



**DEVELOPMENT PERMIT NO. DP001219**

**DGC HOLDINGS CORP.,**  
Name of Owner(s) of Land (Permittee)

**2498 ROSSTOWN ROAD**  
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

**LOT 1, SECTION 19, RANGE 6, MOUNTAIN DISTRICT, PLAN 41045**

**PID No. 000-442-399**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

**Schedule A Location Plan**  
**Schedule B Proposed Subdivision Plan**  
**Schedule C Detailed Planting Plan**

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

### TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

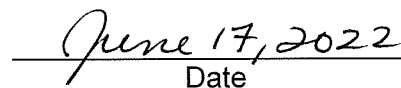
1. *Section 6.3.2 - Location and Siting of Buildings and Structures to Watercourses* - to reduce the minimum required watercourse leave strip from 7.5m to 0m in order to allow the proposed site works, servicing and restoration within the watercourse leave strip area.

### CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Proposed Subdivision Plan prepared by Williamson & Associates Professional Surveyors, dated 2021-OCT-29, as shown on Schedule B.
2. The subject property is developed and maintained in accordance with the Watercourse Leave Strip Variance Plan (received 2022-APR-14), and the Detailed Planting Plan, dated 2022-MAY-03, prepared by EDI Environmental Dynamics Inc., as shown on Schedule D. Environmental monitoring is required to ensure that environmental protection measures are being followed during site disturbance and construction.
3. Security is to be submitted prior to Design Stage Approval for the final subdivision plan and held for three years from the date of installation to ensure the property is developed and maintained in accordance with the Watercourse Leave Strip Variance Plan and Detailed Planting Plan. A certified Letter of Completion is required from a qualified professional at the end of the three-year maintenance period.

AUTHORIZING RESOLUTION PASSED BY COUNCIL  
THE 30TH DAY OF MAY, 2022.

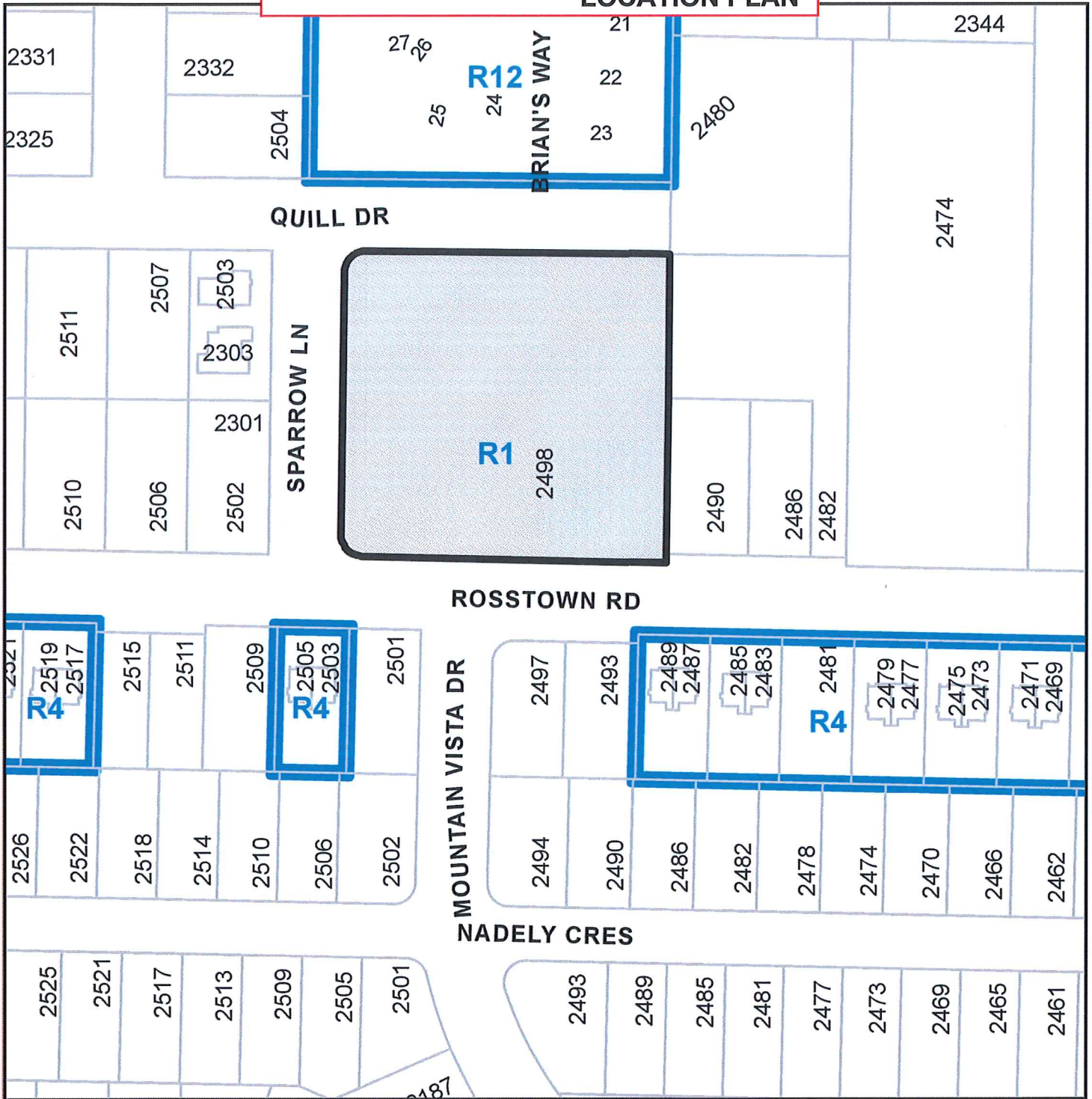
  
Corporate Officer

  
Date

SR/in  
Prospero attachment: DP001219

Development Permit No. DP001219 Schedule A  
2498 Rosstown Road

### LOCATION PLAN



## Development Permit Application No. DP001219

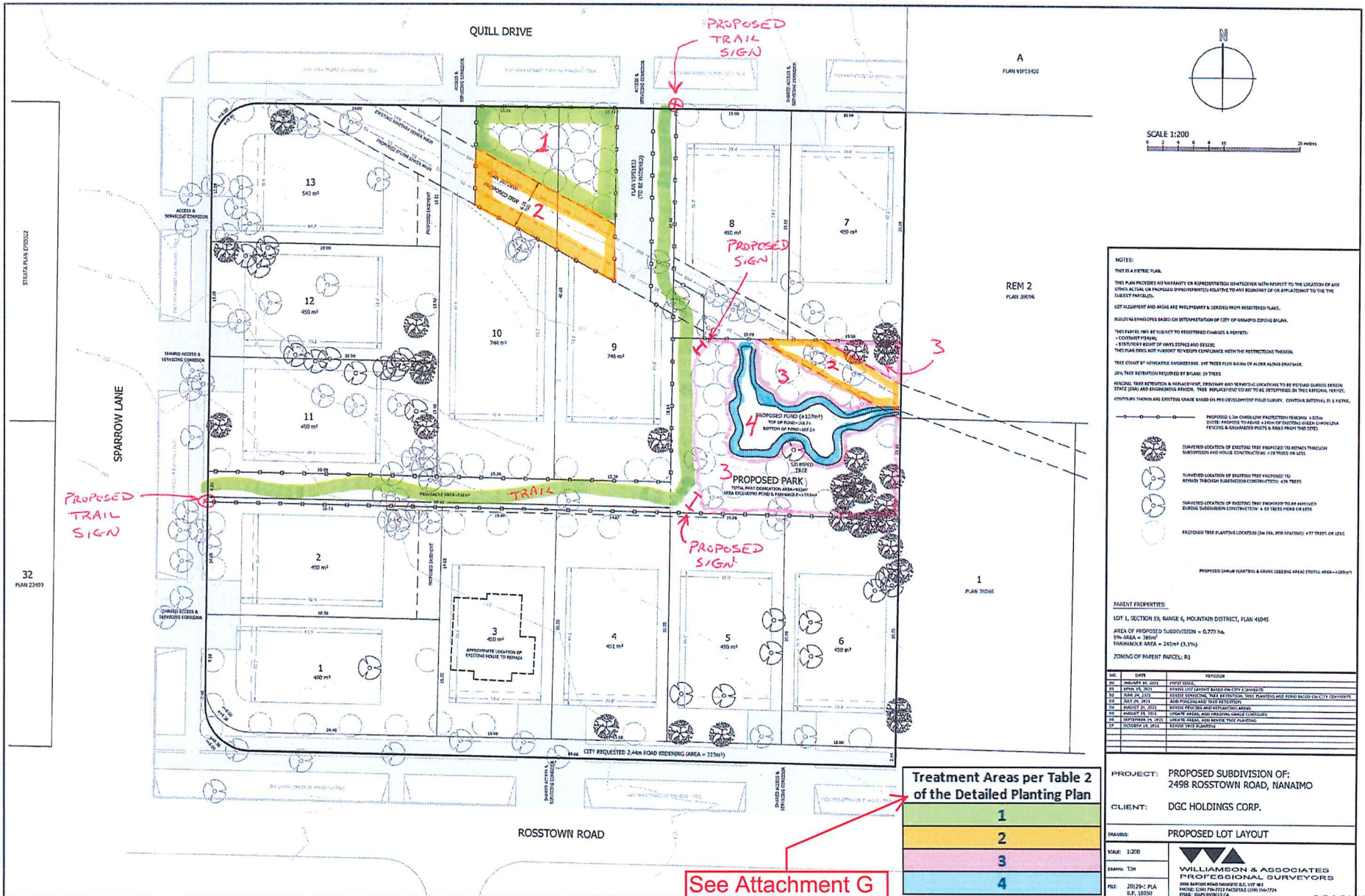


**Subject Property**

CIVIC: 2498 Rosstown Road

LEGAL: Lot 1, Section 19, range 6, Mountain District, Plan 41045

Development Permit No. DP001219 Schedule B  
 2498 Rosstown Road  
**PROPOSED SUBDIVISION PLAN**



**NOTES:**

THIS IS A METRIC PLAN.

THE PLAN PROVIDES NO WARRANTY OR REPRESENTATION WHATSOEVER WITH RESPECT TO THE LOCATION OF ANY UTILITIES OR TO THE ACCURACY OF THE INFORMATION RELATIVE TO ANY RECORDS OF AN APPLICANT TO THE THE SUBJECT PARCELS.

LOT ALIGNMENT AND ANGLES ARE NECESSARY & CORRECTED FROM REGISTERED PLANS.

BUILDING ENVELOPES BASED ON INTERPRETATION OF CITY OF NANAIMO ZONING BYLAW.

THIS PLAN IS NOT SUBJECT TO REGISTERED CHANGES & REVISIONS:

- CONTRACTOR SHALL
- STATUTORY REPORT OF WORKS SHALL BE DELETED

THIS PLAN DOES NOT PURPORT TO VERIFY COMPLIANCE WITH THE PROTECTING THEMES.

THESE COULD BE REVISED BY AN ENGINEER OR ARCHITECT. THESE PLANS SHALL BE ALIGNED WITH THE THEMES.

20% TREE RETENTION REQUIRED BY BY-LAW 20 TREES

PLANTING: TREE PLANTING & REPLACEMENT: TREE PLANTING LOCATIONS TO BE PLANTED DURING DESIGN STAGE (20%) AND ENGINEERING REVIEW. TREE REPLACEMENT COULD BE DETERMINED BY TREE SURVEY. PLANTING: PLANTING SHALL BE EXISTING UNLESS OTHERWISE SPECIFIED. CONTAINMENT INTERVAL IS 1 METRE.

PROPOSED 1.2m CHIMNEY PROTECTION HEIGHT = 335m (TOTAL HEIGHT TO BE 1.2m OF PLANTING OVER CHIMNEY HEIGHT & GALVANIZED PIPES & SHALL PROTECT THE TREE)

SURVEYED LOCATION OF EXISTING TREE PROPOSED TO REMAIN THROUGH SUBDIVISION AND HOUSE CONSTRUCTION: 17 TREES OR LESS

SURVEYED LOCATION OF EXISTING TREE PROPOSED TO BE REMOVED THROUGH SUBDIVISION CONSTRUCTION: 476 TREES

SURVEYED LOCATION OF EXISTING TREE PROPOSED TO BE REMOVED DURING SUBDIVISION CONSTRUCTION: 8 TREES OR LESS

PROPOSED TREE PLANTING LOCATIONS (3m DIA. FOR TREES) = 77 TREES OR LESS

PROPOSED SHADE PLANTING & GRASS SEEDING AREAL (TOTAL AREA = 200m<sup>2</sup>)

**PARENT PROPERTIES:**

LOT 1, SECTION 15, RANGE 6, MOUNTAIN DISTRICT, PLAN 41048

AREA OF PROPOSED SUBDIVISION = 6,770 m<sup>2</sup>

5th AREA = 360m<sup>2</sup>

PARKABLE AREA = 240m<sup>2</sup> (CL 1%)

ZONING OF PARENT PARCELS: R1

NO.	DATE	REVISION
01	15/01/2022	ISSUE FOR PERMIT
02	15/01/2022	REVISED TREE LAYOUT BASED ON CITY COMMENTS
03	15/01/2022	REVISED TREE LAYOUT, TREE REPLACEMENT, TREE PLANTING AND ROAD BALD ON CITY COMMENTS
04	15/01/2022	ROAD WIDENING AND TREE RETENTION
05	15/01/2022	REVISED TREE LAYOUT AND PLANTING AREAS
06	15/01/2022	CONTRACTOR COMMENTS AND TREE REPLACEMENT
07	15/01/2022	CONTRACTOR COMMENTS AND TREE REPLACEMENT
08	15/01/2022	CONTRACTOR COMMENTS AND TREE REPLACEMENT
09	15/01/2022	CONTRACTOR COMMENTS AND TREE REPLACEMENT

**Treatment Areas per Table 2 of the Detailed Planting Plan**

1
2
3
4

See Attachment G for planting details

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 DP1219  
 2022-MAY-03



**DETAILED PLANTING PLAN**

208A – 2520 Bowen Road  
Nanaimo, BC V9T 3L3  
P: (250) 751-9070

May 03, 2022

EDI Project No: 20N0412

Dueck General Contracting  
3- 4515 Uplands Drive  
Nanaimo, BC V9T 6M8

Attention: Blair Dueck, Owner

**RE: Detailed Planting Plan for 2498 Rosstown Road, City of Nanaimo**

This detailed planting plan has been provided to supplement information provided in the watercourse leave strip variance plan prepared by EDI (November 2021). Since the watercourse leave strip variance plan was prepared, Newcastle Engineering Ltd. has progressed civil designs. These designs have been reviewed to verify anticipated site characteristics, areas and dimensions, and pond design. Table 1 from the watercourse leave strip variance plan remains largely unchanged and the revised version is provided below. The subsequent table (Table 2) provides a summary of plant species for each treatment area.

**Table 1. Planting specifications by plant type.**

Plant Type	Stock Size	Spacing Interval (m)	Species Examples Suitable for this Site	Approx. Number
Trees	2 to 5 gallon	3.0 throughout Park Wide, variable spacing elsewhere	Douglas fir, bigleaf maple, red alder, Pacific dogwood, Pacific Willow, Western Hemlock	63
Large Shrubs	1 to 2 gallon	0.75	Nootka rose, ocean spray, Pacific ninebark, red osier dogwood, salmonberry, red-flowering currant, red huckleberry	1,243
Small Shrubs	1 gallon	0.5	Oregon grape, snowberry, thimbleberry	220
Aquatic Plants (Pond)	4"	0.5	slough sedge, common rush, water shield, hardhack	240
Groundcover	4" to 1 gallon	0.5	Salal, kinnikinic, sword fern, bracken fern	200

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DP1219  
2022-MAY-04  
Current: Planning



Table 2. Summary of Plant Species in Each Treatment Area.

Type	Common Name	Scientific Name	Treatment Area*				Stock Size	Totals	Notes
			1	2	3	4			
Tree	Red alder	<i>Alnus rubra</i>			12		5-gallon	12	Even distribution
Tree	Bigleaf maple	<i>Acer macrophyllum</i>	6		6		5-gallon	12	Even distribution
Tree	Pacific willow	<i>Salix lucida</i>			10		2-gallon	10	Pond edge
Tree	Pacific dogwood	<i>Cornus nuttallii</i>	6				5-gallon	6	South side of area
Tree	Douglas-fir	<i>Abies grandis</i>	9		14		5-gallon	23	Even distribution
Shrub	Salmonberry	<i>Rubus spectabilis</i>			50		2-gallon	50	Low lying, moist areas
Shrub	Nootka rose	<i>Rosa nutkana</i>	55	43	125		2-gallon	223	Even distribution
Shrub	Snowberry	<i>Symphoricarpos albus</i>	55	43	125		2-gallon	223	Even distribution
Shrub	Ocean spray	<i>Holodiscus discolor</i>	60	48	125		2-gallon	233	Even distribution
Shrub	Red Huckleberry	<i>Vaccinium parviflorum</i>	21	16	125		2-gallon	162	Even distribution
Shrub	Red Flowering Currant	<i>Ribes sanguineum</i>	47	35	125		2-gallon	207	Even distribution
Shrub	Red osier dogwood	<i>Cornus stolonifera</i>			52		2-gallon	52	Low lying, moist areas
Shrub	Saskatoon	<i>Amelanchier alnifolia</i>	45	28	20		2-gallon	93	South side of area
Groundcover	Salal	<i>Gaultheria shallon</i>	40	14	80		1-gallon	134	Even distribution
Groundcover	Swordfern	<i>Polystichum munitum</i>	30	13	80		1-gallon	123	Even distribution
Groundcover	Dull Oregon-grape	<i>Mahonia nervosa</i>	42	21	80		1-gallon	143	Even distribution
Groundcover	Kinnikinnick	<i>Arctostaphylos uva-ursi</i>		20			1-gallon	20	South half of area
Aquatic	Common Rush	<i>Juncus effusus</i>				80	1-gallon	80	Pond bench
Aquatic	Hardhack	<i>Spirea douglasii</i>				80	1-gallon	80	Lower pond bank
Aquatic	Slough Sedge	<i>Carex obnupta</i>				80	1-gallon	80	Pond bench
<b>Total Area (m2)</b>			<b>187</b>	<b>137</b>	<b>480</b>	<b>60</b>		<b>864</b>	
<b>Total # of Plants</b>			<b>416</b>	<b>281</b>	<b>1029</b>	<b>240</b>		<b>1966</b>	

\*Treatment Areas:

1. Northern Greenspace within Lots 9 and 10 (suitable for trees, shrubs, and groundcover)
2. Southern Greenspace within Lots 9 and 10 (suitable for only shrubs and groundcover)
3. Parkland Pond Riparian Area (suitable for trees, shrubs, and groundcover)
4. Aquatic Area of Pond Perimeter (suitable for only aquatic plants)

## Cost Estimate

Table 1. Approximate cost of plants (based on Streamside Native Plant wholesale pricing).

Item	Approximate Cost Estimate
Plants (1-gallon)	\$4,620
Plants (2-gallon)	\$15,036
Plants (5-gallon)	\$1,325
Total Cost	\$20,981



**Table 2. Approximate total cost of planting plan (installation and irrigation estimates provided by owner through discussions with the City).**

<b>Item</b>	<b>Approximate Cost Estimate</b>
Plants	\$20,981
Installation	\$20,981
Irrigation	\$5,000
Total Cost	\$46,962

Please let us know if you have any questions or comments about this planting plan.

Yours truly,

**EDI Environmental Dynamics Inc.**

Signed and sealed original on file

Adam Compton, R.P.Bio.  
Senior Biologist/Project Manager