDGE
- LEASE STRIP
- OVERHEAD POWER LINE - EXISTING
- OVERHEAD POWER LINE - PROPOSED
- UNDERGROUND POWER CONDUIT
- UNDERGROUND POWER CONDUIT - PROPOSED
- STORM MAIN - EXISTING
- STORM MAIN - PROPOSED
- WATER MAIN - EXISTING
- WATER MAIN - PROPOSED
- GAS LINE
- EXISTING SITE TOPOGRAPHY
- PROPOSED RESURFACING
- TREE - EXISTING
- TREE - PROPOSED
- FIRE HYDRANT
- FIRE TRUCK TURNING MOVEMENTS
- FIRE DEPT CONNECTION
- AREA DRAIN
- LAWN BASH
- CATCH BASIN
- TRENCH DRAIN
- LAMP STAND
- POWER POLE - EXISTING
- POWER POLE - PROPOSED

1 SITE PLAN  
 APPROX. SCALE 1:750

RECEIVED  
 DP1221  
 2021-JUL-09



PROJECT: **NANAIMO CORRECTIONAL CENTRE**  
 3945 BIGGS ROAD  
 NANAIMO, B.C.  
 V9T 0N1, CANADA

PROJECT NO: 1221747

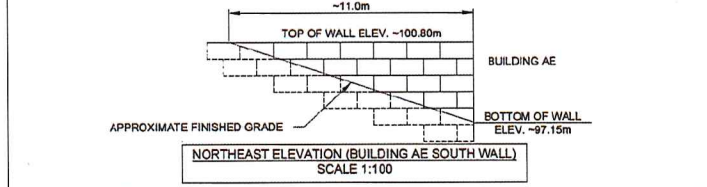
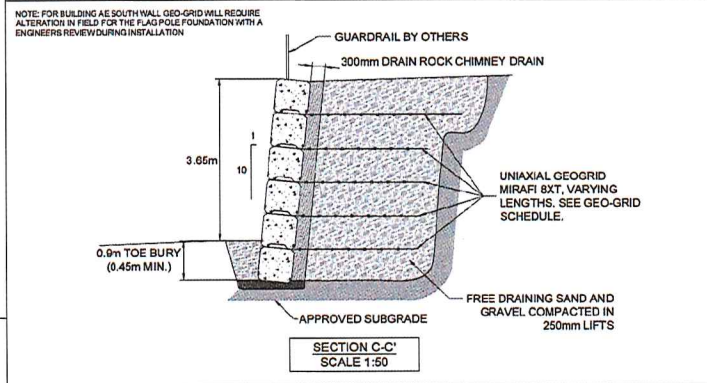
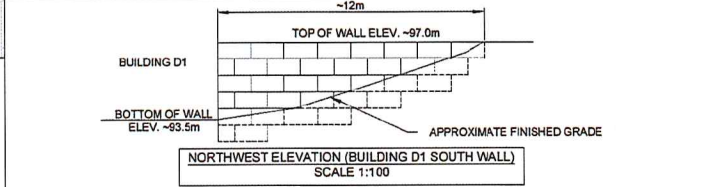
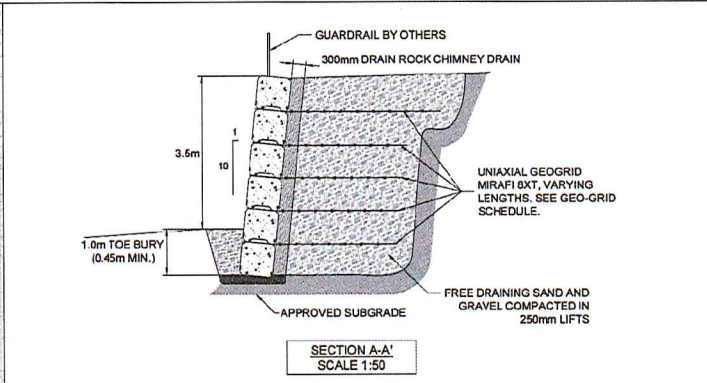
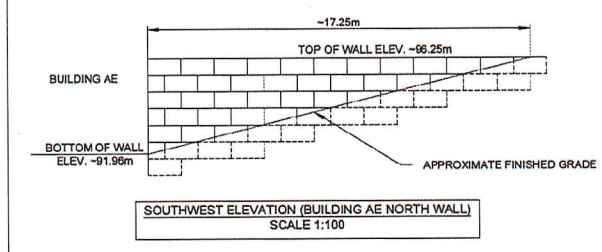
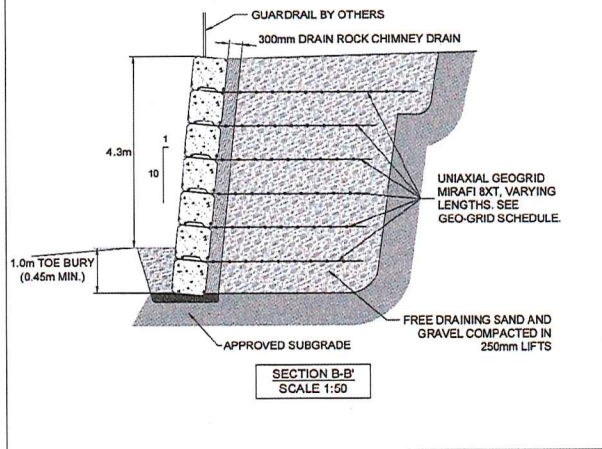
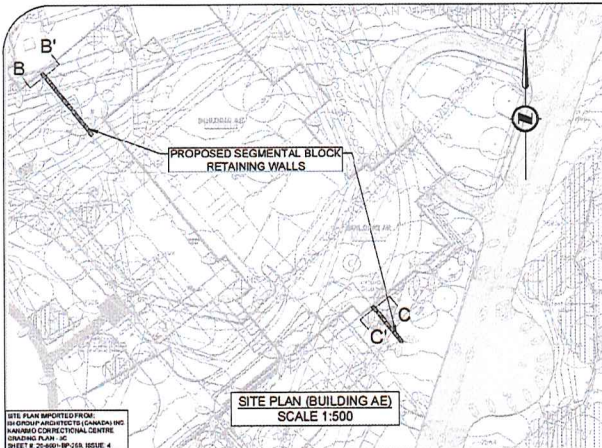
DRAWN BY: **DM** CHECKED BY: **DM**

PROJECT MGR: **YTD** APPROVED BY: **YTD**

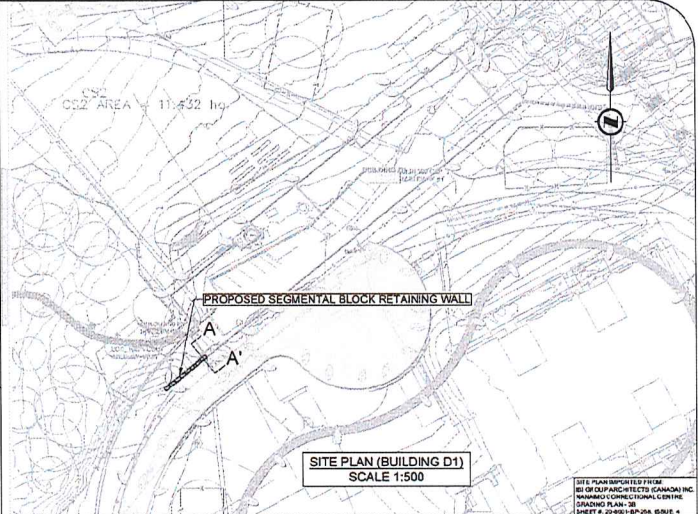
SHEET TITLE: **SITE PLAN - PHASE 4 - PROPOSED**

SHEET NUMBER: **A10001.41** OF **6**





NOTE: FOR BUILDING AE SOUTH WALL GEO-GRID WILL REQUIRE ALTERATION IN FIELD FOR THE FLAG POLE FOUNDATION WITH A ENGINEERS REVIEW DURING INSTALLATION



**GEO-GRID SCHEDULE**

Wall Height (# of Blocks)	Geo-grid Length Top Layer (m)	Geo-grid Length Lower Layers (m)
6	5.15	4.30
5	4.30	3.60
4	3.55	3.00
3	2.85	2.45
2 OR LESS	N/A	N/A

- GENERAL NOTES:**
1. GEOTECHNICAL INSPECTIONS:
    - 1.1. BEARING (SUBGRADE)
    - 1.2. BACKFILL COMPACTION
  2. SEGMENTAL BLOCKS 0.75m X 0.75m X 1.5m MONO POUR ONLY
  3. BLOCKS ASSEMBLED IN A RUNNING BOND PATTERN
  4. RETAINING WALLS SHOULD NOT BE ALTERED ONCE INSTALLED
  5. DRAINAGE THROUGH FACE OF WALL
  6. MSE WALL DESIGN GENERALLY FOLLOWS FHWA, CFEM AND EGBC GUIDELINES.
  7. SERVICE LINES TO BE REVIEWED AND ANY CONFLICTS WITH REINFORCED SOILS ENVELOPE RESOLVED PRIOR TO INSTALLATION
- DESIGN NOTES:**
1. SEGMENTAL BLOCKS 0.75m X 0.75m X 1.5m, NO.1 (MONO POUR) CONCRETE WITH INTERLOCKING NODULES.
  2. RETAINED SOIL,  $\phi = 30^\circ$ ,  $\gamma = 21 \text{ kN/m}^3$
  3. BEARING SOIL,  $\phi = 30^\circ$ ,  $\gamma = 21 \text{ kN/m}^3$
  4. SURCHARGE = 12 kN/m<sup>2</sup>

RECEIVED  
DP1221  
2021-JUN-29

REV No.	DATE	BY	P.Eng	REVISION DESCRIPTION	LEGEND	DRAWING TITLE	ENGINEER'S SEAL	PLOT DATE	DRAWN BY
						SEGMENTAL BLOCK WALLS		2021-06-25	NV
						PROJECT NAME NANAIMO CORRECTIONAL CENTRE, 3945 BIGGS ROAD, NANAIMO, BC		REVIEWED BY CH	SCALE AS NOTED
						LEGAL DESCRIPTION		PROJECT No. F9170	DRAWING No. F9170-01



Development Permit No. DP001221    Schedule E  
 3945 Biggs Road  
**LANDSCAPE PLAN AND DETAILS**



RECEIVED  
 DP1221  
 2021-JUL-13  
 CLAYTON PLANNING

**CLIENT**  
 InfrastructureBC  
 Stuart Tolson  
 people. making. progress.

**COPYRIGHT**  
 All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the copyright owner.

©1 Crown All Rights Reserved (Canada Inc.)  
 1st Edition of this Plan of Development

ISSUE NO.	DESCRIPTION	DATE
1	Issued for Development Permit	2021-02-03
2	Issued for DP Review	2021-05-07

**CONSULTANTS**  
**P+A**  
 Landscape Architecture  
 the planning

R. Dan Perry & Associates Inc.  
 112 East Broadway  
 Vancouver, BC V6T 1V9  
 T 604 738 4116  
 F 604 738 4115  
 www.perryandassociates.com

**SEAL**

**PRIME CONSULTANT**  
**IBI**  
 ARCHITECTURE & LANDSCAPE INC.  
 700-1100 West Pender Street  
 Vancouver, BC V6E 4R1 Canada  
 Tel: 604.683.1111 Fax: 604.683.1102  
 www.ibi.com

**PROJECT**  
 NANAIMO CORRECTIONAL  
 CENTRE REPLACEMENT  
 3945 BIGGS ROAD  
 NANAIMO, BC  
 V9R 2N3, CANADA

PROJECT NO:	SCALE:
IBI-000	1:750
DRAWN BY:	CHECKED BY:
JS	MP
PROJECT MGR:	APPROVED BY:
JSP	MP

SHEET TITLE  
 Landscape  
 Site Plan

SHEET NUMBER	ISSUE
L0.0	

2021-07-08

**LEGEND**

- Pedestrian Circulation
- Vehicular Circulation



**CLIENT**  
 InfrastructureBC  
 BC GOVERNMENT  
**stuartolson**  
 people making progress

**COPYRIGHT**  
 © Stuart Olson Inc. 2021. All rights reserved. This document is the property of Stuart Olson Inc. and is intended for the use of the client only. No part of this document may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, without the prior written permission of Stuart Olson Inc.

**ISSUE**

NO.	DESCRIPTION	DATE
1	Issued for Development Permit	2021-05-03
2	Issued for DP Placement	2021-07-07

**CONSULTANTS**  
**P+A**  
 Landscape Architecture  
 Site Planning  
 R. Ian Perry & Associates Inc.  
 112 East Broadway  
 Vancouver, BC V5T 1V9  
 T 604 231 4119  
 F 604 231 4119  
 www.pandassociates.com

**SEAL**

**PRIME CONSULTANT**  
**IBI**  
 IBI GROUP  
 ARCHITECTS (CANADA) INC.  
 120-1200 West 4th Avenue  
 Vancouver, BC V6H 0E1 Canada  
 Tel: 604.681.1111  
 www.ibigroup.com

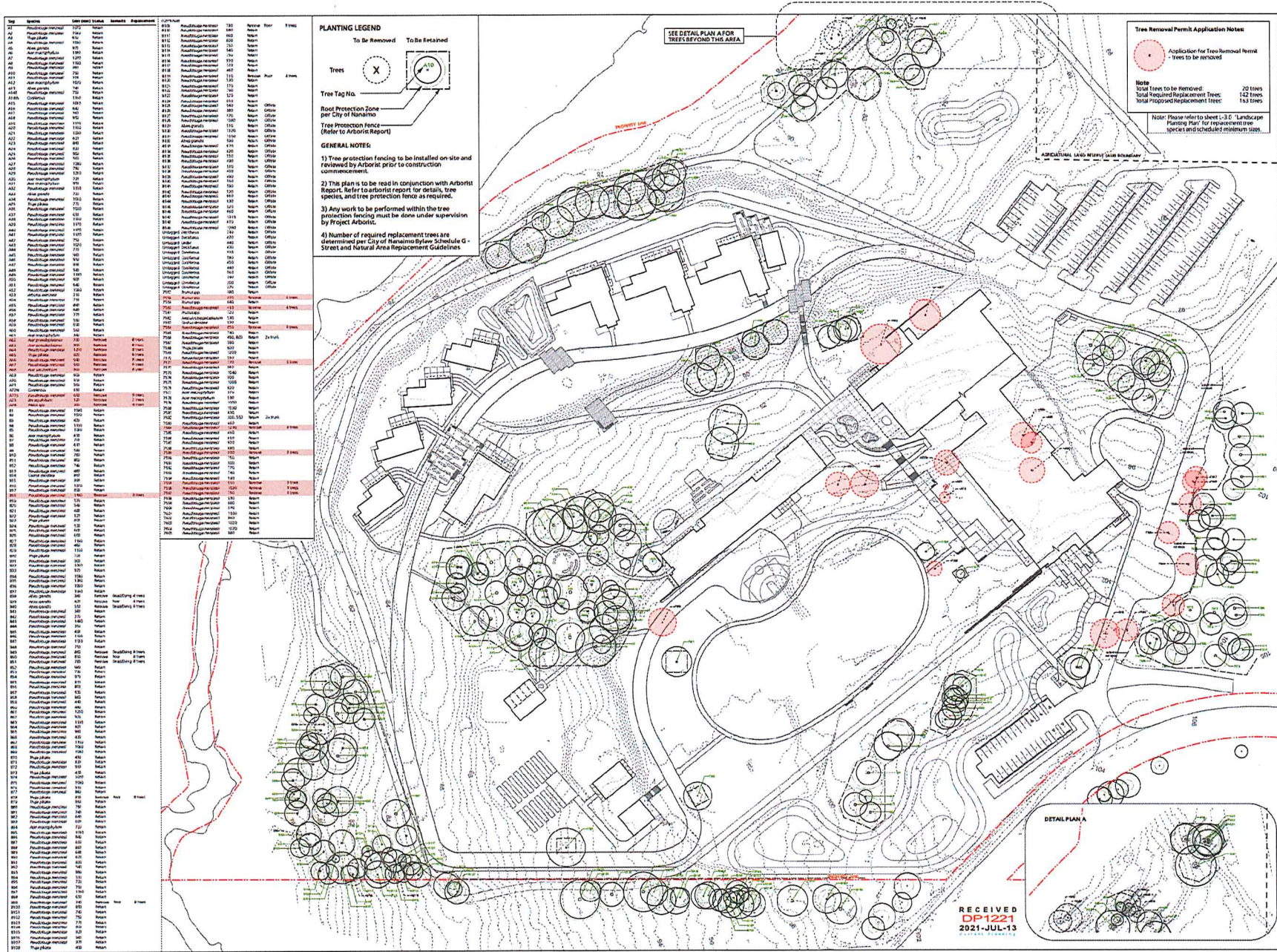
**PROJECT**  
**NANAIMO CORRECTIONAL CENTRE REPLACEMENT**  
 3145 BIGGS ROAD  
 NANAIMO, BC  
 V9R 5N3, CANADA

**PROJECT NO.:** 19-080 **SCALE:** 1:750  
**DRAWN BY:** JS **CHECKED BY:** MP  
**PROJECT MGR:** JS **APPROVED BY:** MP

**SHEET TITLE**  
 Landscape Site Circulation Diagram










**SHEET NUMBER**  
**L0.1** **ISSUE**

RECEIVED  
**DP1221**  
 2021-JUL-13  
**Site Circulation Diagram**  
 Scale: 1:750

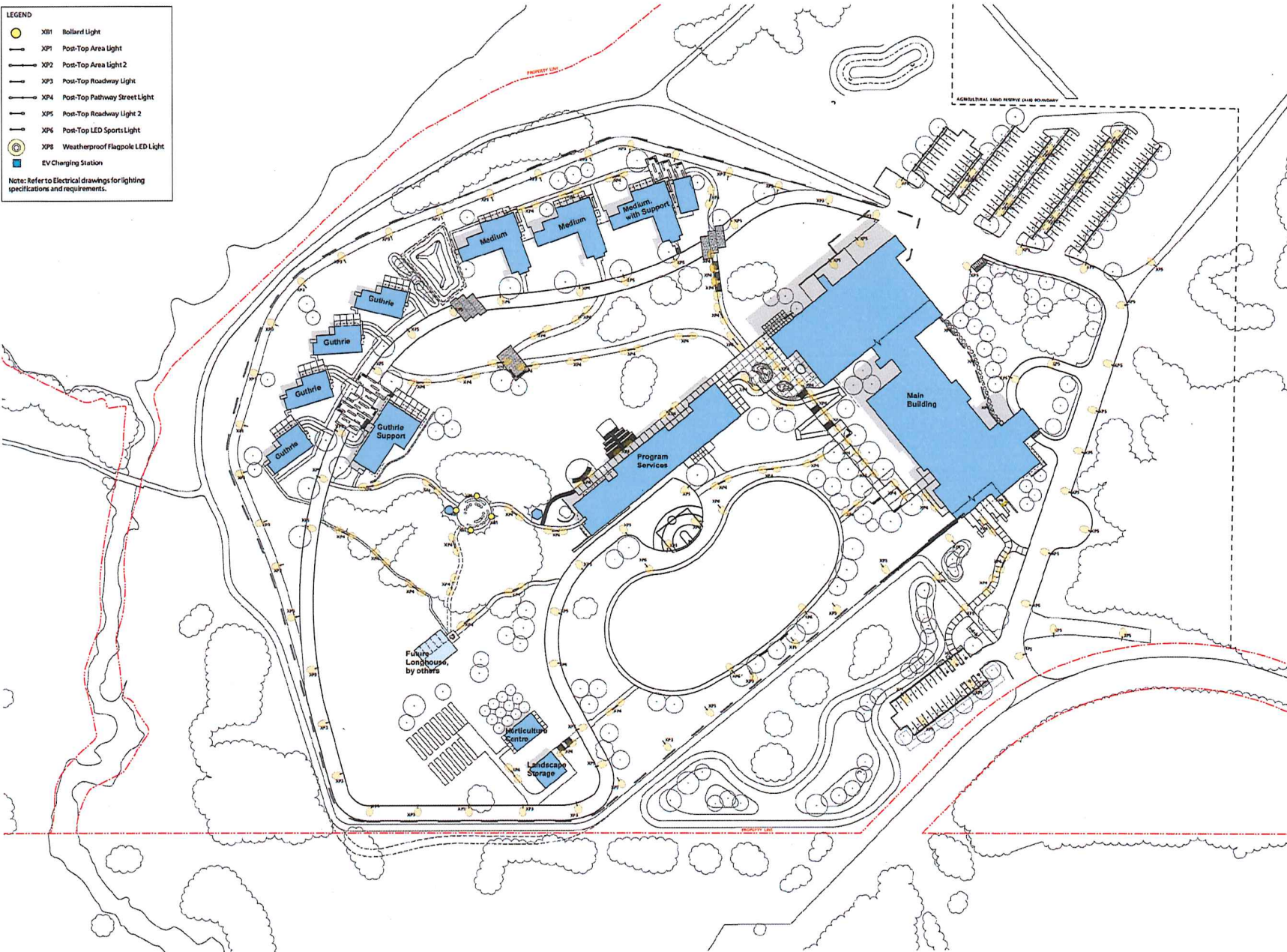


No.	Species	Leaf Area (sqm)	Remarks	Replacement	Comments	Quantity	Notes	Tree No.
41	Plantinga	125	Remove	Plantinga		125		410
42	Plantinga	125	Remove	Plantinga		125		411
43	Plantinga	125	Remove	Plantinga		125		412
44	Plantinga	125	Remove	Plantinga		125		413
45	Plantinga	125	Remove	Plantinga		125		414
46	Plantinga	125	Remove	Plantinga		125		415
47	Plantinga	125	Remove	Plantinga		125		416
48	Plantinga	125	Remove	Plantinga		125		417
49	Plantinga	125	Remove	Plantinga		125		418
50	Plantinga	125	Remove	Plantinga		125		419
51	Plantinga	125	Remove	Plantinga		125		420
52	Plantinga	125	Remove	Plantinga		125		421
53	Plantinga	125	Remove	Plantinga		125		422
54	Plantinga	125	Remove	Plantinga		125		423
55	Plantinga	125	Remove	Plantinga		125		424
56	Plantinga	125	Remove	Plantinga		125		425
57	Plantinga	125	Remove	Plantinga		125		426
58	Plantinga	125	Remove	Plantinga		125		427
59	Plantinga	125	Remove	Plantinga		125		428
60	Plantinga	125	Remove	Plantinga		125		429
61	Plantinga	125	Remove	Plantinga		125		430
62	Plantinga	125	Remove	Plantinga		125		431
63	Plantinga	125	Remove	Plantinga		125		432
64	Plantinga	125	Remove	Plantinga		125		433
65	Plantinga	125	Remove	Plantinga		125		434
66	Plantinga	125	Remove	Plantinga		125		435
67	Plantinga	125	Remove	Plantinga		125		436
68	Plantinga	125	Remove	Plantinga		125		437
69	Plantinga	125	Remove	Plantinga		125		438
70	Plantinga	125	Remove	Plantinga		125		439
71	Plantinga	125	Remove	Plantinga		125		440
72	Plantinga	125	Remove	Plantinga		125		441
73	Plantinga	125	Remove	Plantinga		125		442
74	Plantinga	125	Remove	Plantinga		125		443
75	Plantinga	125	Remove	Plantinga		125		444
76	Plantinga	125	Remove	Plantinga		125		445
77	Plantinga	125	Remove	Plantinga		125		446
78	Plantinga	125	Remove	Plantinga		125		447
79	Plantinga	125	Remove	Plantinga		125		448
80	Plantinga	125	Remove	Plantinga		125		449
81	Plantinga	125	Remove	Plantinga		125		450
82	Plantinga	125	Remove	Plantinga		125		451
83	Plantinga	125	Remove	Plantinga		125		452
84	Plantinga	125	Remove	Plantinga		125		453
85	Plantinga	125	Remove	Plantinga		125		454
86	Plantinga	125	Remove	Plantinga		125		455
87	Plantinga	125	Remove	Plantinga		125		456
88	Plantinga	125	Remove	Plantinga		125		457
89	Plantinga	125	Remove	Plantinga		125		458
90	Plantinga	125	Remove	Plantinga		125		459
91	Plantinga	125	Remove	Plantinga		125		460
92	Plantinga	125	Remove	Plantinga		125		461
93	Plantinga	125	Remove	Plantinga		125		462
94	Plantinga	125	Remove	Plantinga		125		463
95	Plantinga	125	Remove	Plantinga		125		464
96	Plantinga	125	Remove	Plantinga		125		465
97	Plantinga	125	Remove	Plantinga		125		466
98	Plantinga	125	Remove	Plantinga		125		467
99	Plantinga	125	Remove	Plantinga		125		468
100	Plantinga	125	Remove	Plantinga		125		469
101	Plantinga	125	Remove	Plantinga		125		470
102	Plantinga	125	Remove	Plantinga		125		471
103	Plantinga	125	Remove	Plantinga		125		472
104	Plantinga	125	Remove	Plantinga		125		473
105	Plantinga	125	Remove	Plantinga		125		474
106	Plantinga	125	Remove	Plantinga		125		475
107	Plantinga	125	Remove	Plantinga		125		476
108	Plantinga	125	Remove	Plantinga		125		477
109	Plantinga	125	Remove	Plantinga		125		478
110	Plantinga	125	Remove	Plantinga		125		479
111	Plantinga	125	Remove	Plantinga		125		480
112	Plantinga	125	Remove	Plantinga		125		481
113	Plantinga	125	Remove	Plantinga		125		482
114	Plantinga	125	Remove	Plantinga		125		483
115	Plantinga	125	Remove	Plantinga		125		484
116	Plantinga	125	Remove	Plantinga		125		485
117	Plantinga	125	Remove	Plantinga		125		486
118	Plantinga	125	Remove	Plantinga		125		487
119	Plantinga	125	Remove	Plantinga		125		488
120	Plantinga	125	Remove	Plantinga		125		489
121	Plantinga	125	Remove	Plantinga		125		490
122	Plantinga	125	Remove	Plantinga		125		491
123	Plantinga	125	Remove	Plantinga		125		492
124	Plantinga	125	Remove	Plantinga		125		493
125	Plantinga	125	Remove	Plantinga		125		494
126	Plantinga	125	Remove	Plantinga		125		495
127	Plantinga	125	Remove	Plantinga		125		496
128	Plantinga	125	Remove	Plantinga		125		497
129	Plantinga	125	Remove	Plantinga		125		498
130	Plantinga	125	Remove	Plantinga		125		499
131	Plantinga	125	Remove	Plantinga		125		500
132	Plantinga	125	Remove	Plantinga		125		501
133	Plantinga	125	Remove	Plantinga		125		502
134	Plantinga	125	Remove	Plantinga		125		503
135	Plantinga	125	Remove	Plantinga		125		504
136	Plantinga	125	Remove	Plantinga		125		505
137	Plantinga	125	Remove	Plantinga		125		506
138	Plantinga	125	Remove	Plantinga		125		507
139	Plantinga	125	Remove	Plantinga		125		508
140	Plantinga	125	Remove	Plantinga		125		509
141	Plantinga	125	Remove	Plantinga		125		510
142	Plantinga	125	Remove	Plantinga		125		511
143	Plantinga	125	Remove	Plantinga		125		512
144	Plantinga	125	Remove	Plantinga		125		513
145	Plantinga	125	Remove	Plantinga		125		514
146	Plantinga	125	Remove	Plantinga		125		515
147	Plantinga	125	Remove	Plantinga		125		516
148	Plantinga	125	Remove	Plantinga		125		517
149	Plantinga	125	Remove	Plantinga		125		518
150	Plantinga	125	Remove	Plantinga		125		519
151	Plantinga	125	Remove	Plantinga		125		520
152	Plantinga	125	Remove	Plantinga		125		521
153	Plantinga	125	Remove	Plantinga		125		522
154	Plantinga	125	Remove	Plantinga		125		523
155	Plantinga	125	Remove	Plantinga		125		524
156	Plantinga	125	Remove	Plantinga		125		525
157	Plantinga	125	Remove	Plantinga		125		526
158	Plantinga	125	Remove	Plantinga		125		527
159	Plantinga	125	Remove	Plantinga		125		528
160	Plantinga	125	Remove	Plantinga		125		529
161	Plantinga	125	Remove	Plantinga		125		530
162	Plantinga	125	Remove	Plantinga		125		531
163	Plantinga	125	Remove	Plantinga		125		532
164	Plantinga	125	Remove	Plantinga		125		533
165	Plantinga	125	Remove	Plantinga		125		534
166	Plantinga	125	Remove	Plantinga		125		535
167	Plantinga	125	Remove	Plantinga		125		536
168	Plantinga	125	Remove	Plantinga		125		537
169	Plantinga	125	Remove	Plantinga		125		538
170	Plantinga	125	Remove	Plantinga		125		539
171	Plantinga	125	Remove	Plantinga		125		540
172	Plantinga	125	Remove	Plantinga		125		541
173	Plantinga	125	Remove	Plantinga		125		542
174	Plantinga	125	Remove	Plantinga		125		543
175	Plantinga	125	Remove	Plantinga		125		544
176	Plantinga	125	Remove	Plantinga		125		545
177	Plantinga	125	Remove	Plantinga		125		546
178	Plantinga	125	Remove	Plantinga		125		547
179	Plantinga	125	Remove	Plantinga		125		548
180	Plantinga	125	Remove	Plantinga		125		549
181	Plantinga	125	Remove	Plantinga		125		550
182	Plantinga	125	Remove	Plantinga		125		551
183	Plantinga	125	Remove	Plantinga		125		552
184	Plantinga	125	Remove	Plantinga		125		553
185	Plantinga	125	Remove	Plantinga		125		554
186	Plantinga	125	Remove	Plantinga		125		555
187	Plantinga	125	Remove	Plantinga		125		556
188	Plantinga	125	Remove	Plantinga		125		557
189	Plantinga	125	Remove	Plantinga		125		558
190	Plantinga	125	Remove	Plantinga		125		559
191	Plantinga	125	Remove	Plantinga		125		560
192	Plantinga	125	Remove	Plantinga		125		561
193	Plantinga	125	Remove	Plantinga		125		562
194	Plantinga	125	Remove	Plantinga		125		563
195	Plantinga	125	Remove	Plantinga		125		564
196	Plantinga	125	Remove	Plantinga		125		565
197	Plantinga	125	Remove	Plantinga		125		566
198	Plantinga	125	Remove	Plantinga		125		567
199	Plantinga	125	Remove	Plantinga		125		568
200	Plantinga	125	Remove	Plantinga		125		569
201	Plantinga	125	Remove	Plantinga		125		570
202	Plantinga	125	Remove	Plantinga		125		571
203	Plantinga	125	Remove	Plantinga		125		572
204	Plantinga	125	Remove	Plantinga		125		573
205	Plantinga	125	Remove	Plantinga		125		574
206	Plantinga	125	Remove	Plantinga		125		575
207	Plantinga	125	Remove	Plantinga		125		576
208	Plantinga	125	Remove	Plantinga		125		577
209	Plantinga	125	Remove	Plantinga		125		578
210	Plantinga	125	Remove	Plantinga		125		579
211	Plantinga	125	Remove	Plantinga		125		580
212	Plantinga	125	Remove	Plantinga		125		581
213	Plantinga	125	Remove	Plantinga		125		582
214	Plantinga	125	Remove	Plantinga		125		583
215	Plantinga	125	Remove	Plantinga		125		584
216	Plantinga	125	Remove	Plantinga		125		585
217	Plantinga	125	Remove	Plantinga		125		586
218	Plantinga	125	Remove	Plantinga		125		587
219	Plantinga	125	Remove	Plantinga		125		588
220	Plantinga	125	Remove	Plantinga		125		589
221	Plantinga	125	Remove	Plantinga		125		590
222	Plantinga	125	Remove	Plantinga		125		591


**LEGEND**

-  XB1 Bollard Light
-  XP1 Post-Top Area Light
-  XP2 Post-Top Area Light 2
-  XP3 Post-Top Roadway Light
-  XP4 Post-Top Pathway Street Light
-  XP5 Post-Top Roadway Light 2
-  XP6 Post-Top LED Sports Light
-  XP6 Weatherproof flagpole LED Light
-  EV Charging Station

Note: Refer to Electrical drawings for lighting specifications and requirements.



**CLIENT**



**stuarttolson**  
people creating progress

**COPYRIGHT**  
This drawing is the property of StuartTolson Inc. and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of StuartTolson Inc. All rights reserved.

80 Grosvenor Avenue (Consulting)  
V8L 2C5

ISSUE NO.	DESCRIPTION	DATE
1	Issued for Development Permit	2021-02-03
2	Issued for DP Revision	2021-07-13


**CONSULTANTS**

**P+A**  
Landscape Architecture  
Site Planning

1125 Perry & Associates Inc.  
112 Glen Road  
Vancouver, BC V6T 1V9  
1 604 738 4119  
1 604 738 4119  
www.perryandassociates.com

**RECEIVED**  
DP1221  
2021-JUL-13

**SEAL**



**PRIME CONSULTANT**

**IBI GROUP**  
ARCHITECTURE (CANADA) INC.  
700-1200 West Pender Street  
Vancouver, BC V6E 4R1 Canada  
Tel: 604 681 8777 | www.ibigroup.com  
ibi@ibigroup.com

**PROJECT**  
NANAIMO CORRECTIONAL  
CENTRE REPLACEMENT  
5165 BIGGS ROAD  
NANAIMO, BC  
V9R 5N3, CANADA

PROJECT NO: 19-000	SCALE: 1:750
DRAWN BY: JS	CHECKED BY: MP
PROJECT MGR: JSP	APPROVED BY: MP

**SHEET TITLE**  
Landscape  
Site Lighting Plan

SHEET NUMBER L2.0	ISSUE
----------------------	-------

2021-07-08

**PLANTING LEGEND**

	A. Entry Plaza	~ 170 m <sup>2</sup>
	B. Commons	~ 200 m <sup>2</sup>
	C. Commons Plaza	~ 480 m <sup>2</sup>
	D. Guthrie Neighbourhood	~ 515 m <sup>2</sup>
	E. Wetland	
	F. Berm	~ 1391 m <sup>2</sup>
	G. Healing Garden	~ 96 m <sup>2</sup>
	H. Guthrie/Medium Building* Planters	~ 60 m <sup>2</sup>
	I. Hydroseed (Area dictated by Contractor to be hydroseeded)	~ 44,030 m <sup>2</sup>
	J. Habitat Planting (Area dictated by Seed Contribution - Review per Environmental Consultant)	~ 2,230 m <sup>2</sup>
	K. Parking Lot Planting (Green: Visitor Parking and Bays South)	~ 215 m <sup>2</sup>

**PLANTING PALETTE**

**A. ENTRY PLAZA**

Botanical Name	Common Name	Size and Spacing
<i>Berberis thunbergii</i> 'Rose Glow'	Japanese Barberry	#1 Pot at 1m
<i>Calamagrostis x acutiflora</i>	Kent Foxtail Grass	#1 Pot at 5m
<i>Carex oshimensis</i> 'Evergold'	Japanese Sedge	#1 Pot at 45m
<i>Cornus stolonifera</i> or <i>sericea</i>	Red Osier Dogwood	#1 Pot at 1m
<i>Lonicera nitida</i>	Box Honey-suckle	#1 Pot at 5m
<i>Melissa aquatilis</i>	Orange Grass	#1 Pot at 3m
<i>Perennium spicatosuavis</i>	Fourstar Grass	#1 Pot at 5m
<i>Phlox paniculata</i>	Flourish Grass	#1 Pot at 7.5m
<i>Ribes sanguineum</i>	Red Flowering Currant	#1 Pot at 1m
<i>Sarcocolla nutans</i>	Frugrant Sweet Flag	#1 Pot at 3m

**B. COMMONS**

Botanical Name	Common Name	Size and Spacing
<i>Berberis thunbergii</i> 'Rose Glow'	Japanese Barberry	#1 Pot at 1m
<i>Calamagrostis x acutiflora</i>	Kent Foxtail Grass	#1 Pot at 5m
<i>Carex oshimensis</i> 'Evergold'	Japanese Sedge	#1 Pot at 45m
<i>Lonicera nitida</i>	Box Honey-suckle	#1 Pot at 5m
<i>Perennium spicatosuavis</i>	Fourstar Grass	#1 Pot at 5m
<i>Phlox paniculata</i>	Flourish Grass	#1 Pot at 7.5m

**C. COMMONS PLAZA**

Botanical Name	Common Name	Size and Spacing
<i>Berberis thunbergii</i> 'Rose Glow'	Japanese Barberry	#1 Pot at 1m
<i>Calamagrostis x acutiflora</i>	Kent Foxtail Grass	#1 Pot at 5m
<i>Carex oshimensis</i> 'Evergold'	Japanese Sedge	#1 Pot at 45m
<i>Cornus stolonifera</i> or <i>sericea</i>	Red Osier Dogwood	#1 Pot at 1m
<i>Lonicera nitida</i>	Box Honey-suckle	#1 Pot at 5m
<i>Perennium spicatosuavis</i>	Fourstar Grass	#1 Pot at 5m
<i>Phlox paniculata</i>	Flourish Grass	#1 Pot at 7.5m
<i>Ribes sanguineum</i>	Red Flowering Currant	#1 Pot at 1m
<i>Spiraea japonica</i> 'Gold Mound'	Snowberry	#1 Pot at 1m
<i>Symphoricarpos alba</i>	Evergreen Huckleberry	#1 Pot at 1m
<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#1 Pot at 1m

**D. GUTHRIE NEIGHBOHOOD**

Botanical Name	Common Name	Size and Spacing
<i>Actinostaphylos ov-auril</i>	Kinnikinnick	#1 Pot at 45m
<i>Berberis thunbergii</i> 'Rose Glow'	Japanese Barberry	#1 Pot at 1m
<i>Lonicera nitida</i>	Box Honey-suckle	#1 Pot at 5m
<i>Phlox paniculata</i>	Flourish Grass	#1 Pot at 7.5m
<i>Perennium spicatosuavis</i>	Fourstar Grass	#1 Pot at 5m
<i>Phlox paniculata</i>	Flourish Grass	#1 Pot at 7.5m
<i>Phlox paniculata</i>	Flourish Grass	#1 Pot at 7.5m
<i>Spiraea japonica</i> 'Gold Mound'	Snowberry	#1 Pot at 1m
<i>Symphoricarpos alba</i>	Evergreen Huckleberry	#1 Pot at 1m
<i>Vaccinium ovatum</i>	Evergreen Huckleberry	#1 Pot at 1m

**E. WETLAND**

Botanical Name	Common Name	Size
<i>Carex oshimensis</i>	Japanese Sedge	3m In-stakes
<i>Cornus stolonifera</i> or <i>sericea</i>	Red Osier Dogwood	#5 Pot
<i>Morus nigra</i>	Japanese Crabapple	#5 Pot
<i>Morus paphia</i>	Black Mulberry	#1 Pot
<i>Rhamnus purshiana</i>	Cascara	#1 Pot
<i>Rubus parviflorus</i>	Blackberry	#1 Pot
<i>Salix alba</i>	White Willow	3m In-stakes
<i>Salix virens</i> or <i>laevis</i>	Green Willow	3m In-stakes
<i>Spiraea douglasii</i>	Hardhack	#1 Pot
<i>Typha latifolia</i>	Cattail	#1 Pot

**F. BERM**

Botanical Name	Common Name	Size and Spacing
<i>Antennaria arifolia</i>	Salsation, Servisaberry	#3 Pot
<i>Arctostaphylos</i>	PACIFIC Madrone	#3 Pot
<i>Arctostaphylos ov-auril</i>	Kinnikinnick	#1 Pot at 45m
<i>Berberis thunbergii</i>	Japanese Barberry	#1 Pot at 1m
<i>Cornus stolonifera</i> or <i>sericea</i>	Red Osier Dogwood	#1 Pot at 1m
<i>Corylus cornuta</i>	Black Walnut	#5 Pot
<i>Crataegus douglasii</i>	Black Hawthorn	#3 Pot
<i>Penstemon menziesii</i>	Despair Ht	#3 Pot
<i>Holodiscus discolor</i>	Ocean Spray	#1 Pot at 1m
<i>Phacelia venusta</i>	Black Creeper	#1 Pot at 1m
<i>Physocarpus capitatus</i>	Pacific Ninebark	#1 Pot at 1m
<i>Rosa wichurana</i>	Black Rose	#1 Pot at 1m
<i>Ribes sanguineum</i>	Red Flowering Currant	#1 Pot at 1m
<i>Rosa wichurana</i>	Black Rose	#1 Pot at 1m
<i>Sambucus racemosa</i>	Blue Elderberry	#1 Pot at 1m
<i>Syringa foeniculifolia</i>	Snowberry	#1 Pot at 1m

**G. HEALING GARDEN**

To be planted by others, as part of the Indigenous and/or spiritual programming.

**H. GUTHRIE / MEDIUM BUILDING PLANTERS**

Planter areas to be planted by residents. Topsoil to be provided by this Contract.

**I. HYDROSEED**

Low maintenance mix: 15% Quatro Slump Fescue, 15% Burke II Hard Fescue, 10% Classic II Crested Red Fescue, 20% Croydon Red Fescue, 20% Wintercreech Crowing Fescue, 30% LS230 Perennial Ryegrass.

Seeding rate to be 1-1.5 lbs per 1,000ft<sup>2</sup>.

**J. HABITAT PLANTING**

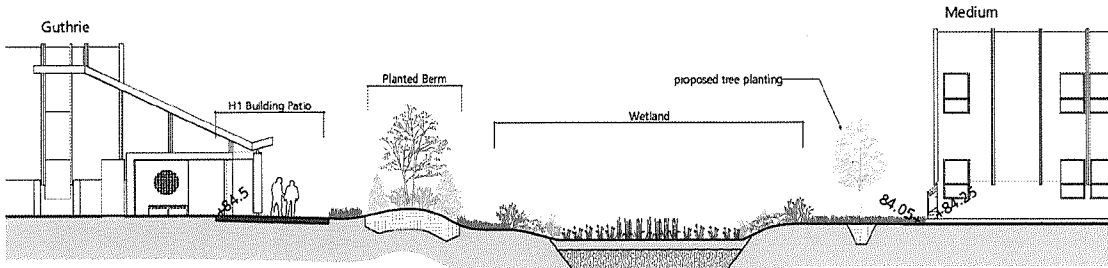
Planting per Environmental Consultant.

**K. PARKING LOT PLANTING**

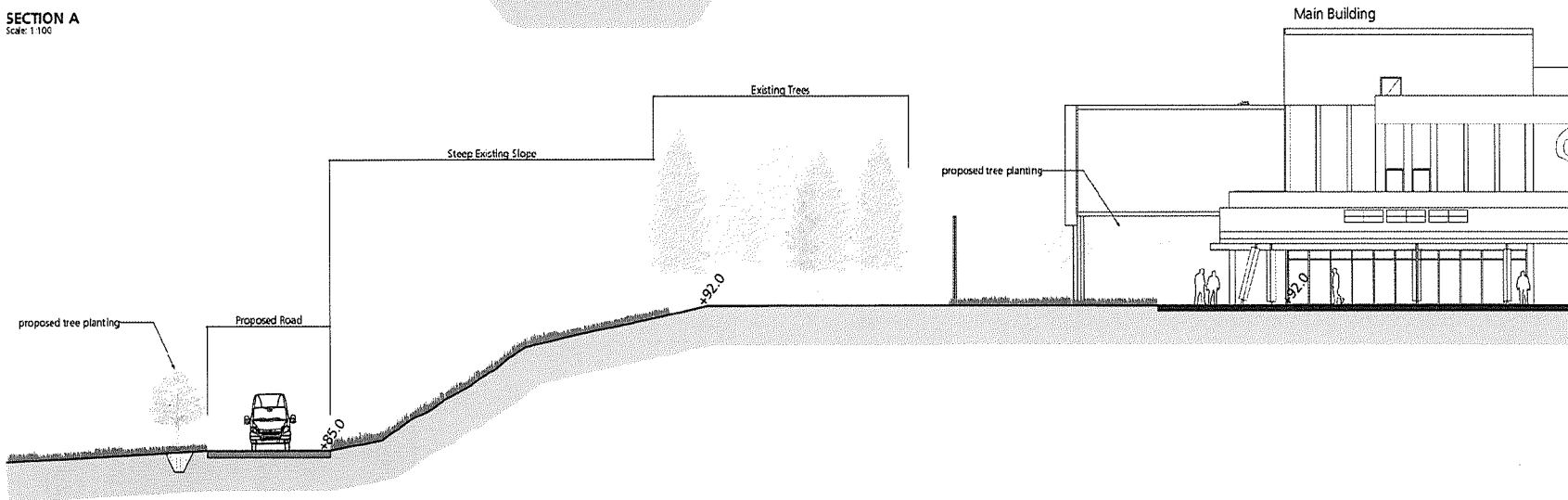
Botanical Name	Common Name	Size and Spacing
<i>Berberis thunbergii</i> 'Rose Glow'	Japanese Barberry	#1 Pot at 1m
<i>Lonicera nitida</i>	Box Honey-suckle	#1 Pot at 5m
<i>Perennium spicatosuavis</i>	Fourstar Grass	#1 Pot at 5m
<i>Rosa nutkana</i>	Noosa Rose	#1 Pot at 1m

**Tree Planting List**

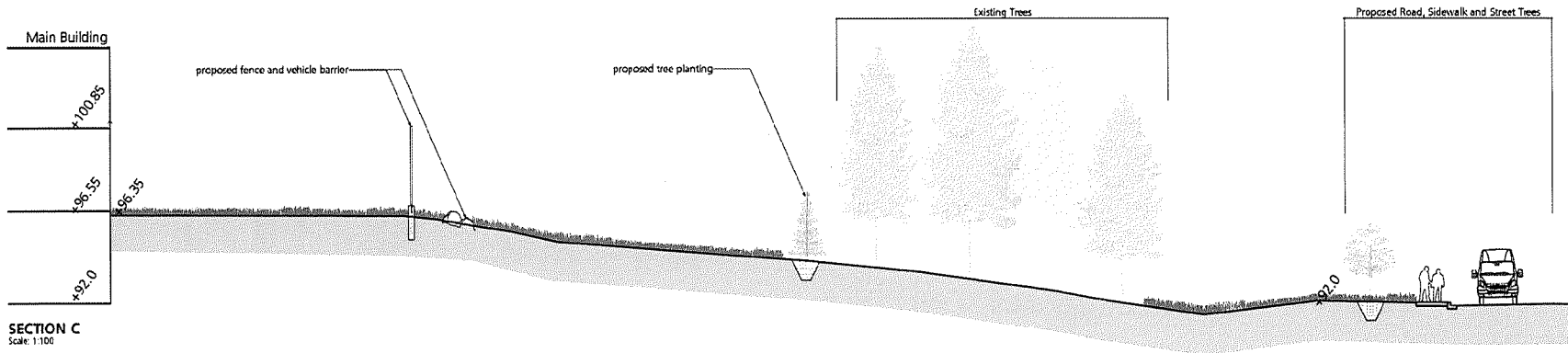
Symbol	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
Tree	1	<i>Abies grandis</i>	Grand Fir	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m cal. 10m	
Tree	1	<i>Thuja occidentalis</i>	Western Red Cedar	5m cal. 10m	
Tree	1	<i>Juniperus horizontalis</i>	Horizontal Juniper	5m	



SECTION A  
Scale: 1:100



SECTION B  
Scale: 1:100

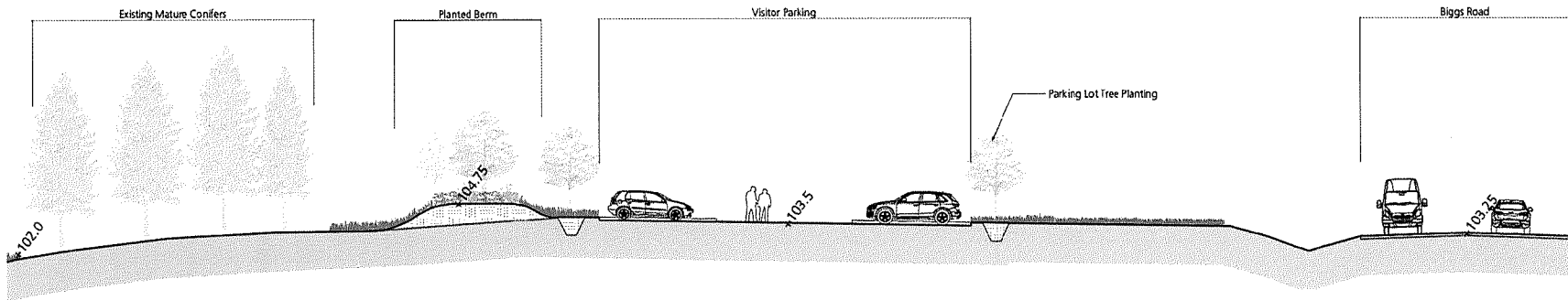


SECTION C  
Scale: 1:100

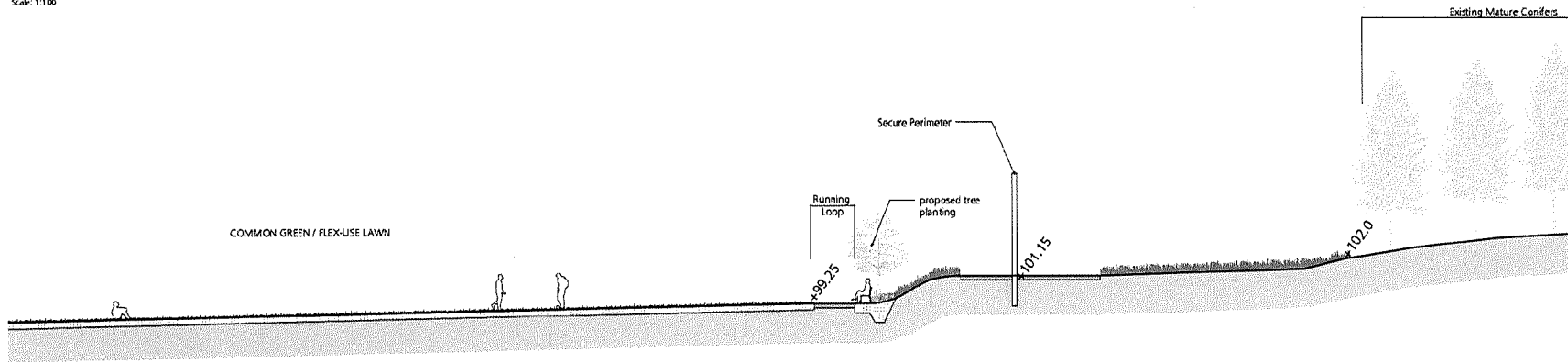
CLIENT		
<small>COPYRIGHT</small> All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the copyright owner.		
<small>ISSUES</small> All Changes & Additions to be Checked by: [Signature]		
NO.	DESCRIPTION	DATE
1	Issued for Technical Submission	2020/05/08
2	Finalized Submission &	2020/10/15
3	Issued for Development Permit	2021/02/28
CONSULTANTS		
<b>P+A</b> Landscape Architecture Urban Planning K. John Perry & Associates Inc. 112 East Broadway Vancouver, BC V5T 1V9 T 604 238-4116 F 604 238-4116 www.perryandassociates.com		
SCALE		
PRIME CONSULTANT IBI GROUP ARCHITECTURE (Canada) INC. 100-1288 West Beaver Creek Richmond, BC V6X 3E9 Tel: 604.463.4777 Fax: 604.463.4642 ibigroup.com		
PROJECT NANAIMO CORRECTIONAL CENTRE REPLACEMENT 3545 BIGGS ROAD NANAIMO, BC V8R 2N3, CANADA		
PROJECT NO:	19-000	SCALE:
DRAWN BY:	JP	CHECKED BY:
PROJECT MGR:	JP	APPROVED BY:
SHEET TITLE		
Illustrative Landscape Sections		
SHEET NUMBER	L4.0	ISSUE

RECEIVED  
 DP 1224  
 PREPARED

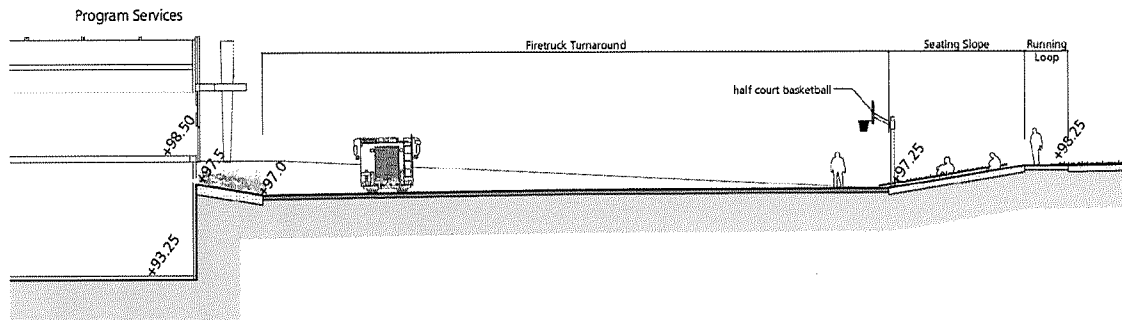
DATE PLOTTED: 2021-02-21 10:00:00



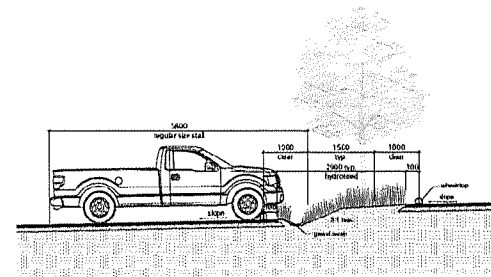
SECTION D  
Scale: 1:100



SECTION D (cont.)  
Scale: 1:100



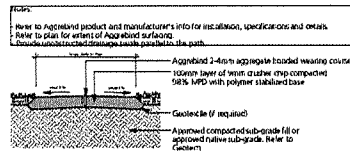
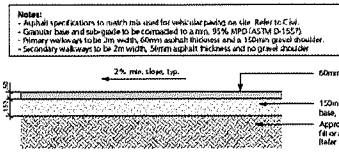
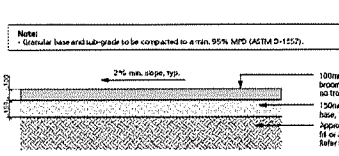
SECTION E  
Scale: 1:100



SECTION F  
Scale: 1:50

RECEIVED  
SEP 22 2021  
2021-08-23

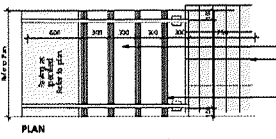
CLIENT														
<p><b>COPYRIGHT</b></p> <p>© 2021 The Nanaimo Correctional Centre Replacement Project. All rights reserved. This drawing is the property of the consultant and is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the consultant. The consultant shall not be held responsible for any errors or omissions in this drawing.</p> <p>30 Group of Companies (Consulting) Inc. 11700 104th Street, Surrey, BC V4N 1G7</p>														
<table border="1"> <thead> <tr> <th>NO.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>Issued for Technical Submission</td> <td>2020/05/05</td> </tr> <tr> <td>2</td> <td>Finalized Drawings</td> <td>2020/10/15</td> </tr> <tr> <td>3</td> <td>Issued for Development Permit</td> <td>2021/02/08</td> </tr> </tbody> </table>	NO.	DESCRIPTION	DATE	1	Issued for Technical Submission	2020/05/05	2	Finalized Drawings	2020/10/15	3	Issued for Development Permit	2021/02/08		
NO.	DESCRIPTION	DATE												
1	Issued for Technical Submission	2020/05/05												
2	Finalized Drawings	2020/10/15												
3	Issued for Development Permit	2021/02/08												
<p><b>CONSULTANTS</b></p> <p><b>P+A</b> Landscape Architecture The Planning</p> <p>R. Glen Perry &amp; Associates Inc. 112 East Broadway Vancouver, BC V5T 1V9 1 604 238 4116 1 604 238 4116 www.perryandassociates.com</p>														
<p><b>PRIME CONSULTANT</b></p> <p><b>IBI</b> GROUP ARCHITECTURE (CANADA) INC. 1700 WEST BROADWAY VANCOUVER, BC V6L 4C6 TEL: 604-683-8777 WWW.IBI.COM</p>														
<p><b>PROJECT</b></p> <p>NANAIMO CORRECTIONAL CENTRE REPLACEMENT 5045 BIGGS ROAD NANAIMO, BC V9R 2N3, CANADA</p>														
<p>PROJECT NO: 19-010</p> <p>DRAWN BY: JP</p> <p>PROJECT MGR: JP</p>	<p>SCALE: As Shown</p> <p>CHECKED BY: NP</p> <p>APPROVED BY: JSP</p>													
<p>SHEET TITLE</p> <p>Illustrative Landscape Sections</p>														
<p>SHEET NUMBER</p> <p>L4.1</p>	<p>SCALE</p>	<p>DATE</p> <p>2021-02-01</p>												



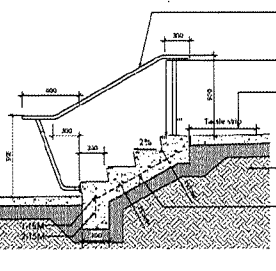
1 Pedestrian Concrete Paving 1:20

2 Pedestrian Asphalt Paving 1:20

3 Pedestrian Granular Paving 1:20

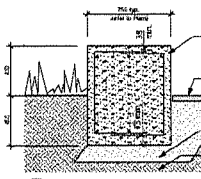


Concrete shall be 150mm finish  
Table strip at foot width of stair as per code  
Typical voided aggregate strip at leading edge of all risers starting 175mm bearing edge minimum of 4 groups



Handrail - hot-dip, to B.C.C. 1.5' dia steel tubing, typical welded construction, hot dip galvanized finish, where smooth finish w/ bottom bracket and tub bolts  
20MPA, broom finish concrete steps w/ face slope of 1:2" (excluding 1/4" x 3/8" raised nosing)  
Table strip at foot width of stair  
Approved as requested (submit as per engineer)

4 Cast Concrete Stairs 1:25



CIP Concrete Seat Wall, mechanical Concrete with Light Sandblast Finish, Square Corners, near all edges an corners after removal of formwork, min. 20Mpa, reinforcing as per structural engineer  
Painting Per Plan  
150mm crushed granular base, 150mm finish compacted to 95% MPO (ASTM D-1577)  
Approved compacted sub-grade fill or approved native sub-grade. Refer to Geotech.

5 Concrete Seat Wall 1:20

Product: 510 Backed Bench, Side Arms  
Finish: Powdercoated Silver 14  
Quantity: 20  
Installations to be installed as shown on plan  
Surface finish to be as per manufacturer hardware as per manufacturer's specifications.



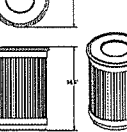
6 Metal Bench n/a



Product: Urban Single Bike Rack  
Finish: Hot Dip Galvanized  
Quantity: 20  
Installations to be installed individually, in a row, as shown on plan. Surface mount with lettered hardware as per manufacturer's specifications.  
Available at Urban Racks or pre-approved equivalent.  
Website: www.urbanracks.com  
Tel: 1-800-717-8181

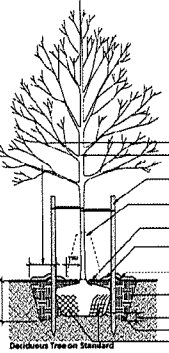
7 Bike Rack 1:20

Product: MVR200-20 Trash Receptacle  
Finish: Powdercoated Silver 14  
Quantity: 4  
Installations to be installed in a row and offset from each other. Exact locations to be determined. Surface mount with lettered hardware as per manufacturer's specifications.  
Available at Mega Site Furniture or pre-approved equivalent.  
Website: www.megasite.com  
Tel: 1-800-716-5500



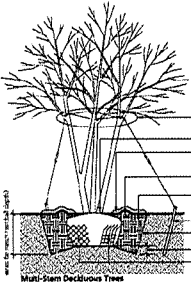
8 Garbage Receptacle n/a

- Tree Planting Notes:**
- Do not cut leader.
  - Stake trees only upon the approval of the landscape architect, wrap tree trunks only upon the approval of the landscape architect.
  - Protect trees from damage during planting, ensure rootball is protected from sun, frost or desiccation.
  - Tree selection, handling, planting and maintenance must meet local standards, be in good health and condition without wounds, have normal form, and be free of diseases and pests.
  - Site preparation must include provision for soil placement, replacement or enhancement to meet project specifications.
  - Planting holes must be free draining to the extent that rainwater and/or supplemental water does not accumulate and drain to the roots. If necessary, the subgrade must be graded with profile to create drainage version such as but not limited to precast brick, trench drains or stone pipes must be installed to drain.
  - Watering of the root ball must be undertaken immediately after planting and then for the first growing season so that the root ball is thoroughly wetted once per week minimum.
  - The mulched root zone should be refreshed annually to replace the mulch, this area must be sealed by hand to avoid trunk and root damage from string trimmers or mowers.
  - The tree should be staked to a max. 3000 standards after establishment and from time to time to train it for structure to conform to the form of the species and to respond to growing site conditions. All staking must be undertaken by a competent person under the direct supervision of a qualified person certified by the International Society of Arboriculture and who demonstrates proficiency in pruning.



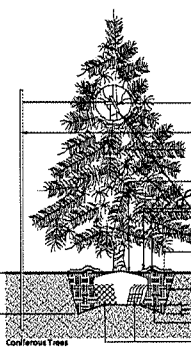
Planting holes must be dug to a max. 300mm less than the root ball or all sides with sloped side walls  
Trees must be vertical and stable after planting. Mark the north side of the tree in the morning, and rotate tree to face north at the time whenever possible.  
Stakes and ties should be installed for trees that are not stable after planting depending on form, root ball type and size. Stakes and ties must be removed one year after planting unless otherwise specified.  
Install slow release watering bag such as TreoBag or approved equivalent to add in watering throughout dry season. 1 bag per tree, approx. 55 liter capacity.  
Set root ball flush to grade or 15-20mm higher in poorly draining soils.  
Do not cover the top of the rootball with soil.  
Planting hole and root ball must be covered with 50mm of composted mulch (or peat grass). The mulch should not be placed within 200mm of the trunk base.  
100mm built-up earth saucer beyond edge of the root ball to aid in directing supplemental water to the root ball.  
Backfill must be of approved growing medium for quality, composition and fertility. Lightly tamp the backfill and water in after planting.  
100 to 150mm deeper than root ball.  
Tamp soil around the base of root ball base firmly with foot pressure to that soil does not shift.  
Remove 1/3 of bagging from rootball and wire from base of trunk. Insert wire basket "lifting loops" and top of basket. Remove any soil on top of "original" rootball.

9 Tree Planting 1:25



Note: Provide slow-release watering bag such as TreoBag or approved equivalent to add in watering throughout dry season. 1 bag per tree, approx. 55 liter capacity.  
Set tree on original grade.  
Planting hole and root ball must be covered with 50mm of composted mulch (or peat grass). The mulch should not be placed within 200mm of the trunk base.  
100mm built-up earth saucer beyond edge of the root ball to aid in directing supplemental water to the root ball.  
Backfill must be of approved growing medium for quality, composition and fertility. Lightly tamp the backfill and water in after planting.  
Stake trees where required.  
Stake trees at side and bottom, do not restrict.  
100 to 150mm deeper than root ball.  
Remove 1/3 of bagging from rootball and twice from base of trunk. Insert wire basket "lifting loops" and top of basket. Remove any soil on top of "original" rootball.

10 Multi-Trunk Deciduous Tree 1:25



Note: Provide slow-release watering bag such as TreoBag or approved equivalent to add in watering throughout dry season. 1 bag per tree, approx. 55 liter capacity.  
Fasten trunk to stake with wire ties as necessary.  
Locate and stake 450mm away from tree trunk on side of prevailing wind. Tie all trunk stake to acceptable wooden substrate. Anchor firmly.  
Set root ball flush to grade or 25-50mm higher in poorly draining soils. Do not cover the top of the root ball with soil.  
Planting hole and root ball must be covered with 50mm of composted mulch (or peat grass). The mulch should not be placed within 200mm of the trunk base.  
100mm built-up earth saucer beyond edge of the root ball to aid in directing supplemental water to the root ball.  
Backfill must be of approved growing medium for quality, composition and fertility. Lightly tamp the backfill and water in after planting.  
Deaden 2/3 of compacted soil. Anchor as necessary.  
Stake trees at side and bottom, do not restrict.  
100 to 150mm deeper than root ball.  
Tamp soil around the base of root ball base firmly with foot pressure so that soil builds up no shift.  
Remove 1/3 of bagging from rootball and twice from base of trunk. Insert wire basket "lifting loops" and top of basket. Remove any soil on top of "original" rootball.

11 Coniferous Tree 1:25

CLIENT

COPYRIGHT

SHEET NO.	DESCRIPTION	DATE
1	Issued for Development Permit	2021-05-03

CONSULTANTS

**P+A**  
Landscape Architecture  
Site Planning  
111 East Broadway  
Vancouver, BC V6T 1V9  
Tel: 604-281-4116  
Fax: 604-281-4116  
www.paryandassociates.com

SEAL

PRIME CONSULTANT  
**IBI**  
ARCHITECTURE INC.  
1200 Burrard Street  
Vancouver BC V6Z 0B1 Canada  
Tel: 604-681-8779 or 604-681-8780  
ibi@ibi.com

PROJECT  
**NANAIMO CORRECTIONAL CENTRE REPLACEMENT**  
3945 BIGGS ROAD  
NANAIMO, BC  
V9R 3N3, CANADA

PROJECT NO: 19-050  
SCALE: As Shown  
DRAWN BY: JP  
CHECKED BY: MP  
PROJECT TITLE: J2  
APPROVED BY: [Signature]

SHEET NUMBER  
**L5.0**

ISSUE

RECEIVED  
2021-05-03  
2021-05-03

2021-05-03



Visitor Arrival Plaza with Planting, Seating Elements, Bollards and Flag Poles



The Commons Plaza with Organic Edges



Outdoor Patios Adjacent Support Buildings



The Commons



Building Entrance



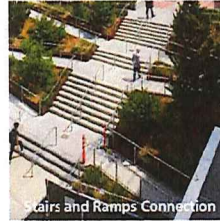
Visitor Arrival Plaza with Planting, Seating Elements and Flag Poles



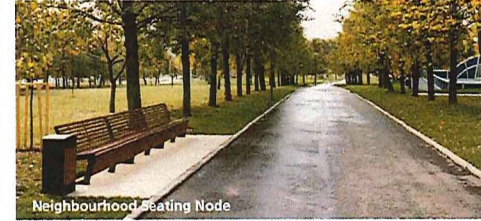
Integrated Elements



Planted Berms



Stairs and Ramps Connection



Neighbourhood Seating Node



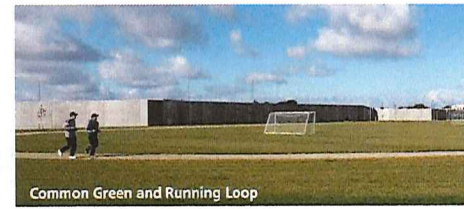
Flex Use Plaza with Basketball Court



Council Circle



Cast Concrete Elements



Common Green and Running Loop



Amphitheatre

ARRIVAL PLAZA

COMMONS AREAS

NEIGHBOURHOOD AND GATHERING SPACES

CLIENT

**COPYRIGHT**  
 The drawings are prepared by the firm mentioned on the title page. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the author. The author shall not be liable for any damages or losses, including consequential damages, arising from the use of these drawings.

© 2021 Group A Architects (Canada) Inc.  
 is a member of the Group A Companies

ISSUE No.	DESCRIPTION	DATE
1	Issued for Development Permit	2021/02/09

CONSULTANTS

**P+A**  
 Landscape Architecture  
 Dan Fleming

R. Dan Perry & Associates Inc.  
 112 East Broadway  
 Vancouver, BC V6T 1V9  
 T 604 738 4116  
 F 604 738 4115  
 www.perryandassociates.com

SEAL

PRIME CONSULTANT

**IBI**  
 ARCHITECTS (CANADA) INC.  
 705 WEST PENDER STREET  
 VANCOUVER, BC V6C 2E6  
 TEL 604 683 8700 FAX 604 683 5482  
 ibi@ibi.com

PROJECT  
**NANAIMO CORRECTIONAL CENTRE REPLACEMENT**  
 3045 BIGGS ROAD  
 NANAIMO, BC  
 VER 9N3, CANADA

PROJECT NO: 19-050	SCALE: 1:750
DRAWN BY: JB	CHECKED BY: MP
PROJECT MGR: JSP	APPROVED BY: MP

SHEET TITLE  
**Landscape Precedents**

SHEET NUMBER <b>L6.0</b>	ISSUE
-----------------------------	-------

RECEIVED  
 2021 FEB 09  
 Curvis Group Inc.



Tree Planting between Staff Parking Lots



Granular Pathways



Cedar Log and Stump Seating



Planted Berms and Hedgerows providing Visual Screening



Asphalt Pathways and Paving Areas



Flex-Use Common Green Area



Visitor Bicycle Parking Urban Racks 'Staple' Bike Rack, Galvanized



Cast Concrete Paving w/ Robotic Finish



Cast Concrete Stairs



Maglin 510 Backed Bench, Powdercoat Silver 14, Surface Mount



Integrated Stormwater Berms



Painted Asphalt Patterns at Neighbourhood Plazas



Basketball Hoop



Maglin 250 Trash Container Powdercoat Silver 14, Surface Mount



Precast Concrete Wheel Stop



Stamped Asphalt Pattern at Nodes



Concrete Seat Walls



Dero 'Single Locker', Powdercoat Grey - Secure Staff Bicycle Parking

PARKING LOTS

MATERIALS AND SITE ELEMENTS

CLIENT

COPYRIGHT

ISSUE No. 1 DESCRIPTION Issued for Development Permit DATE 2021-02-03

CONSULTANTS

**P+A**  
Landscape Architecture  
The Planning

113 East Broadway  
Vancouver, BC V5T 1V9  
T 604 731 4118  
F 604 731 4115  
www.pandaplanning.com

PRINCIPAL CONSULTANT

**IBI**

PROJECT

NANAIMO CORRECTIONAL CENTRE REPLACEMENT  
3945 BIGGS ROAD  
NANAIMO, BC  
V9R 0N3, CANADA

PROJECT NO: 19-060 SCALE: 1:750  
DRAWN BY: JB CHECKED BY: MP  
PROJECT MGR: JP APPROVED BY: MP

SHEET TITLE  
Landscape Precedents

SHEET NUMBER  
L6.1

ISSUE

2021-02-03

RECEIVED  
2021 FEB 03  
City of Nanaimo