



DEVELOPMENT PERMIT NO. DP001214

TELUS COMMUNICATIONS INC.
Name of Owner(s) of Land (Permittee)

400 FITZWILLIAM STREET
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

LOT 1, SECTION 1, NANAIMO DISTRICT, PLAN 26286
PID No. 002-742-713

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site and Parking Plans
Schedule C Building Elevations and Details
Schedule D Subdivision Plan
Schedule E Landscape Plan and Details

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height for proposed Building A from 14m to 17m and for proposed Building B from 14m to 19m.

CONDITIONS OF PERMIT

1. The subject property is developed in substantial compliance with the Site and Parking Plans prepared by Omicron Architecture Engineering Construction Ltd., dated 2021-AUG-12, as shown on Schedule B.
2. The subject property is developed in substantial compliance with the Building Elevations and Details prepared by Omicron Architecture Engineering Construction Ltd., dated 2020-NOV-19, as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Connect Landscape Architecture, dated 2021-AUG-12, as shown on Schedule E.
4. The subject property is subdivided in substantial compliance with the Subdivision Plan prepared by Omicron Architecture Engineering Construction Ltd., dated, 2021-AUG-12, as shown on Schedule D, prior to building permit application.
5. A Statutory Right-of-Way for the public plaza facing Wallace Street (shown as "Public Terrace" on Schedule E, L1.0) is registered on title prior to building occupancy.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 30TH DAY OF AUGUST, 2021.

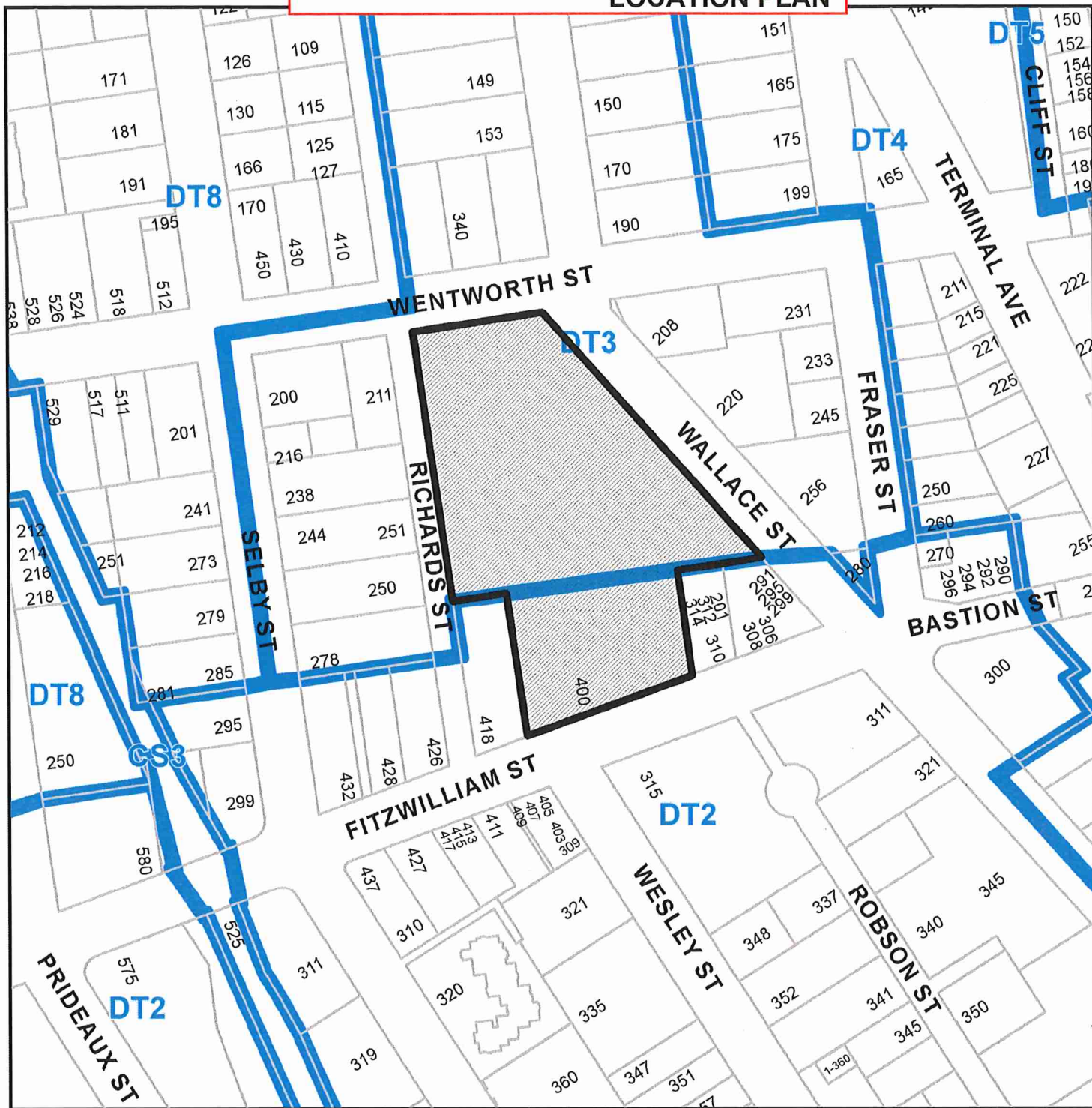

Corporate Officer


Date

CH/In/jr
Prospero attachment: DP001214

Development Permit No. DP001214 Schedule A
400 Fitzwilliam Street

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001214

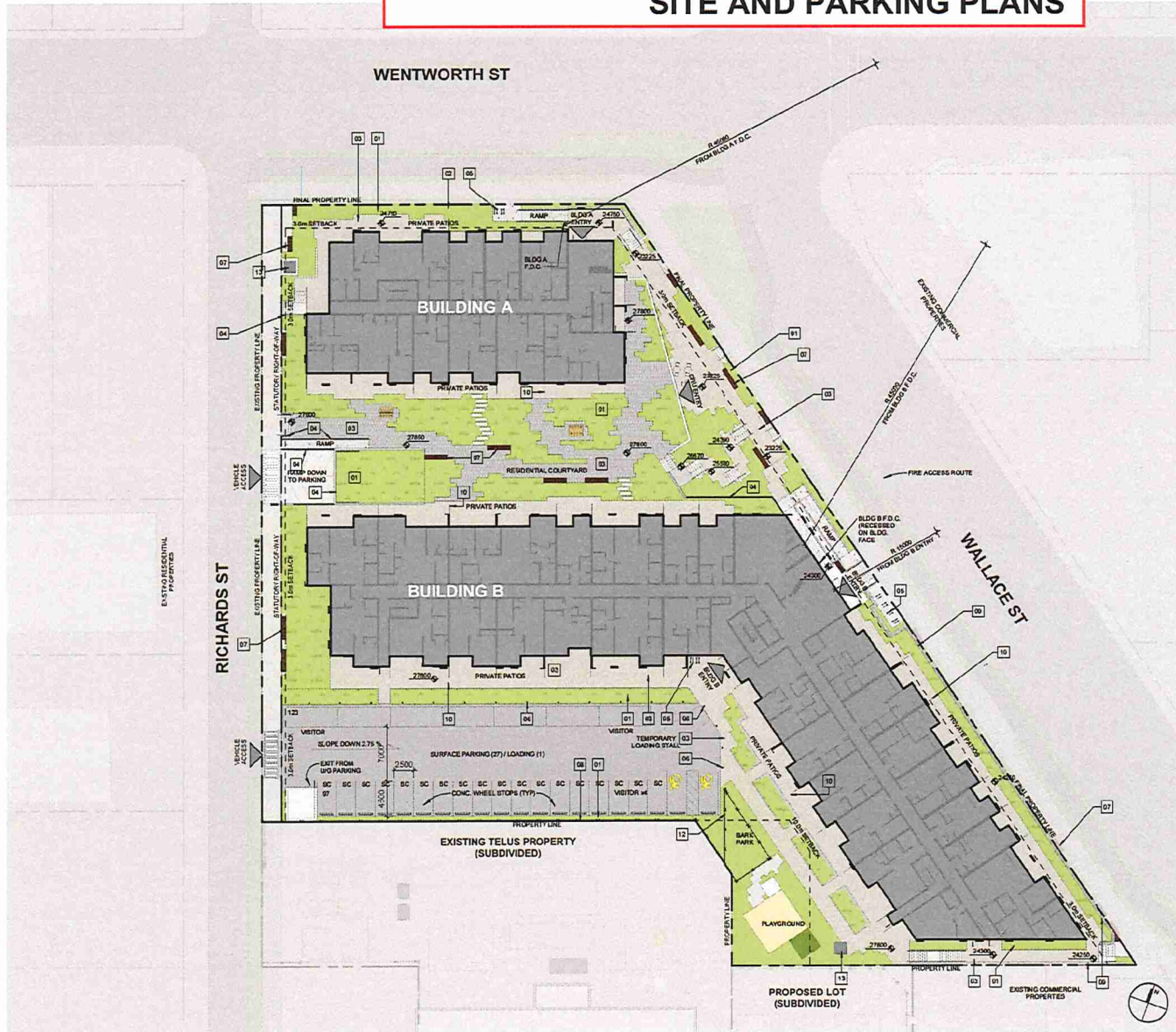
CIVIC: 400 FITZWILLIAM STREET

LEGAL: LOT 1, SECTION 1, NANAIMO DISTRICT, PLAN 26286



Subject Property

SITE AND PARKING PLANS



NOTE:
Off-site frontage layout to be determined through detailed design review at Building Permit stage.

SITE LEGEND

- LANDSCAPED AREA
- CONCRETE SIDEWALK/ APRON (BROOM FINISH)
- PAVERS - SEELANDSCAPE
- ASPHALT PAVING

SITE PLAN KEYNOTES

- 01 LANDSCAPED AREA - REFER TO LANDSCAPE DWGS
- 02 CONCRETE SIDEWALK
- 03 CONCRETE PAVERS
- 04 GUARDRAIL / HANDRAIL
- 05 BIKE RACK - REFER TO LANDSCAPE DWGS
- 06 BOLLARD
- 07 BRUSH
- 08 1.85M HIGH FENCE
- 09 RETAINING WALL
- 10 PRIVACY SCREENS
- 11 SIGNAGE
- 12 1.21M HIGH FENCE
- 13 PAD MOUNTED ELECTRICAL TRANSFORMER



1 | SITE PLAN
SCALE: 1:250

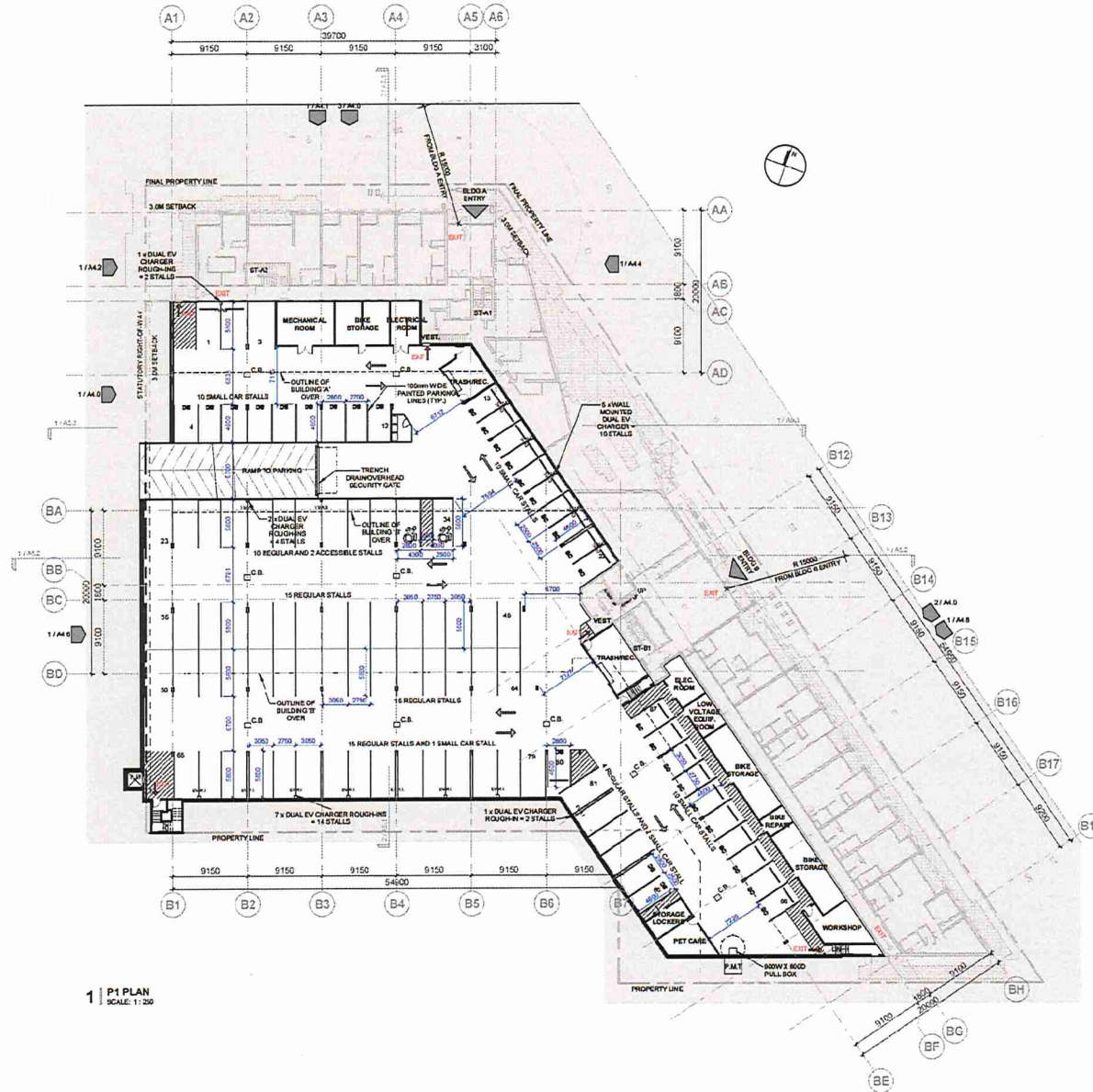


TELUS LIVING - NANAIMO
400 FITZWILLIAM ST. NANAIMO, BC, CANADA

SITE PLAN
SCALE: 1:250 09/12/2021

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DP1214
2021-AUG-13
CITY OF NANAIMO

A1.1a



1 | P1 PLAN
SCALE: 1:200



TELUS LIVING - NANAIMO
400 FITZ WILLIAM ST. NANAIMO BC, CANADA

P1 FLOOR PLAN
SCALE: 1:250 05/12/2021

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A2.0a

ELEVATIONS LEGEND

- 01 WOOD LOOK CEMENTITIOUS SHIP LAP SIDING
- 02 CORRUGATED METAL CLADDING (CHARCOAL)
- 03 ALUMINUM COMPOSITE PANELS, 4mm THICKNESS, WHITE FINISH
- 04 VINYL GLAZ DOORS & WINDOWS, BLACK UV CURE PAINTED FINISH
- 05 POWDER COATED ALUMINUM GUARDRAIL, WHITE FINISH, CLEAR TEMPERED GLASS INFILL
- 06 POWDER COATED ALUMINUM GUARDRAIL, WHITE FINISH, PERFORATED CORRUGATED METAL INFILL
- 07 EXPOSED CONCRETE, NATURAL COLOR, SACK-RUBBED FINISH
- 08 EXPOSED CONCRETE, GREY, BOARD FORM FINISH
- 09 ALUMINUM STORE FRONT, BLACK ANODIZED DOOR & WINDOW FRAMES, CLEAR TEMPERED & ANNEALED GLASS
- 10 BACKLIT ALUMINUM LETTER SIGNAGE
- 11 ROOF PARAPET FLASHING
- 12 CORTEN STEEL



1 | ELEVATION - BUILDING A - WENTWORTH ST
 SCALE: 1:25



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 2023-10-24
 CIVILIAN ENGINEERING



TELUS LIVING - NANAIMO
 400 FITZWILLIAM ST, NANAIMO, BC, CANADA

ELEVATIONS BUILDING A
 SCALE: As indicated 11/19/2020

A4.1

ELEVATIONS LEGEND

- 01 WOOD LOOK CEMENTITIOUS SHIP-LAP SIDING
- 02 CORRUGATED METAL CLADDING (CHARCOAL)
- 03 ALUMINUM COMPOSITE PANELS, 4mm THICKNESS, WHITE FINISH
- 04 VINYL CLAD DOORS & WINDOWS, BLACK UV CURE PAINTED FINISH
- 05 POWDER COATED ALUMINUM QUADRAL, WHITE FINISH, CLEAR TEMPERED GLASS INFILL
- 06 POWDER COATED ALUMINUM QUADRAL, WHITE FINISH, PERFORATED CORRUGATED METAL INFILL
- 07 EXPOSED CONCRETE, NATURAL COLOR, SACK-RUBBED FINISH
- 08 EXPOSED CONCRETE, GREY, BOARD FORM FINISH
- 09 ALUMINUM STOREFRONT, BLACK ANODIZED DOOR & WINDOW FRAMES, CLEAR TEMPERED & ANNEALED GLASS
- 10 BACKLIT ALUMINUM LETTER SIGNAGE
- 11 ROOF PARAPET FLASHING
- 12 CORTEN STEEL



1 | ELEVATION - BUILDING A - RICHARDS ST
SCALE: 1:125

RECEIVED
2023-11-14
Current Planning



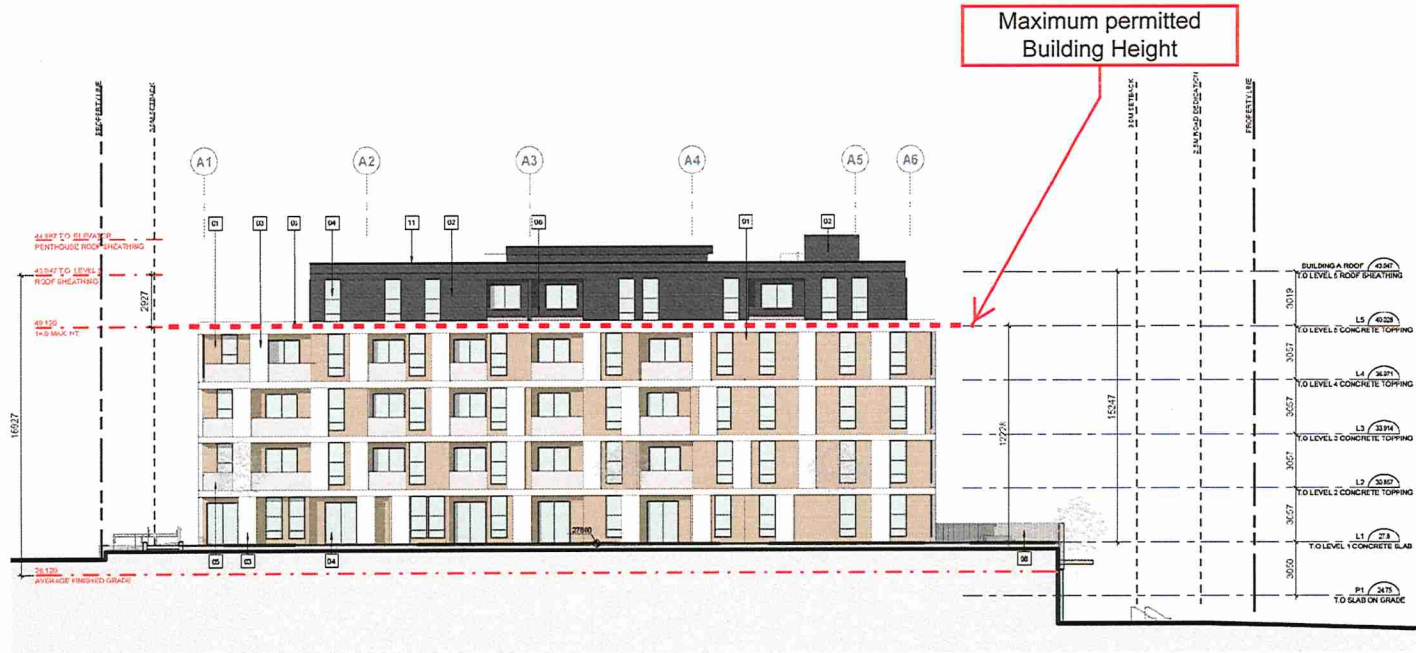
TELUS LIVING - NANAIMO
406 FITZWILLIAM ST. NANAIMO, BC, CANADA

ELEVATIONS BUILDING A
SCALE: As indicated 11/19/2020

A4.2

ELEVATIONS LEGEND

- 01 WOOD LOOK CEMENTITIOUS SHIP-LAP SIDING
- 02 CORRUGATED METAL CLADDING (CHARCOAL)
- 03 ALUMINUM COMPOSITE PANELS, 4mm THICKNESS, WHITE FINISH
- 04 VINYL CLAD DOORS & WINDOWS, BLACK UV-CURE PAINTED FINISH
- 05 POWDER COATED ALUMINUM GUARDRAIL, WHITE FINISH, CLEAR TEMPERED GLASS INFILL
- 06 POWDER COATED ALUMINUM GUARDRAIL, WHITE FINISH, PERFORATED CORRUGATED METAL INFILL
- 07 EXPOSED CONCRETE, NATURAL COLOR, SACK-RUBBED FINISH
- 08 EXPOSED CONCRETE, GREY, BOARD FORM FINISH
- 09 ALUMINUM STOREFRONT, BLACK ANODIZED DOOR & WINDOW FRAMES, CLEAR TEMPERED & ANNEALED GLASS
- 10 BACKLIT ALUMINUM LETTER SIGNAGE
- 11 ROOF PARAPET FLASHING
- 12 CORTEN STEEL



1 | ELEVATION - BUILDING A - COURTYARD
SCALE: 1:125

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CITY OF NANAIMO



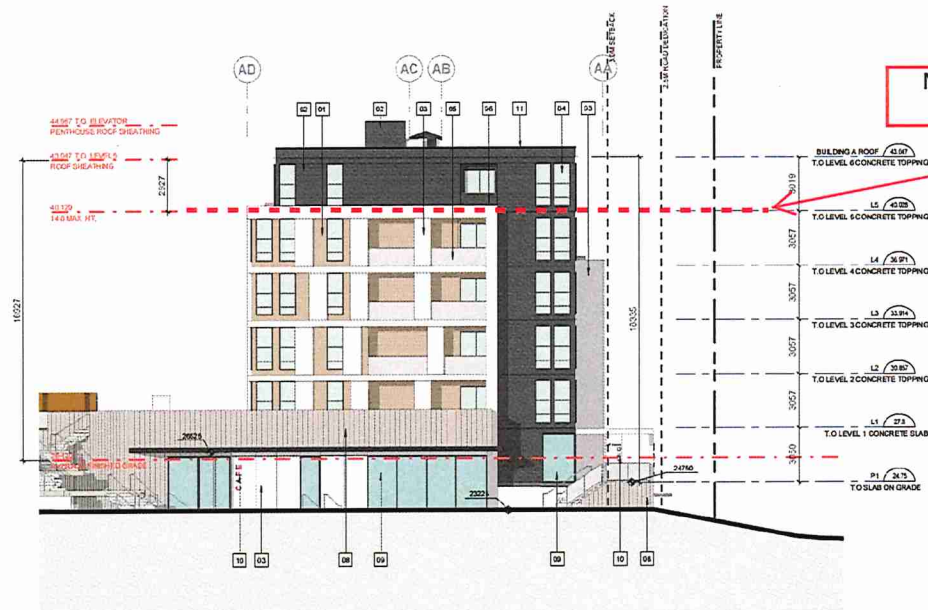
TELUS LIVING - NANAIMO
400 FITZWILLIAM ST. NANAIMO, BC, CANADA

ELEVATIONS BUILDING A
SCALE: As indicated 11/19/2026

A4.3

ELEVATIONS LEGEND

- 01 WOOD LOOK CEMENTITIOUS SHIP LAP SIDING
- 02 CORRUGATED METAL CLADDING (CHARCOAL)
- 03 ALUMINUM COMPOSITE PANELS, 4mm THICKNESS, WHITE FINISH
- 04 VINYL CLAD DOORS & WINDOWS, BLACK UV CURE PAINTED FINISH
- 05 POWDER COATED ALUMINUM GUARDRAIL, WHITE FINISH, CLEAR TEMPERED GLASS INFILL
- 06 POWDER COATED ALUMINUM GUARDRAIL, WHITE FINISH, PERFORATED CORRUGATED METAL INFILL
- 07 EXPOSED CONCRETE, NATURAL COLOR, SACK-RUBBED FINISH
- 08 EXPOSED CONCRETE, GREY, BOARD FORM FINISH
- 09 ALUMINUM STOREFRONT, BLACK ANODIZED DOOR & WINDOW FRAMES, CLEAR TEMPERED & ANNEALED GLASS
- 10 BACKLIT ALUMINUM LETTER SIGNAGE
- 11 ROOF PARAPET FLASHING
- 12 CORTEN STEEL



Maximum permitted Building Height

1 | ELEVATION - BUILDING A - WALLACE ST
SCALE: 1:125

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2024-11-24
2024-NOV-24
Current Planning



TELUS LIVING - NANAIMO
400 FITZ WILLIAM ST. NANAIMO, BC, CANADA

ELEVATIONS BUILDING A
SCALE: As indicated 11/19/2020

A4.4

ELEVATIONS LEGEND

- 01 WOOD LOOK CEMENTITIOUS SHIPLAP SIDING
- 02 CORRUGATED METAL CLADDING (CHARCOAL)
- 03 ALUMINUM COMPOSITE PANELS, 4mm THICKNESS, WHITE FINISH
- 04 VINYL GLAZ DOORS & WINDOWS, BLACK UV CURE PAINTED FINISH
- 05 POWDER COATED ALUMINUM GUARDRAIL, WHITE FINISH, CLEAR TEMPERED GLASS INFILL
- 06 POWDER COATED ALUMINUM GUARDRAIL, WHITE FINISH, PERFORATED CORRUGATED METAL INFILL
- 07 EXPOSED CONCRETE, NATURAL COLOR, SACK-RUBBED FINISH
- 08 EXPOSED CONCRETE, GRAY, BOARD FORM FINISH
- 09 ALUMINUM STOREFRONT, BLACK ANODIZED DOOR & WINDOW FRAMES, CLEAR TEMPERED 6 ANNUALLED GLASS
- 10 BACKLIT ALUMINUM LETTER SIGNAGE
- 11 ROOF PARAPET FLASHING
- 12 CORTEN STEEL



1 | ELEVATION - BUILDING B - GARDEN COURT
SCALE: 1:125

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2020-NOV-24
CITY OF NANAIMO



TELUS LIVING - NANAIMO
400 FITZWILLIAM ST, NANAIMO, BC, CANADA

ELEVATIONS BUILDING B
SCALE: As indicated 11/19/2020

A4.5

ELEVATIONS LEGEND

- 01 WOOD-LOOK CEMENTITIOUS SHIP-LAP SIDING
- 02 CORRUGATED METAL CLADDING (CHARCOAL)
- 03 ALUMINUM COMPOSITE PANELS, 4mm THICKNESS, WHITE FINISH
- 04 VINYL-CLAD DOORS & WINDOWS, BLACK UV-CURE PAINTED FINISH
- 05 POWDER-COATED ALUMINUM GLAZING, WHITE FINISH, CLEAR TEMPERED GLASS INFILL
- 06 POWDER-COATED ALUMINUM GLAZING, WHITE FINISH, POLY-COATED CORRUGATED METAL INFILL
- 07 EXPOSED CONCRETE, NATURAL, COL. OR, SACK-RUBBED FINISH
- 08 EXPOSED CONCRETE, GREY, BOARD FORM FINISH
- 09 ALUMINUM STOREFRONT, BLACK ANODIZED DOOR & WINDOW FRAMES, CLEAR TEMPERED & ANGLUED GLASS
- 10 BACKLIT ALUMINUM LETTER SIGNAGE
- 11 ROOF PARAPET FLASHING
- 12 CORTEN STEEL



1 | ELEVATION - BUILDING B - BACK OF BUILDING
SCALE: 1:125

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30 11 24
2024-NOV-24
CITY OF NANAIMO



TELUS LIVING - NANAIMO
400 FITZ WILLIAM ST. NANAIMO, BC CANADA

ELEVATIONS BUILDING B
SCALE: As indicated 111192326

A4.7



1 | ELEVATION - SITE - RICHARDS ST
SCALE: 1:200



2 | ELEVATION - SITE - WALLACE ST
SCALE: 1:200



3 | ELEVATION - SITE - WENTWORTH ST
SCALE: 1:200

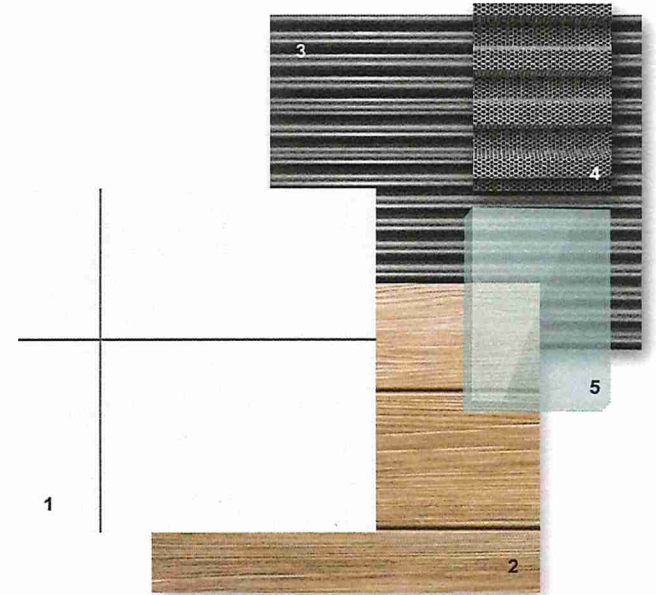
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2020-NOV-24
CITY OF NANAIMO



TELUS LIVING - NANAIMO
400 FITZWILLIAM ST. NANAIMO, BC, CANADA

SITE ELEVATIONS
SCALE: As indicated 11/19/2020

A4.0

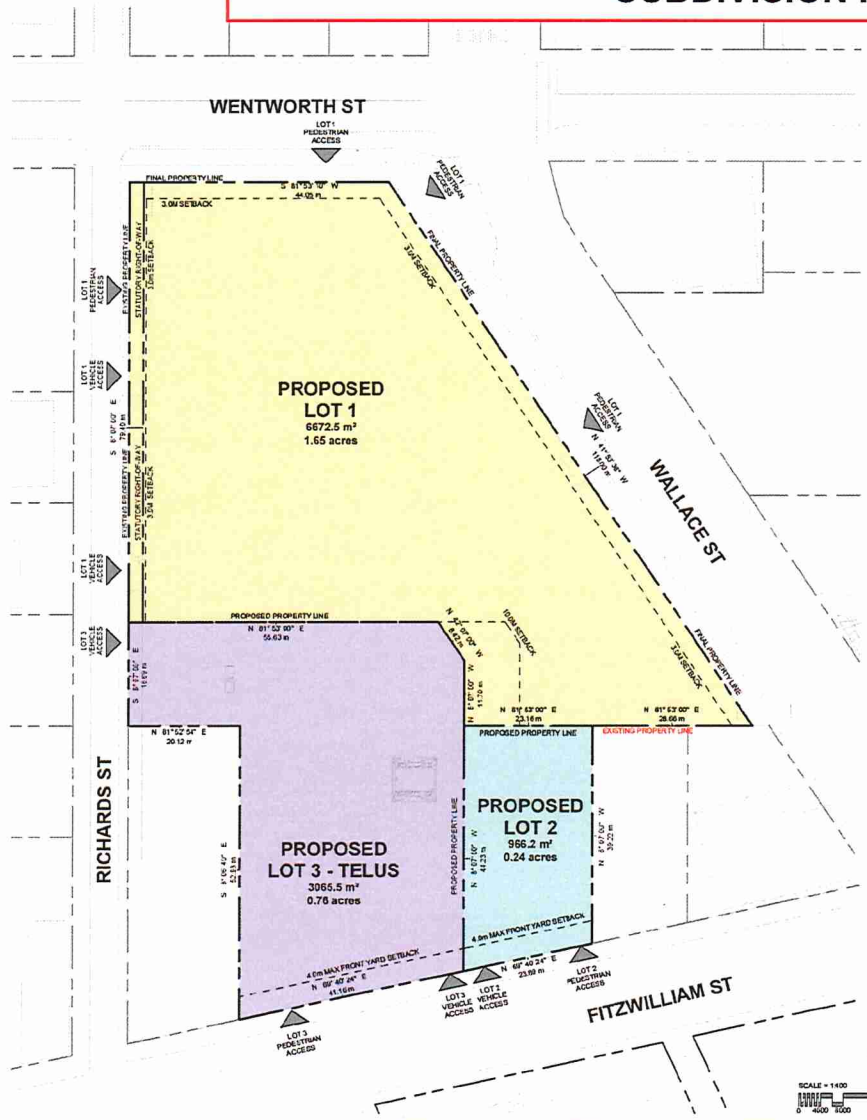


MATERIAL PALETTE

- 1 - WHITE ALUMINUM COMPOSITE PANEL
- 2 - WOOD LOOK SHIPLAP SIDING
- 3 - CORRUGATED METAL CLADDING, PREFINISHED
- 4 - PERFORATED CORRUGATED METAL PANEL
- 5 - GLASS PANEL, CLEAR

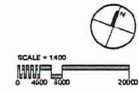
Development Permit No. DP001214 Schedule D
400 Fitzwilliam Street

SUBDIVISION PLAN



1 | PROPOSED LOT SUBDIVISION
SCALE: 1:400

- PROPOSED LOT 1
- PROPOSED LOT 2
- PROPOSED LOT 3 - TELUS



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DP1214
2021-AUG-13



TELUS LIVING - NANAIMO
400 FITZWILLIAM ST. NANAIMO, BC, CANADA

PROPOSED LOT SUBDIVISION
SCALE: 1:400 05/12/2021

A0.7

Development Permit No. DP001214 Schedule E
 400 Fitzwilliam Street
LANDSCAPE PLAN AND DETAILS

DESIGNED LANDSCAPE AND ARCHITECTURE FOR THE DEVELOPMENT OF THE PROJECT. LOCATION AND ELEVATION OF UTILITIES AND/OR STRUCTURES AT THE PROJECT SITE.
 THE DESIGNER IS RESPONSIBLE FOR THE DESIGN OF ALL UTILITIES AND/OR STRUCTURES AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE GOVERNMENT DEPARTMENT OR AGENCIES PRIOR TO CONSTRUCTION.

PROGRAM LEGEND

- 1 CENTRAL COURTYARD
- 2 WALLACE TERRACE
- 3 WALLACE CORNER
- 4 CHILDRENS PLAY
- 5 BARK PARK
- 6 PRIVATE PATIO
- 7 PARKING COURT
- 8 PARKADE ENTRY
- ▲ BUILDING ENTRY

LAYOUT & MATERIALS LEGEND

- CIP CONCRETE
- PAVER TYPE 1
- PAVER TYPE 2
- GRAVEL
- ARTIFICIAL TURF
- FALL SURFACING
- PLANTING
- SOD LAWN
- GUARDRAIL
- 1.5M HT METAL FENCE WITH GATE
- PRIVACY SCREEN
- 1.8M HT SECURITY FENCE
- PICNIC TABLE
- BENCH
- BOULDERS
- BIKE RACK
- BOLLARD
- PUBLIC ART BY OTHERS
- GARBAGE/RECYCLING
- METAL PLANTER



3. REVISIONS FOR DP	21.09.17
2. REVISIONS FOR DP	21.05.20
1. ISSUED FOR REVIEW	21.02.24
1. ISSUED FOR REVIEW	20.10.23

RECEIVED
 DP1214
 2021.AUG.13

TELUS LIVING
 NAIKANO, BC

Scale:	1:150
Drawn:	YL
Reviewed:	KL
Project No:	16-713

LANDSCAPE SITE PLAN

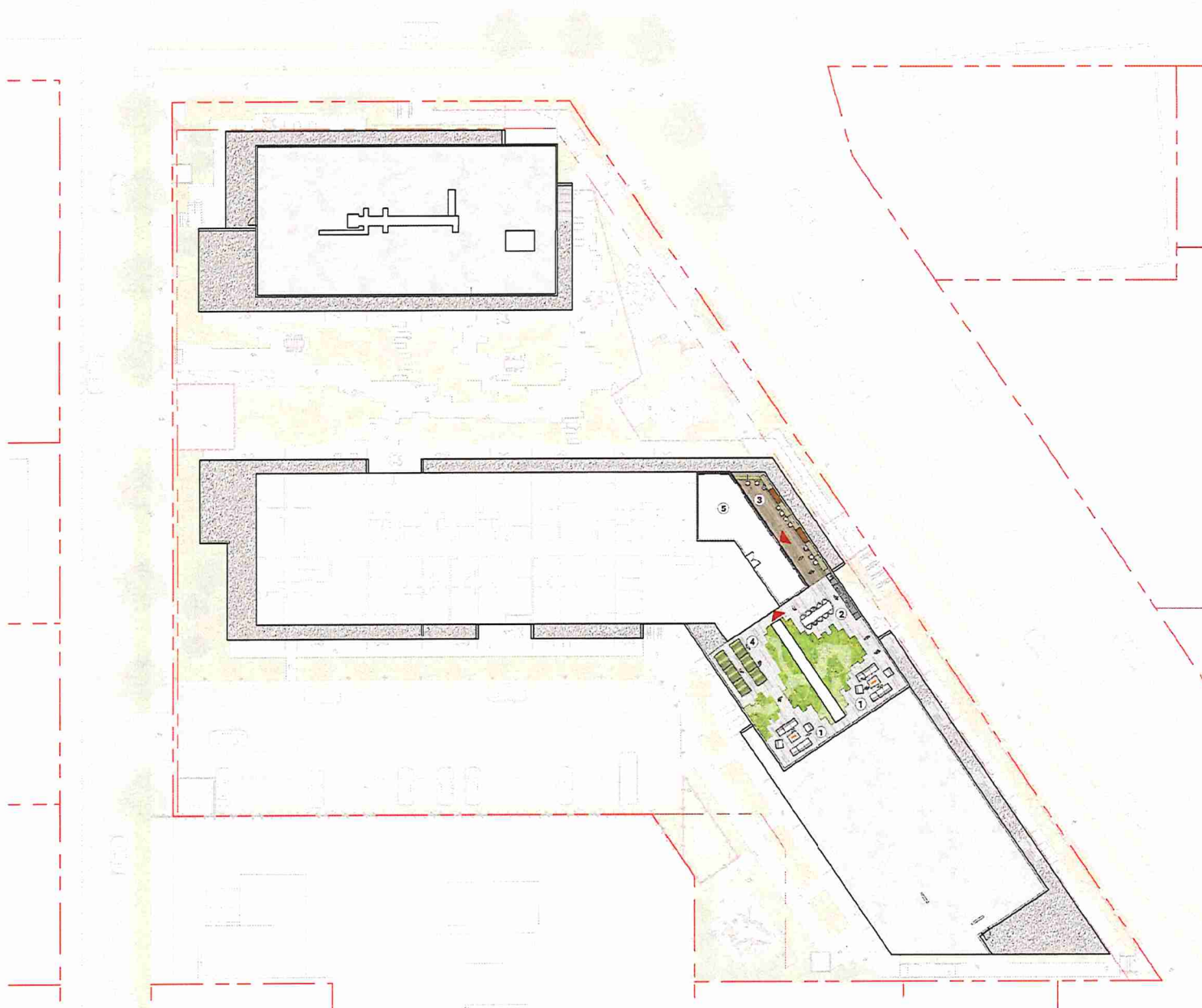


PROGRAM LEGEND - ROOF

- ① SOCIAL LOUNGE
- ② OUTDOOR KITCHEN & DINING
- ③ OUTDOOR WORK BAR
- ④ URBAN AGRICULTURE
- ⑤ AMENITY ROOM
- ▲ BUILDING ENTRY

LAYOUT & MATERIALS LEGEND

- PAVER TYPE 3
- GRAVEL
- WOOD DECK
- PLANTING
- AGRICULTURE PLANTER
- OUTDOOR KITCHEN
- BAR TABLE & STOOLS
- TABLE & CHAIRS
- LOUNGE FURNITURE/ FIRE PIT



4. REVISED FOR EP	21.08.12
3. REVISED FOR DP	21.06.20
2. REVISED FOR REVIEW	21.05.21
1. REVISED FOR REVIEW	20.10.21

RECEIVED
EP 12-14
2021-AUG-13

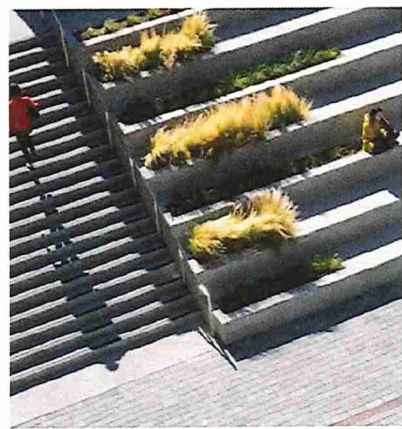
TELUS LIVING
NANAIMO, BC

Scale:	1:150
Drawn:	YL
Reviewed:	KL
Project No:	08-112

**LANDSCAPE
ROOF PLAN**

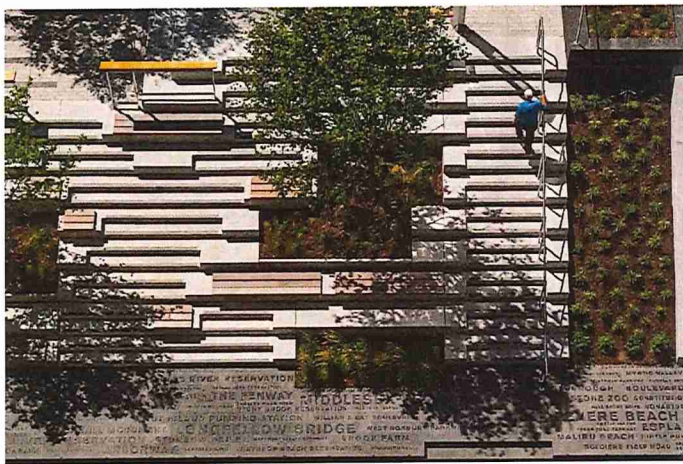
PROGRAM LEGEND

- ① WALLACE CORNER
- ② WALLACE TERRACE
- ③ CLIFF WALK
- ④ ACCESSIBLE RAMP
- ⑤ CENTRAL COURTYARD



LAYOUT & MATERIALS LEGEND

- CIP CONCRETE
- PAVER TYPE 1
- PAVER TYPE 2
- PLANTING
- SOD LAWN
- GUARDRAIL
- PRIVACY SCREEN
- PICNIC TABLE
- BENCH
- BOULDERS
- BIKE RACK
- BOLLARD
- PUBLIC ART BY OTHERS
- GARBAGE/RECYCLING
- METAL PLANTER



3. REVISION FOR DP	21.09.19
2. REVISION FOR DP	21.06.20
2. ISSUED FOR REVIEW	21.02.21
1. ISSUED FOR REVIEW	20.10.21

REVISIONS:

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2021-AUG-13

TELUS LIVING
NANAIMO, BC

Scale:	1/75
Drawn:	TL
Reviewed:	KL
Project No:	06-715

ENLARGEMENT
WALLACE CORNER

PROVIDED BY: VANANIMOUS CONSULTING
TYPE OF LAND: URBAN SITE
WWW.VANANIMOUS.COM

CONTRACT LAYOUT AND PRELIMINARY DESIGN DRAWINGS FOR THE PROJECT. LOCATION AND ELEVATION OF UTILITIES AND/OR CONCRETE STRUCTURES AT THE PROJECT SITE.

THE DRAWINGS BY THE ARCHITECT FOR THE PROJECT ARE FOR INFORMATION ONLY AND ARE NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSES WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
ON-SITE				
		TREES (CONIFER)		
		ABIES GRANDIS	GRAND FIR	
		PINUS CONTORTA VAR. CONTORTA	SHORE PINE	
		PSEUDOTSUGA MENZIESII	DOUGLAS FIR	MIX 3-4M HT., B&B
		THUJA PLICATA	WESTERN RED CEDAR	
		TREES (DECIDUOUS)		
		ACER GIRCINATUM	VINE MAPLE	MIX 2-4M HT. B&B, MULTI-STEM
		ACER CINNABAL FLAME	AMUR MAPLE	
		AMELANCHIER	SERVICEBERRY	
		ARBUTUS MENZIESII	PACIFIC MADRONE	
		BETULA NIGRA	RIVER BIRCH	MIX 3-4M HT. B&B, MULTI-STEM
		CORNUS KOUSA 'MILKY WAY'	KOUSA DOGWOOD	MIX 3-4M HT. B&B, MULTI-STEM
		CORNUS NUTTALLII 'EDDIES WHITE WONDER'	WHITE WONDER DOGWOOD	
		MALUS	PACIFIC CRAB APPLE	
		QUERCUS GARRYANA	GARRY OAK	
		SHRUBS		
		ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY BUSH	#5 POT
		CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	#2 POT
		HAMAMELIS VIRGINIANA	WITCH HAZEL	#3 POT
		MAHONIA NERVOSA	LONGLEAF MAHONIA	#2 POT
		PHYSOCARPUS OPULIFOLIUS 'CENTRE GLOW'	NINEBARK	#2 POT
		POTENTILLA ANSERINA	'PACIFICA' SILVERWEED	#2 POT
		RIBES SANGUINEUM 'KING EDWARD'	RED-FLOWERING CURRANT	#5 POT
		ROSA NOOTKANA	NOOTKA ROSE	#2 POT
		SALIX PURPUREA 'GRACIOS'	ARCTIC WILLOW	#2 POT
		SPRAEA DOUGLASII	HARDHACK	#3 POT
		SYMPHORICARPOS ALBUS CHENAULTII	HANCOCK SNOWBERRY	#2 POT
		VACCINIUM OVATUM	EVERGREEN HUCKLEBERRY	#2 POT
		GROUNDCOVERS		
		ARCTOSTAPHYLOS UVA-URSI	KINNIKINNICK	10 CM 300MM O.C.
		FRAGARIA CHILOENSIS	COASTAL STRAWBERRY	10 CM 300MM O.C.
		GAULTHERIA PROCUMBENS	WINTERGREEN	10 CM 300MM O.C.
		GAULTHERIA SHALLOM	SALAL	10 CM 300MM O.C.
		MAHONIA REPENS	CREeping OREGON GRAPE	#2 POT 600MM O.C.
		PINUS MUGO 'MOPS'	DWARF MUGO PINE	#2 POT 600MM O.C.
		POLYPODIUM GLYCYRRHIZA	LICORICE FERN	#1 POT 450MM O.C.
		POLYSTICHUM MUNITUM	SWORD FERN	#2 POT 450MM O.C.
		SEDUM OREGANUM	OREGON STONECROP	10 CM 300MM O.C.
		SEDUM SPATHULIFOLIUM	BROADLEAF STONECROP	#1 POT 600MM O.C.

SYMBOL	QTY.	BOTANICAL NAME	COMMON NAME	SIZE & SPACING
ON-SITE				
		GRASSES		
		AGROSTIS PALLENS	BENT GRASS	#2 POT 450MM O.C.
		CANDX PANSA	DUNE SEDGE	#2 POT 450MM C.C.
		CAREX TESTACEA 'PRAIRIE FIRE'	PRAIRIE FIRE SEDGE	#2 POT 450MM C.C.
		CAREX TUMULUOLA	BERKELEY SEDGE	#2 POT 450MM C.C.
		FESTUCA GLAUCA / RUBRA	BLUE FESCUE / RED FESCUE	#2 POT 450MM C.C.
		FESTUCA IDAHOENSIS 'SISKIYOU BLUE'	IDAHO FESCUE	#2 POT 450MM C.C.
		FESTUCA OVINA VULGARS	SHEEP'S FESCUE	#2 POT 450MM C.C.
		HELICTROTICHON SEMPERVIRENS	BLUE OAT GRASS	#2 POT 450MM C.C.
		KOELERIA MACRANTHA	JUNE GRASS	#2 POT 450MM C.C.
		MISCANTHUS HANA	MAIDEN-HAIR GRASS	#2 POT 450MM C.C.
		SISYRINCHIUM BELLUM	CALIFORNIA BLUE-EYED GRASS	#2 POT 450MM C.C.
		STIPA TENNUISSIMA	MEXICAN FEATHER GRASS	#2 POT 450MM C.C.
		PERENNIALS / BULBS		
		ALLIUM COLUMBIANUM	TIGER LILY	300MM C.C.
		ANAPHALIS MARGARITACEA	PEARLY EVERLASTING	300MM C.C.
		ARMERIA MARITIMA	COMMON THRIFT	300MM C.C.
		ASTER SUBSPICATUS	DOUGLAS ASTER	300MM C.C.
		BRODIAEA	CLUSTER LILY	300MM C.C.
		CAMASSIA	COMMON CAMAS	300MM C.C.
		ECHINACEA PURPUREA	PURPLE CONE FLOWER	300MM C.C.
		ERYTHRONIUM REVOLUTUM	PNK FAWN LILY	300MM C.C.
		ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY	300MM C.C.
		FRITILLARIA AFFINS	CHECKER LILY	300MM C.C.
		RUDEBECKIA HIRTA	BLACK-EYED SUSAN	300MM C.C.
		OFF-SITE		
		TREES		
		TO CITY OF NANAIMO STANDARD		
		SOD LAWN		
		TO CITY OF NANAIMO STANDARD		

3. REVISIONS FOR DP 21-08-19
 3. REVISIONS FOR DP 21-08-20
 2. ISSUED FOR REVIEW 21-02-21
 1. ISSUED FOR REVIEW 20-10-21




RECEIVED
 DP 1214
 2021-AUG-13

TELLUS LIVING
 NANAIMO, BC

Client: _____
 Design: _____
 Reviewer: _____
 Project No: _____

PLANT PALETTE

PLANTING LEGEND

-  CONIFER TREE
-  DECIDUOUS TREE 1
-  DECIDUOUS TREE 2
-  DECIDUOUS TREE 3
-  OFFSITE TREE
-  SHRUBS
-  GROUNDCOVERS
-  GRASSES / PERENNIALS
-  OFFSITE LAWN

PLANTING NOTES

1. PLANTING SHALL BE IN ACCORDANCE WITH BC LANDSCAPE STANDARD, LATEST EDITION.
2. CONTRACTOR TO LAYOUT TREES FOR APPROVAL BY THE CONSULTANT AND/OR THE CITY OF NANAIMO PRIOR TO COMMENCEMENT OF WORK.
3. ALL UTILITIES ARE TO BE IDENTIFIED AND STAKED OUT BY CONTRACTOR BEFORE CONSTRUCTION. CONFLICTING UTILITIES TO BE PROTECTED BY CONTRACTOR PRIOR TO PLANTING.
4. ALL PLANTING BEDS TO BE MULCHED WITH 2" (50MM) OF ANSWER GARDEN PRODUCTS 'HUMUS BUILDER' OR APPROVED EQUAL.
5. ALL PLANTING AREAS TO RECEIVE IRRIGATION SYSTEM, WITH TIME FIXTURE AND RAIN SENSOR.
6. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION..



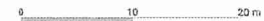
3. RE-ISSUED FOR DP	21.08.17
2. RE-ISSUED FOR DP	21.06.20
7. ISSUED FOR REVIEW	21.02.21
1. ISSUED FOR REVIEW	20.10.21
REVISIONS	

RECEIVED
DIP 12 14
2021-AUG-13

TELUS LIVING

NANAIMO, BC	
Scale:	1:150
Drawn:	YL
Reviewed:	NL
Project No:	95-713

CONCEPTUAL PLANTING PLAN



2250 HURONTARIO ST. SUITE 100 MISSISSAUGA, ONTARIO L4R 1A1
TEL: 905.276.8888 FAX: 905.276.8889
WWW.CONNECT-CA.COM

CONNECT LANDSCAPE ARCHITECTURE IS A REGISTERED PROFESSIONAL CORPORATION. LOCATION AND ELEVATION OF UTILITIES AND/OR GEOTECHNICAL STRUCTURES AT THE PROJECT SITE.

THIS DOCUMENT IS A PRELIMINARY DESIGN. CONSULT WITH THE ARCHITECT AND ENGINEER FOR ALL UTILITIES AND/OR GEOTECHNICAL STRUCTURES. THE ARCHITECT AND ENGINEER SHALL BE RESPONSIBLE FOR OBTAINING THE APPROPRIATE CLEARANCES AND PERMITS FOR ALL UTILITIES AND/OR GEOTECHNICAL STRUCTURES.

MATERIALS & FURNISHING

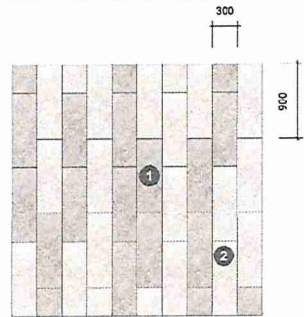
1. BROOM FINISH CONCRETE
2. CONCRETE FORM LINER TEXTURED WALL
3. METAL PLANTER
CORTEN FINISH, HEIGHT VARIES
4. PAVER
DIMENSION VARIES
5. METAL GUARDRAIL
STAINLESS FINISH, W/ CABLE WIRES
6. PRIVACY SCREEN
WOOD SLATS ON METAL FRAME
7. OMEGA SECURITY FENCE
1.8V HT
8. CUSTOMIZED BIKE RACK
CORTEN FINISH
9. HARVEST TABLE
10. BENCH
WOOD W/ CONCRETE BASE
11. GARBAGE/RECYCLING

LIGHTING

- A. BENCH LIGHT
- B. BOLLARD
- C. LIGHT STRIP AT STAIRS



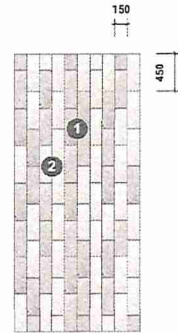
PAVER TYPE 1



CONCRETE PAVER
300mm (11-13/16") x 900mm (35-7/16") x 100mm (3-15/16")

- 1 SHALE GREY
- 2 GREYED NICKEL

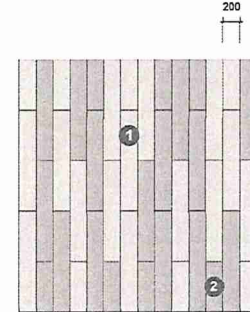
PAVER TYPE 2



CONCRETE PAVER
150mm (5-7/8") x 450mm (17-11/16") x 100mm (3-15/16")

- 1 SHALE GREY
- 2 GREYED NICKEL

PAVER TYPE 3



PORCELAIN TILE W/ SIMULATED WOOD GRAIN
200mm (8") x 1219mm (48") x 20mm (3/4")

- 1 FINISH TYPE 1
- 2 FINISH TYPE 2



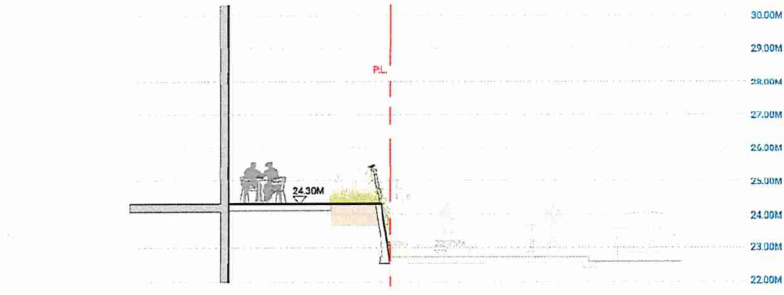
3. RE-ISSUED FOR DP	21-08-12
3. RE-ISSUED FOR DP	21-05-20
2. ISSUED FOR REVIEW	21-02-24
1. ISSUED FOR REVIEW	20-10-25
REVISING	

RECEIVED
DP 1214
2021-AUG-13

TELLUS LIVING
NASSAU, BC

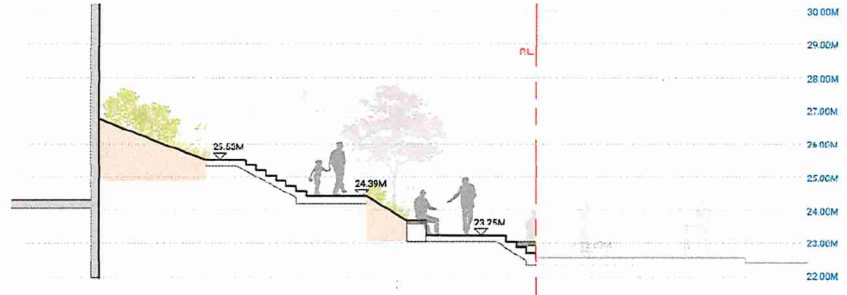
Date:	
Drawn:	YL
Reviewed:	KL
Project No:	05-755

MATERIALS & FURNISHING PALETTE



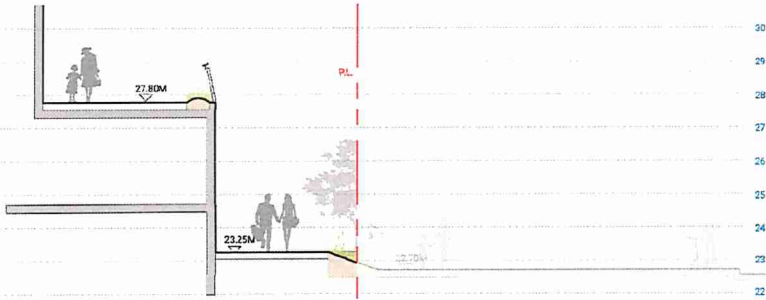
A

BUILDING 3 M PRIVATE PATIO 2.3 M WALL & PLANTING 2.3 M SIDEWALK 0.8 M BLVD 2.3 M BIKE PATH WALLACE ST



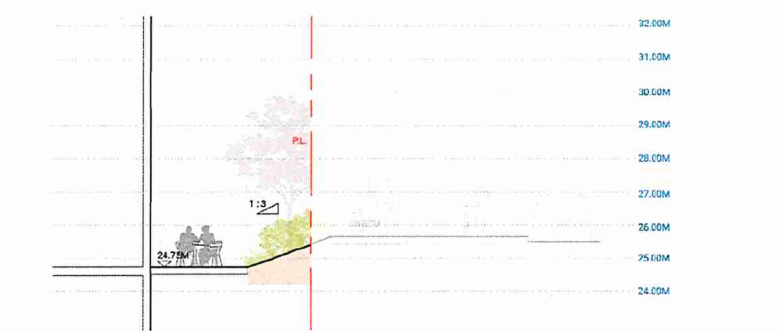
B

BUILDING 3.2 M PLANTED SLOPE 4.8 M CLIFF WALK STAIRS 1.2 M PLANTING UPPER TERRACE 3 M SEAT WALL & STAIRS 1.5 M SIDEWALK 2.4 M BLVD 2.4 M BIKE PATH WALLACE ST



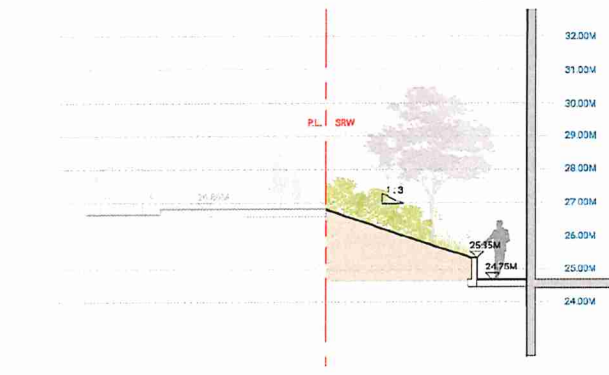
C

UPPER COURTYARD 3.4 M UPPER TERRACE 1.5 M SEAT WALL & PLANTED SLOPE 2.4 M SIDEWALK 6.5 M BLVD 1.8 M BIKE PATH WALLACE ST



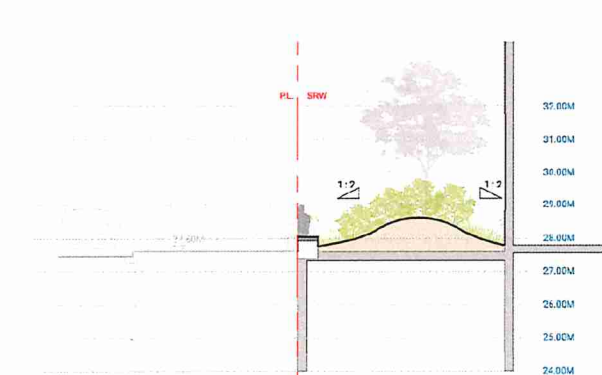
D

BUILDING 2.9 M PRIVATE PATIO 2.5 M PLANTED SLOPE 2.3 M SIDEWALK 0.8 M BLVD 2.2 M BIKE PATH 0.6 M BLVD WENTWORTH ST



E

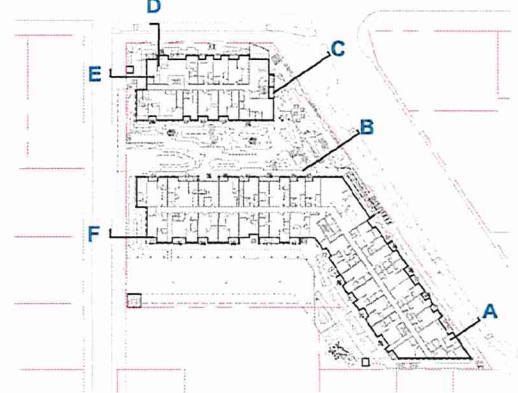
RICHARDS ST 2.4 M BLVD 2.5 M SIDEWALK 4.5 M PLANTED SLOPE 1.5 M PAVED PATH BUILDING



F

RICHARDS ST 2.4 M BLVD 2.5 M SIDEWALK 0.5 M BENCH 6.2 M PLANTED SLOPE BUILDING

KEY PLAN

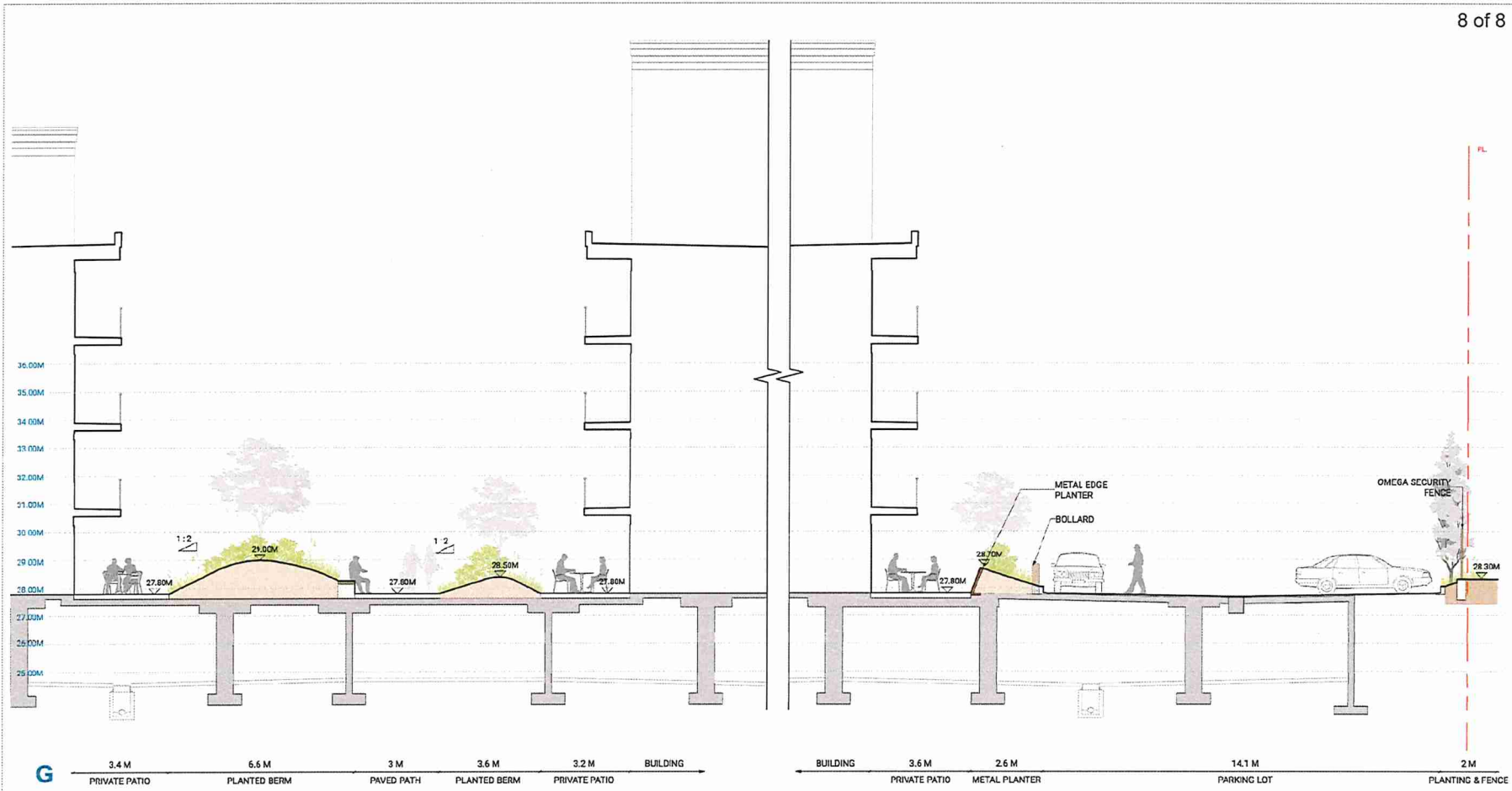


- 3. REVISIONS FOR DP 21.08.12
- 2. REVISIONS FOR DP 21.06.20
- 1. ISSUED FOR REVIEW 21.02.24
- 1. ISSUED FOR REVIEW 20.10.23

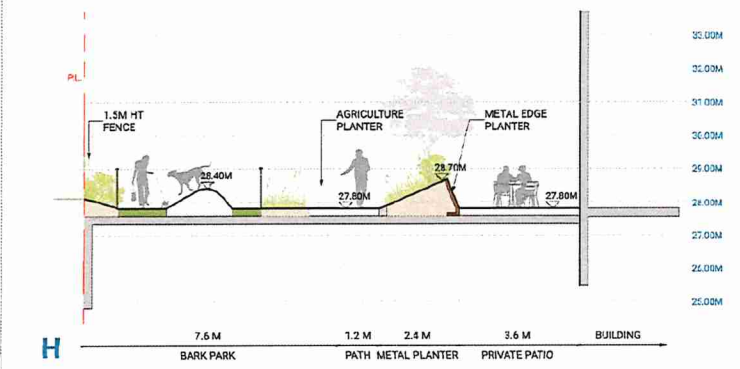
RECEIVED
DP 1214
2021-AUG-13

TELLUS LIVING
NPR/MARC, DC
Scale: 1:50
Drawn: YL
Reviewed: KL
Project No: 06-713

SECTIONS



G



H

KEY PLAN



3. REDESIGNED FOR DP	21-09-12
2. REDESIGNED FOR DP	21-05-20
1. ISSUED FOR REVIEW	21-02-24
1. ISSUED FOR REVIEW	20-10-22
REVISIONS	

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TELUS LIVING
NANAIMO, BC

Name: 150
Drawn: YL
Reviewed: KL
Project No: 26-715

SECTIONS