



DEVELOPMENT PERMIT NO. DP001210

RUTHERFORD HOUSE NOMINEE LTD.

Name of Owner(s) of Land (Permittee)

6030 LINLEY VALLEY DRIVE

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

LOT 3, DISTRICT LOT 30, WELLINGTON DISTRICT, PLAN EPP99504

PID No. 031-084-991

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site and Parking Plans
Schedule C Building Elevations and Materials
Schedule D Landscape Plan and Details
Schedule E Amenity Requirements for Additional Density

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 9.7.1 – Size of Buildings* – to increase the maximum allowable building height for:
 - Building B from 14.0m to 16.2m; and
 - Building C from 14.0m to 16.0m.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the proposed Site and Parking Plans prepared by WA Architects., dated 2021-JUN-16, as shown on Schedule B.
2. The development is in substantial compliance with the proposed Building Elevations and Materials prepared by WA Architects., dated 2021-JUL-07, as shown on Schedule C.
3. The subject property is developed in substantial compliance with the proposed Landscape Plan and Details prepared by Lombard North Group., dated 2021-JUL-06, as shown on Schedule D.
4. The subject property is developed in accordance with the 'Schedule D – Amenity Requirements for Additional Density' prepared by WA Architects Ltd., dated 2021-JUL-07, as shown in Schedule E, and is to include the following items:
 - A letter from the coordinating professional submitted prior to Building Permit issuance outlining how the required items for additional density will be achieved; and
 - A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.
5. A statutory right-of-way is secured for public art to be located near the intersection of Linley Valley Drive and Turner Road, generally in the location shown on Schedule B, to be registered prior to building occupancy.

AUTHORIZING RESOLUTION PASSED
BY COUNCIL THE 26TH DAY OF JULY, 2021.

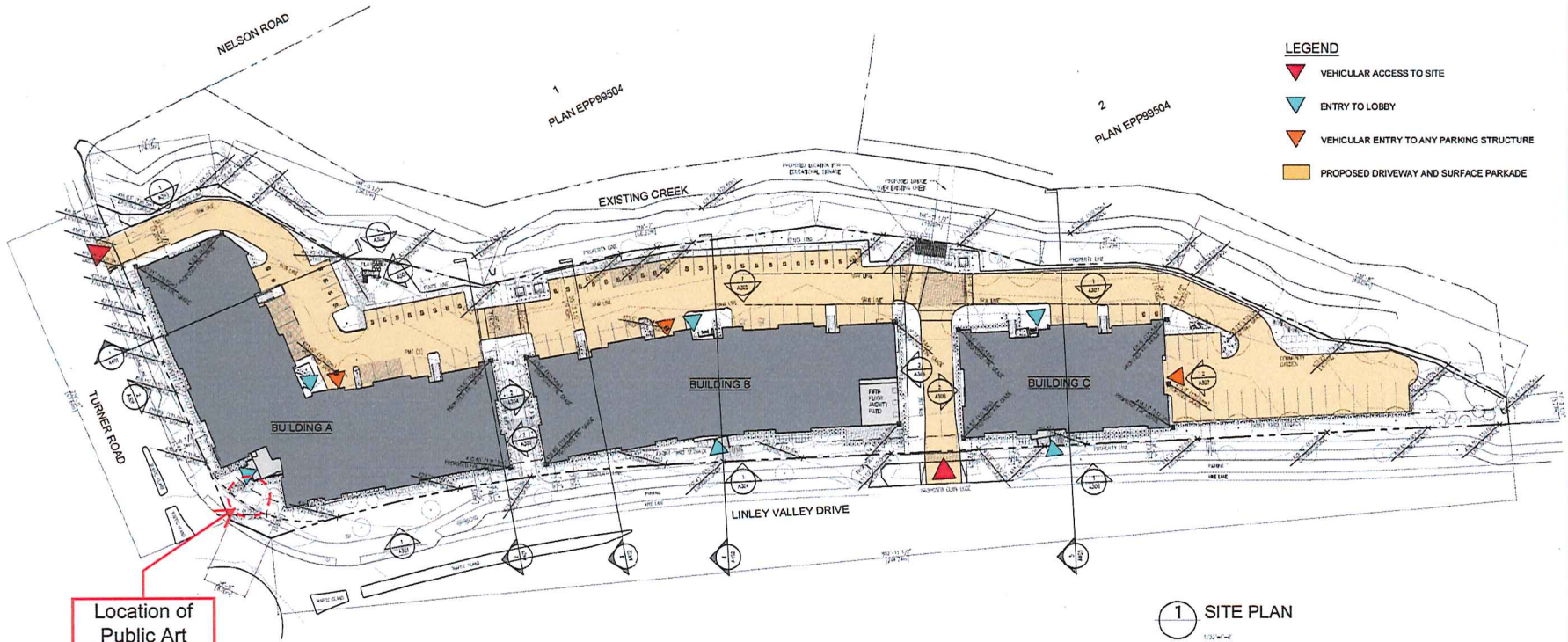


Corporate Officer



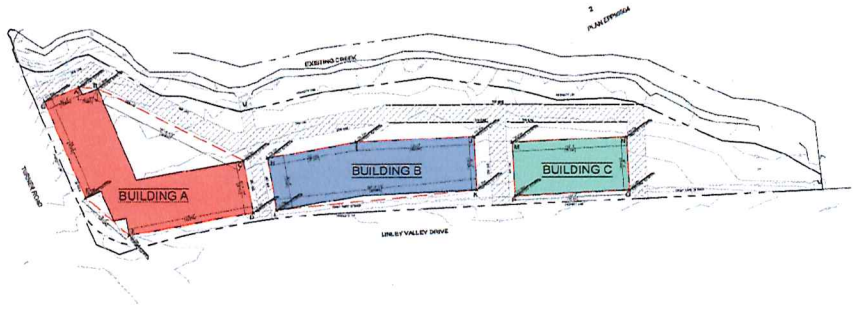
Date

Development Permit No. DP001210 Schedule B
 6030 Linley Valley Drive
SITE AND PARKING PLANS



- LEGEND**
- VEHICULAR ACCESS TO SITE
 - ENTRY TO LOBBY
 - VEHICULAR ENTRY TO ANY PARKING STRUCTURE
 - PROPOSED DRIVEWAY AND SURFACE PARKADE

1 SITE PLAN



2 AVERAGE GRADE CALCULATIONS

BUILDING A					
AD	127.62	+	127.9	/	2 x 6.48 = 132.9
BC	127.6	+	129.35	/	2 x 56.4 = 7248.8
CD	128.15	+	131.2	/	2 x 18.71 = 2105.6
DE	131.2	+	132	/	2 x 43.67 = 5747.0
EF	132	+	133.5	/	2 x 20.12 = 2650.8
FG	131.5	+	127.9	/	2 x 36.27 = 4704.2
GA	127.6	+	127.02	/	2 x 12.9 = 1568.1
TOTAL					138.16 17907.3
AVERAGE FINISHED GRADE					129.6

BUILDING B					
HI	129.2	+	129.55	/	2 x 31.35 = 4077.5
IJ	129.55	+	129.8	/	2 x 40.67 = 5273.9
JK	129.8	+	131.9	/	2 x 18.09 = 2465.6
KL	131.5	+	131.2	/	2 x 69.56 = 5125.6
LJ	131.2	+	129.1	/	2 x 18.09 = 2434.4
TOTAL					378.96 23861.9
AVERAGE FINISHED GRADE					130.5

BUILDING C					
MR	130.4	+	129.59	/	2 x 39.79 = 5186.0
NO	129.59	+	129.4	/	2 x 18.09 = 2465.6
OP	129.4	+	131.9	/	2 x 39.75 = 5193.3
PM	131.9	+	130.4	/	2 x 18.09 = 2434.4
TOTAL					116.88 15230.9
AVERAGE FINISHED GRADE					130.3

NOTE:
 Off-site frontage layout to be determined through detailed design review at Building Permit stage.

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OWNER/CLIENT:

GENERAL NOTES:

NO.	ISSUE	DATE
01	ISSUED FOR 3P COMPREHENSIVE LT RESPONSE	27/06/21
02	ISSUED FOR 3P COMMENT RESPONSE	27/06/21
03	ISSUED FOR DEVELOPMENT PERMIT	29/06/21
04	ISSUED FOR PRE-APPLICATION MEETING	29/06/21
05	FOR REVIEW SET	29/06/21



CONSULTANT: 2021-06-16



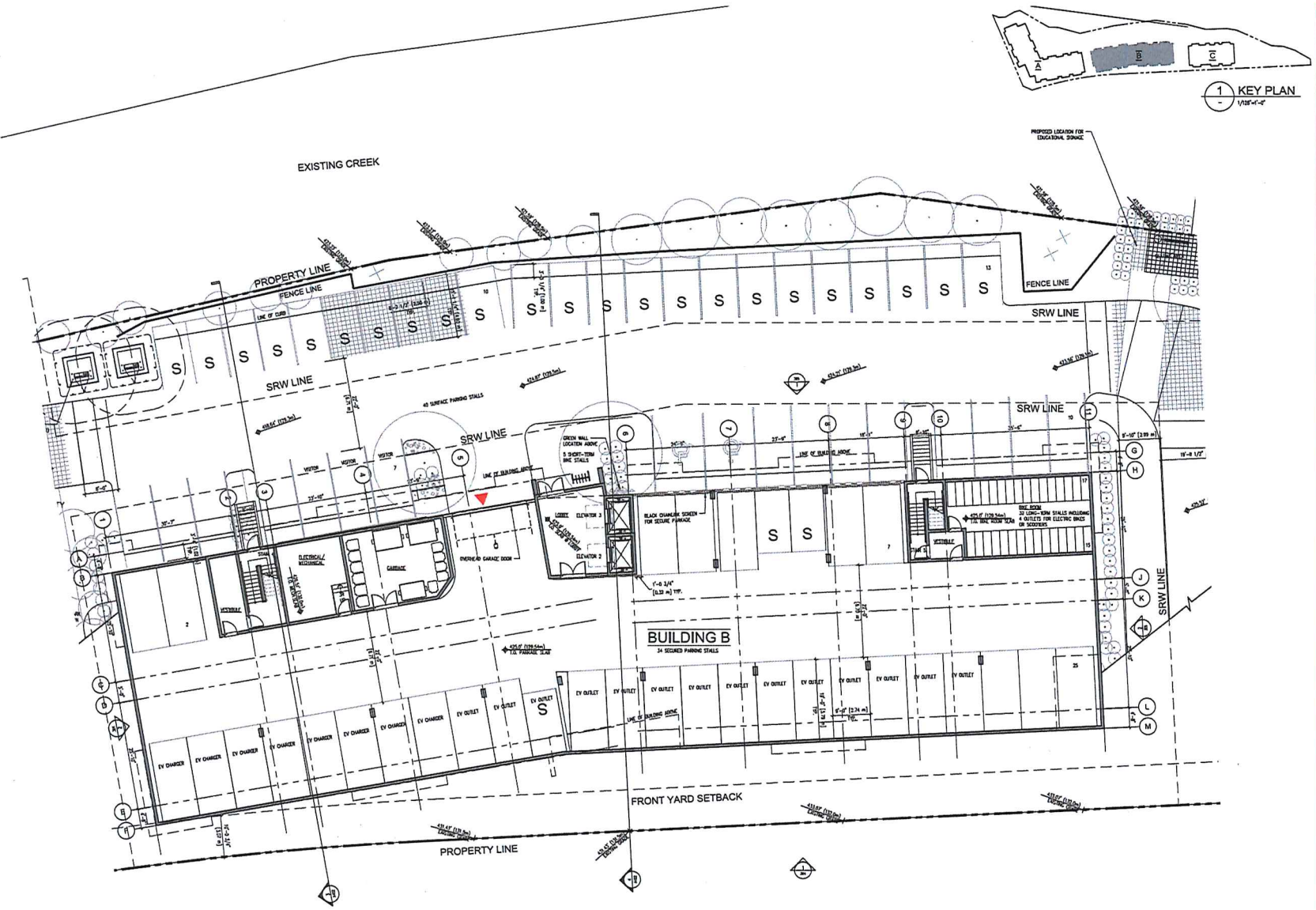
100-351-1444 Alberni Street Vancouver, V6G 2P6
 604-214-3212 Greater Victoria, V8B 2J8
 604-883-2123 office@iwaarch.ca | www.iwaarch.ca

PROJECT NAME:
RUTHERFORD HOUSING
 RECEIVED
DP1210
 2021-JUN-16
Building Permits

PROJECT ADDRESS:
 6030 LINLEY VALLEY DRIVE
 NANAIMO, B.C.

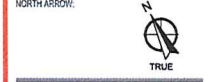
DRAWING TITLE:
SITE PLAN

PROJECT NO: 20003 DRAWN BY: AM
 SCALE: AS NOTED REVIEW BY: DEM
 DIVG NO: A1.01



1 PARKADE PLAN
A205 3/25/17-17

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OWNER/CLIENT:

GENERAL NOTES:

01	ISSUED FOR DP COMPREHENSIVE LT RESPONSE	21/06/16
02	ISSUED FOR DP COMPREHENSIVE RESPONSE	21/06/16
03	ISSUED FOR DEVELOPMENT PERMITS	20/06/16
04	ISSUED FOR PRE-APPLICATION MEETING	20/06/16
05	DP REVIEW SET	20/06/16
NO.	ISSUE	DATE
06		11/07/17

CONSULTANT:



1001 - 1004 Alberni Street Vancouver, V6G 2Z6
 100 - 2212 Keele Street Victoria, V8K 2G8
 604.686.2123 | office@iwaarch.ca | www.iwaarch.ca

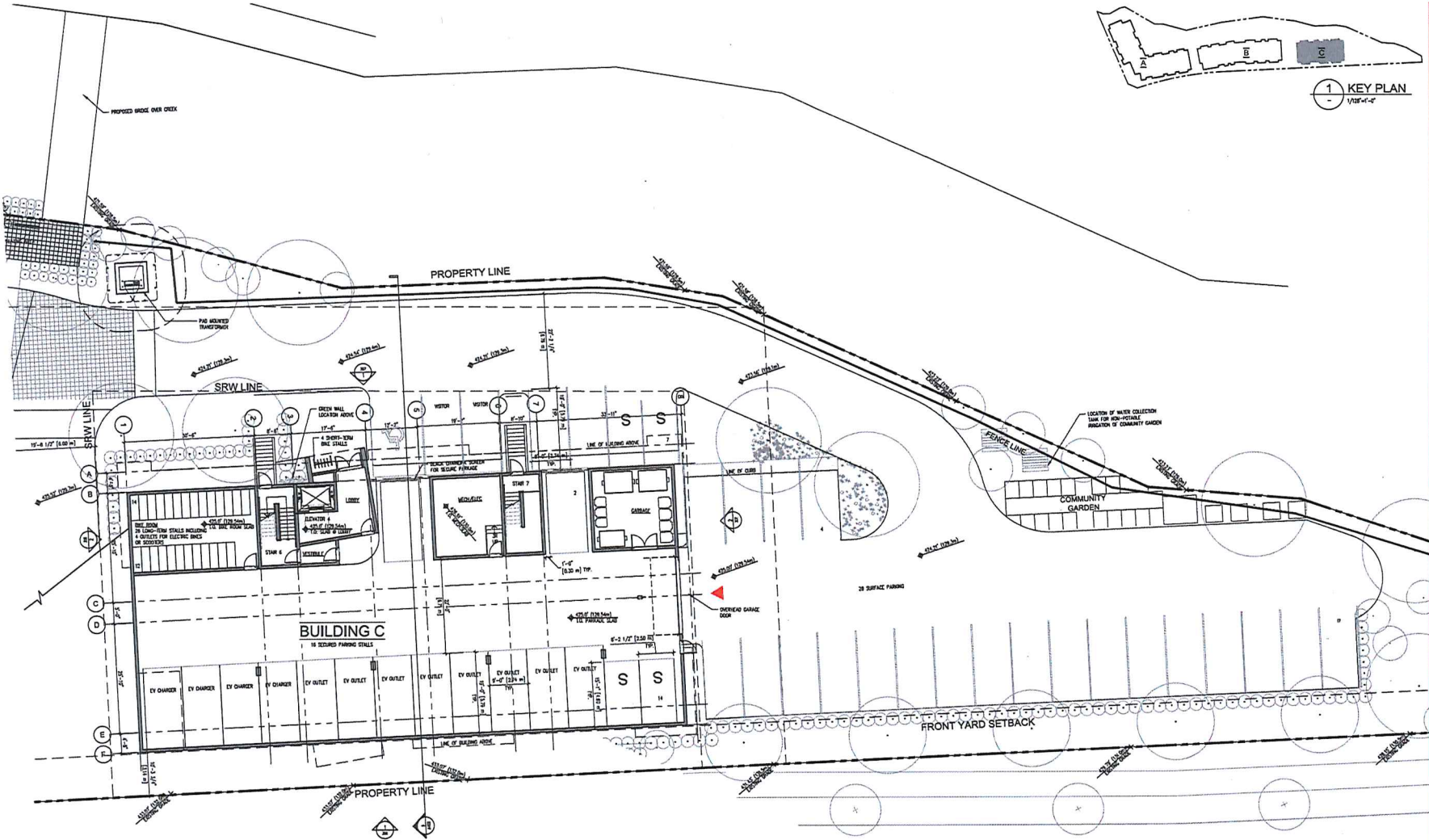
PROJECT NAME:
RUTHERFORD HOUSING

PROJECT ADDRESS:
 6030 LINLEY VALLEY DRIVE
 VANANCO, B.C.

DRAWING TITLE:
**BUILDING B
 PARKADE LEVEL**

PROJECT NO. 20033 DRAWN BY: AAM
 SCALE: 3/32"=1'-0" REVIEW BY: DEM
 DWG NO. A2.05

RECEIVED
DP1210
 2021-JUL-09
 Consultant Planning



1 PARKADE PLAN
1/8"=1'-0"

1 KEY PLAN
1/8"=1'-0"

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OWNER/CIENT:

GENERAL NOTES:

NO.	ISSUE	DATE
01	ISSUED FOR CONCEPTUAL UT RESPONSE	21/09/20
02	ISSUED FOR GAP CONCEPT RESPONSE	25/09/20
03	ISSUED FOR DEVELOPMENT PERMITS	28/09/20
04	ISSUED FOR PRE-APPLICATION MEETING	29/09/20
05	ISSUED FOR REVIEW SET	29/09/20
NO.	ISSUE	DATE
01	ISSUED FOR CONCEPTUAL UT RESPONSE	21/09/20

CONSULTANT:

IWA ARCHITECTS

1144 Albert Street Vancouver, V6C 2Z4
 101 - 5212 Jackson Road Victoria, V8S 2G6
 604.684.3533 office@iwaarch.com | www.iwaarch.com

PROJECT NAME:

RUTHERFORD HOUSING

PROJECT ADDRESS:

6500 LINLEY VALLEY DRIVE
 VANANCO, B.C.

DRAWING TITLE:

**BUILDING C
 PARKADE LEVEL**

PROJECT NO: 20033 DRAWN BY: AAM
 SCALE: 3/32"=1'-0" REVIEW BY: DEM
 DWG NO: **A2.10**

RECEIVED
DP1210
 2021-JUL-09
 Concept Planning



1 SOUTH ELEVATION
(facing Linley Valley Drive)



2 WEST ELEVATION
(facing Turner Road)



3 SOUTH-WEST CORNER VIEW

MATERIAL LEGEND

- 1 WHITE PINK PANE
- 2 DARK BRONZE COGNACATED METAL PANEL
- 3 CARBONIZED ALUMINUM COMPOSITE MONO PANEL
- 4 WOOD-GRAIN LAMINATE CLADDING
- 5 RED PANEL CLADDING
- 6 BLUE PANEL CLADDING
- 7 RED PANEL CLADDING
- 8 METAL CLADDING WITH BRONZE FINISH
- 9 GRAY CLADDING
- 10 BUILDING FINISHES - CONCRETE OVER
- 11 CONCRETE FINISHES - CORE
- 12 FINE CITY BRICK CLADDING
- 13 CAP CLADDING - CLEAN FINISH
- 14 BRICK CLADDING

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NORTH ARROW

OWNER/CLIENT:

GENERAL NOTES:

NO.	ISSUE	DATE
06	REVIEW FOR IMPROVING UT RESPONSE	7/15/21
04	ISSUED FOR SUP CONTRACT RESPONSE	7/12/21
03	ISSUED FOR DEVELOPMENT PERMIT	7/12/21
02	ISSUED FOR PRE-APPLICATION MEETING	7/12/21
01	DP REVIEW SET	7/12/21



CONSULTANT:

2021-07-07



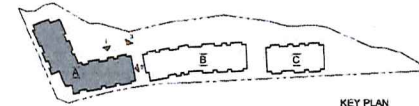
1111 311 - 1444 Alberni Street Vancouver, BC V6Z 2Z4
604 688-3373 | office@iwa-arch.ca | www.iwa-arch.ca

PROJECT NAME:
RUTHERFORD HOUSING
RECEIVED
DP1210
2021-JUL-08
CONTRACT NUMBER

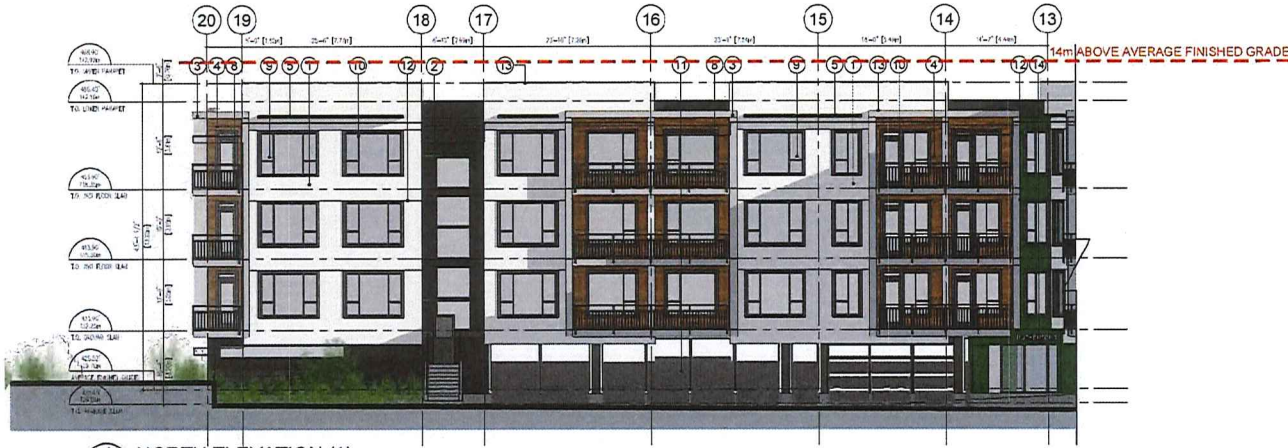
PROJECT ADDRESS:
6030 LINLEY VALLEY DRIVE
NANAIMO, B.C.

DRAWING TITLE:
ELEVATIONS
BUILDING A

PROJECT NO: 2003 DRAWN BY: AHM
SCALE: AS NOTED REVIEWED BY: DSM
DWG NO: A3.01



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NORTH ARROW



1 NORTH ELEVATION (1)

KEY PLAN
1/13/21/10'

MATERIAL LEGEND

- 1 WHITE CONCRETE PANEL
- 2 DARK CHARCOAL COGNACATED METAL PANEL
- 3 POLISHED, REFINISHED COGNACATED METAL PANEL
- 4 BROWNISH GREY WOOD CLADDING
- 5 BROWN PANEL CLADDING
- 6 GREY PANEL CLADDING
- 7 RED PANEL CLADDING
- 8 METAL CLADDING - HORIZONTAL FINISH
- 9 SEAM CLADDING
- 10 METAL CLADDING - VERTICAL FINISH
- 11 BRASS FINISH - GATE
- 12 BRASS FINISH - PANELING
- 13 DARK FINISHING - CLADDING TO MATCH
- 14 METAL FINISH

CLIENT/CLIENT:

GENERAL NOTES:

NO.	ISSUE	DATE	BY
05	ISSUED FOR IF CONSULTING LT RESPONSE	2/23/21	
04	ISSUED FOR DAY COMMENT RESPONSE	2/10/21	
03	ISSUED FOR EQUIPMENT POINT	2/10/21	
02	ISSUED FOR PRE-APPLICATION MEETING	2/10/21	
01	ISSUED FOR REVIEW SET	2/10/21	

SCALE: 1/4"=1'-0"



CONSULTANT:
2021-07-07



PROJECT NAME:
RUTHERFORD HOUSING

PROJECT ADDRESS:
6630 LINLEY VALLEY DRIVE
NANAIMO, B.C.

DRAWING TITLE:
ELEVATIONS
BUILDING A

PROJECT NO: 2003 DRAWN BY: AAM
SCALE: AS NOTED REVIEWED BY: DSM
DWG NO: A3.02

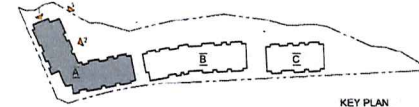


2 EAST ELEVATION (1)



3 NORTH-EAST CORNER VIEW

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2021-JUL-08



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NORTH ARROW



1 NORTH ELEVATION (2)
4303 1/1625=1'0"



3 NORTH-EAST CORNER VIEW
4303 1/1625=1'0"



2 EAST ELEVATION (2)
4303 1/1625=1'0"

MATERIAL LEGEND

- 1 WHITE CONCRETE PANEL
- 2 DARK CHARCOAL COLOURED METAL PANEL
- 3 SILVERED ALUMINIUM COLOURED METAL PANEL
- 4 WOODGRAIN LAMINATE PANEL FINISH
- 5 GREEN PANEL FINISH
- 6 BLUE PANEL FINISH
- 7 RED PANEL FINISH
- 8 METAL CHARCOAL FINISH FINISHING
- 9 CLEAR GLASS
- 10 ANGLE ANCHOR FINISHING - STAINLESS STEEL
- 11 STAINLESS FINISHING - STEEL
- 12 FINE-TAN METAL FINISHING
- 13 W/ FINISHING - LIGHTER TON WATER
- 14 PUBLIC SERVICE

OWNER/CLIENT:

GENERAL NOTES:

66	ISSUED FOR BY CONSTRUCTION SET REVIEW	20/07/21
67	ISSUED FOR FOR COMMENT RESPONSE	27/07/21
68	ISSUED FOR DEVELOPMENT POINT	28/07/21
69	ISSUED FOR PRE-APPLICATION MEETING	28/07/21
70	ISSUED FOR REVIEW SET	28/07/21
NO	ISSUE	11/08/21



CONSULTANT:
2021-07-07



PROJECT NAME:
RUTHERFORD HOUSING

PROJECT ADDRESS:
650 LINLEY VALLEY DRIVE
NANAIMO, B.C.

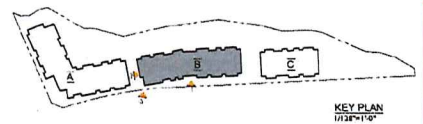
DRAWING TITLE:
**ELEVATIONS
BUILDING A**

PROJECT NO: 2003 DRAWN BY: AAM
SCALE: AS NOTED REVIEWED BY: DEM
DWG NO: A3.03

RECEIVED
DP1210
2021-JUL-08

MATERIAL LEGEND

1 WHITE CERAMIC TILE	7 RED PANEL CLADDING	13 FAP FINISHING - COLOUR TO MATCH
2 WHITE CERAMIC COGNACATED METAL PANEL	8 METAL TRIMMED FINISHED CERAMIC	14 BUILDING SKIN
3 COGNACATED METAL PANEL	9 BROWN CLADDING	
4 BROWN CERAMIC TILE CLADDING	10 FULL HEIGHT FINISHING - INTERIORS ONLY	
5 GREEN PANEL CLADDING	11 REDWOOD FINISHING - GOLF	
6 BLUE PANEL CLADDING	12 BLUE TRIM PANEL FINISHING	



1 SOUTH ELEVATION
(facing Linley Valley Drive)



2 WEST ELEVATION



3 SOUTH-WEST CORNER VIEW

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OWNER/CLIENT:

GENERAL NOTES:

NO.	REVISION	DATE
01	ISSUE FOR PERMITS	20/06/21
02	ISSUE FOR PRE-APPLICATION MEETING	24/06/21
03	ISSUE FOR CONCEPT RESPONSE	27/06/21
04	ISSUE FOR PERMITS RESPONSE	27/06/21
05	ISSUE FOR PERMITS RESPONSE	27/06/21
06	ISSUE FOR PERMITS RESPONSE	27/06/21
07	ISSUE FOR PERMITS RESPONSE	27/06/21
08	ISSUE FOR PERMITS RESPONSE	27/06/21
09	ISSUE FOR PERMITS RESPONSE	27/06/21
10	ISSUE FOR PERMITS RESPONSE	27/06/21
11	ISSUE FOR PERMITS RESPONSE	27/06/21
12	ISSUE FOR PERMITS RESPONSE	27/06/21
13	ISSUE FOR PERMITS RESPONSE	27/06/21
14	ISSUE FOR PERMITS RESPONSE	27/06/21
15	ISSUE FOR PERMITS RESPONSE	27/06/21
16	ISSUE FOR PERMITS RESPONSE	27/06/21
17	ISSUE FOR PERMITS RESPONSE	27/06/21
18	ISSUE FOR PERMITS RESPONSE	27/06/21
19	ISSUE FOR PERMITS RESPONSE	27/06/21
20	ISSUE FOR PERMITS RESPONSE	27/06/21



IWA ARCHITECTS

110 311 - 1444 Alberni Street Vancouver, V6C 2Z4
110 311 - 2372 - 2373 Granville Street Victoria, V8M 2L2
604.688.3123 | office@iwa-arch.ca | www.iwa-arch.ca

PROJECT NAME:
RUTHERFORD HOUSING

PROJECT ADDRESS:
**6630 LINLEY VALLEY DRIVE
NANAIMO, B.C.**

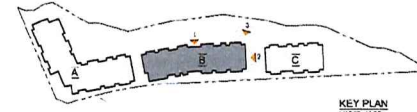
DRAWING TITLE:
**ELEVATIONS
BUILDING B**

PROJECT NO: 2003 DRAWN BY: AMM
SCALE: AS NOTED REVIEWED BY: DSM
DWG NO: A3.05

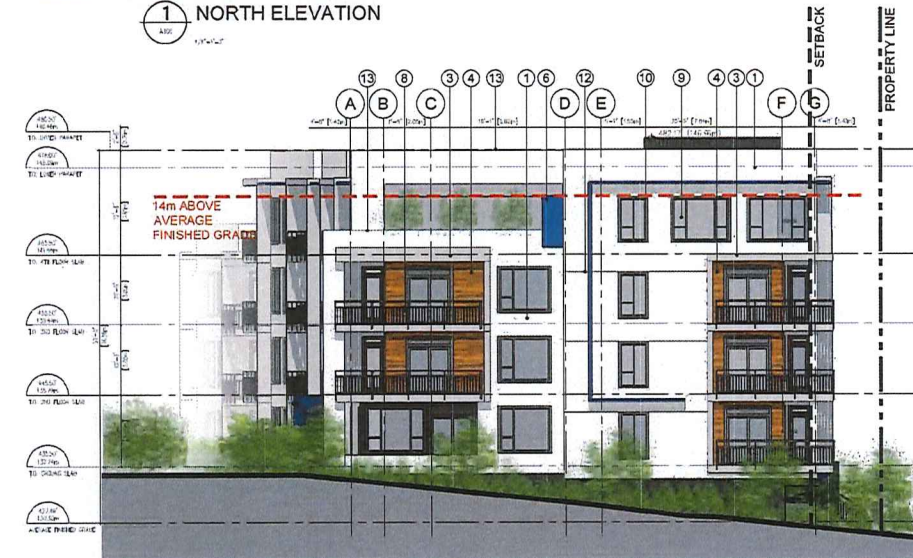
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DP1210
2021-JUL-08

MATERIAL LEGEND

1 WHITE CERAMIC TILE	7 RED PANEL CLADDING	13 GRAY FINISHES - CLASH TO WATER
2 WHITE CERAMIC COORDINATED TERRAZZO PANEL	8 METAL FINISH PANELS (CORNER)	14 BRICK FINISH
3 COORDINATED TERRAZZO (CONSIDERED) KIDS PANEL	9 WOOD PANELING	
4 BROWN WOOD PANEL CLADDING	10 BROWN WOOD FINISHES - INTERIORS ONLY	
5 GREEN PANEL CLADDING	11 BRICK FINISHES - SIDE	
6 BLUE PANEL CLADDING	12 BLUE TINT PANEL FINISHES	



1 NORTH ELEVATION



2 EAST ELEVATION



3 NORTH-EAST CORNER VIEW

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CONSULTANT:

GENERAL NOTES:

NO.	ISSUE	DATE
01	ISSUE	1/14/2021
02	ISSUE	1/14/2021
03	ISSUE	1/14/2021
04	ISSUE	1/14/2021
05	ISSUE	1/14/2021
06	ISSUE	1/14/2021
07	ISSUE	1/14/2021
08	ISSUE	1/14/2021
09	ISSUE	1/14/2021
10	ISSUE	1/14/2021
11	ISSUE	1/14/2021
12	ISSUE	1/14/2021
13	ISSUE	1/14/2021
14	ISSUE	1/14/2021



CONSULTANT:

2021-07-07



PROJECT NAME:

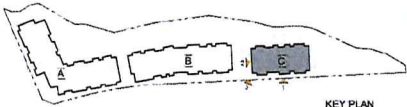
RUTHERFORD HOUSING

PROJECT ADDRESS:
650 LINLEY VALLEY DRIVE
VANCOUVER, B.C.

DRAWING TITLE:
ELEVATIONS
BUILDING B

PROJECT NO: 2003 DRAWN BY: AMM
SCALE: AS NOTED REVIEWED BY: DSM
DWG NO: A3.06

RECEIVED
DP1210
2021-JUL-08



1 SOUTH ELEVATION
(facing Linley Valley Drive)

MATERIAL LEGEND

- 1 WHITE CONCRETE PANEL
- 2 DARK METALLIC COLOURED METAL PANEL
- 3 DARK WOOD GRAIN METAL PANEL
- 4 BRUSHED ALUMINIUM PANEL FINISH
- 5 GREEN PANEL FINISH
- 6 BLUE PANEL FINISH
- 7 RED PANEL FINISH
- 8 METAL SHIMMER PANEL FINISH
- 9 DARK GRAY
- 10 BRUSHED ALUMINIUM - VERTICAL SLAT
- 11 BRUSHED ALUMINIUM - GRID
- 12 POLY CARBON FIBRE PANEL
- 13 CARBON FIBRE - GLASS TO WOOD
- 14 BLACK STAIN

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NORTH ARROW:

CLIENT:

GENERAL NOTES:

01	ISSUE	DATE	BY
02	ISSUE	DATE	BY
03	ISSUE	DATE	BY
04	ISSUE	DATE	BY
05	ISSUE	DATE	BY
06	ISSUE	DATE	BY
07	ISSUE	DATE	BY
08	ISSUE	DATE	BY
09	ISSUE	DATE	BY
10	ISSUE	DATE	BY
11	ISSUE	DATE	BY
12	ISSUE	DATE	BY
13	ISSUE	DATE	BY
14	ISSUE	DATE	BY



2 WEST ELEVATION



3 SOUTH-WEST CORNER VIEW



IWA ARCHITECTS

PROJECT NAME:
RUTHERFORD HOUSING

PROJECT ADDRESS:
**650 LINLEY VALLEY DRIVE
VANCOUVER, B.C.**

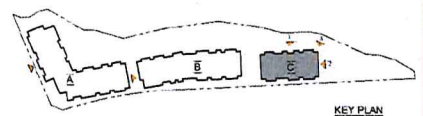
DRAWING TITLE:
**ELEVATIONS
BUILDING C**

PROJECT NO: 2003 DRAWN BY: AM
SCALE: AS NOTED REVIEW BY: DM
DWD NO: **A3.08**

RECEIVED
DP1210
2021-JUL-08



1 NORTH ELEVATION



- MATERIAL LEGEND**
- 1 WHITE CERAMIC TILE
 - 2 DARK METALLIC COLOURED METAL PANEL
 - 3 POLISHED BROWN GRANITE
 - 4 BROWN WOOD PANEL CLADDING
 - 5 GREY PANEL CLADDING
 - 6 RED PANEL CLADDING
 - 7 METAL CLADDING - LIMITED FINISHES
 - 8 BROWN CLADDING
 - 9 BROWN CLADDING - HORIZONTAL GRIDS
 - 10 BROWN CLADDING - VERTICAL GRIDS
 - 11 BROWN CLADDING - GRID
 - 12 BROWN CLADDING - GRID
 - 13 BROWN CLADDING - GRID
 - 14 BROWN CLADDING

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CONTRACT NO:

GENERAL NOTES:

05	ISSUED FOR CONSTRUCTION	20/07/21
04	ISSUED FOR CONSTRUCTION RESPONSE	17/07/21
03	ISSUED FOR CONSTRUCTION RESPONSE	15/07/21
02	ISSUED FOR PRE-APPLICATION MEETING	14/07/21
01	ISSUED FOR PRE-APPLICATION MEETING	14/07/21

SEAL: **REGISTERED ARCHITECT**
DAVID SCHWARTZ
 1000 UNIVERSITY STREET
 VANCOUVER, BRITISH COLUMBIA
 V6C 1R8
 CONSULTANT: 2021-07-07

IWA ARCHITECTS

PROJECT NAME:
RUTHERFORD HOUSING

PROJECT ADDRESS:
 6430 LINLEY VALLEY DRIVE
 NANAIMO, B.C.

DRAWING TITLE:
ELEVATIONS BUILDING C

PROJECT NO: 2003 DRAWN BY: AHM
 SCALE: AS NOTED REVIEW BY: DGM
 DWG NO: **A3.09**

RECEIVED
DP1210
 2024 JUL 08



PLANT LIST

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOTS	COMMENTS
A	7	ACER CIRCINATUM	VINE MAPLE	2.5 M HT.	B & B	MULTI-STEM, MIN. 3 STEMS, FULL
B	18	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	6.0 CM CAL. / 3.5 - 4.5 M HT.	B & B	FULL, 1.8 M HT. STANDARD
C	16	CORNUS KOUSA	KOUSA DOGWOOD	2.5 - 3.0 M HT.	B & B	MULTI-STEM, FULL, MIN. 3 STEMS
D	12	FAGUS SYLVATICA 'DAWKY'S GOLD'	PYRAMIDAL GOLD BEECH	6.0 CM CAL. / 3.5-4.0 M HT.	B & B	MULTI-STEM, FULL, MIN. 3 STEMS
E	15	MAGNOLIA STELLATA 'PINK STAR'	PINK STAR MAGNOLIA	1.2 HT.	B & B	MULTISTEM, MIN. 3 STEMS, FULL
F	26	MAGNOLIA STELLATA 'ROYAL STAR'	ROYAL STAR MAGNOLIA	1.2 - 1.5 M HT.	B & B	MULTISTEM, MIN. 3 STEMS, FULL
G	3	PSEUDOTSUGA MENZESII	DOUGLAS FIR	3.5 M HT.	B & B	FULL, NOT SHEARED
H	5	PSEUDOTSUGA MENZESII	DOUGLAS FIR	2.5 M HT.	B & B	FULL, NOT SHEARED
J	2	PSEUDOTSUGA MENZESII	DOUGLAS FIR	1.75 M HT.	B & B	FULL, NOT SHEARED
K	13	RIBES SANGUINEUM 'KING EDWARD'	RED FLOWERING CURRANT	1.5 M HT	B & B	MULTI-STEM, FULL
L	5	RIBES SANGUINEUM 'WHITE ICICLE'	WHITE ICICLE FLOWERING CURRANT	1.2 M HT	B & B	
M	217	ABELIA 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	45 CM SPR.	21 CM POT	FULL, SPECIMEN
N	70	CORNUS SANGUINEA 'ANNY'S WINTER ORANGE'	ANNY'S WINTER ORANGE DOGWOOD	60 CM HT.	27 CM POT	FULL
P	168	CORNUS SANGUINEA 'MID WINTER FIRE'	MID WINTER FIRE DOGWOOD	60 CM HT.	27 CM POT	FULL
Q	254	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE	45 CM HT.	27 CM POT	FULL
R	68	PHYSOCARPUS OPULIFOLIUS 'LUTEUS'	GOLDEN NINEBARK	60 CM HT.	27 CM POT	FULL, EVENLY BRANCHED
S	-	PIERIS JAPONICA YAKUSHIMANUM 'PRELUDE'	PRELUDE PIERIS	45 CM HT.	27 CM POT	FULL
T	64	POLYSTICHUM MUNITUM	SWORD FERN	60 CM HT.	27 CM POT	FULL
U	87	TAXUS X MEDIA 'HICKSII'	HICKS YEW	1.0 M. HT.	B & B	FULL
V	18	VIBURNUM PLICATUM TOMENTOSUM 'SUMMER SNOWFLAKE'	SUMMER SNOWFLAKE VIBURNUM	60 CM HT.	27 CM POT	FULL
W	-	ARCTOSTAPHYLLUS URVA URSI	KINNIKINNICK	30 CM SPR.	15 CM POT	MIN. 3 LEADERS, PLANT 45 CM O.C.
Y	827	GAULTHERIA PROCUMBENS	WINTER GREEN	20 CM SPR.	15 CM POT	FULL, PLANT 30 CM. O.C.
Z	232	LIRIOPE MUSCARI 'BIG BLUE'	BIG BLUE LILY TURF	40 CM HT.	21 CM POT	FULL, PLANT 45 CM O.C.

NOTE: PLANTS MUST MEET SIZE AND POT SPECIFICATION AND MAY EXCEED BCLNA STANDARDS.
AREA OF PLANT MATERIAL SOURCING TO INCLUDE WESTERN NORTH AMERICA.

NOTES

- CONTRACTOR TO REPORT ALL ERRORS, OMISSIONS AND DISCREPANCIES TO LANDSCAPE ARCHITECT IMMEDIATELY AND PRIOR TO COMMENCEMENT OF WORK.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UNDERGROUND SERVICES AND ANY DAMAGE TO SAME CAUSED BY HIS WORK.
- CONTRACTOR TO ENSURE SMOOTH CONTINUOUS POSITIVE DRAINAGE AWAY FROM BUILDING TO ALL DRAINAGE PICKUP POINTS.
- ALL LANDSCAPED AREAS TO BE IRRIGATED WITH A FULLY AUTOMATIC UNDERGROUND IRRIGATION SYSTEM, COORDINATE IRRIGATION SLEEVES, TIMER CLOCK LOCATION AND WATER CONNECTIONS WITH GENERAL CONTRACTOR.
- AREAS DESIGNATED AS RIVER ROCK TO HAVE 150 MM TO 200 MM CLEAN WASHED RIVER ROCK TO LANDSCAPE ARCHITECT APPROVAL, TO A DEPTH OF 300 MM PLACED ON BLACK FILTER CLOTH.
- WHERE PLANTING BEDS ABUT LAWN AREA INSTALL MAINTENANCE STRIP - 2 X 4 PRESSURE TREATED FIR EDGER, STAKED WITH 2 X 4 X 45CM. PRESSURE TREATED FIR STAKES. STAKE 1.2 M. O.C. AND AT ALL JOINTS AND ENDS, TOP OF STAKE TO BE 2.5CM. BELOW TOP OF EDGER.
- ALL LAWN AREAS TO BE SODDED.
- COMPOST TO BE PLACED TO 75 MM DEPTH AFTER SETTLEMENT IN ALL PLANTING BEDS
- ALL LANDSCAPE WORK ON CITY PROPERTY TO CITY OF NANAIMO STANDARD AND APPROVAL.
- REFER TO ARCHITECTURAL/CIVIL FOR HARD LANDSCAPE & SITE GRADING.

(Excerpts from Landscape Plan, P 1 of 2)

**SCHEDULE D - AMENITY REQUIREMENTS
FOR ADDITIONAL DENSITY**

Rutherford Residential

Project # 20033

Jul 7th, 2021

Proposed Amenity Requirements for Additional Density - Tier 1 & 2

Category 1: Site Selection (10 points required)

AMENITY		Points Available	Points Attained
A	The proposed development is located on a brownfield site.	5	-
B	The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks.	3	3
C	The proposed development is located within 200m of a park or trail network.	1	1
D	The proposed development is located within 400m of any of the following: <ul style="list-style-type: none"> • retail store; • daycare facility; • Nanaimo Regional District transit bus stop; • any PRC (Parks, Recreation and Culture) Zoned property; and / or • a CS-1 (Community Service One) zoned property. 	1 point each	5
E	The proposed development will add any of the following amenities on the site, or immediately adjacent to the site, as part of the proposed development: <ul style="list-style-type: none"> • retail store or public market; • daycare facility; • Nanaimo Regional District transit bus stop; • any PRC (Parks, Recreation and Culture) Zoned property; • a CS-1 (Community Service One) zoned property; and / or • public art. 	1 point each	1
Total Points Attained		20	10

Category 2: Retention and Restoration of Natural Features (8 points required)

AMENITY		Points Available	Points Attained
A	The proposed development includes an Environmentally Sensitive Area (ESA), as identified on Map 2 of the City's Official Community Plan and includes at least a 15m natural area buffer around the ESA.	2	-
B	The property includes the retention of natural vegetation, trees, shrubs, and under storey for a contiguous area that is equal to or greater than 15% of the property area, exclusive of the required watercourse leavestrip or environmentally-sensitive area buffer.	3	-
C	The proposed development includes at least 50% retention of natural soils.	1	-
D	The subject property includes at least one significant tree and the proposed development will not result in the loss of any trees included on the list of significant trees within the City of Nanaimo's Management and Protection of Trees Bylaw.	2	-
E	The proposed development includes street trees.	1	1
F	After re-planting, the proposed development does not result in a net loss of trees with a caliper greater than 6cm.	1	1
G	Post development, the total amount of trees on the property, or adjacent road right- of-way or public space is at least 20% more than the number of trees on the property before development.	2	2
H	Restore a minimum of 50% of the site area (excluding the building footprint) by maintaining pervious surfaces.	3	-
I	The development includes permanent educational signage or display(s) regarding the protected or planted plants, trees, animal habitat or other natural features on the site.	1	1
Total Points Attained		16	5

Category 3: Parking and Sustainable Transportation (10 points required)

AMENITY		Points Available	Points Attained
A	Long term protected bicycle storage is provided and shower and change room facilities are provided to accommodate building employees where applicable.	3	-
B	At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op.	1	-
C	The developer purchases a new car and gifts the car to a recognized car share provider for the inclusion of a car share space on the subject property.	4	-
D	The parking area within the proposed development includes at least one electric vehicle charging station.	1	1
E	A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.	4	-
F	The proposed development includes covered and designated parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces: a) multiple family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units; and b) non-residential uses: 1 motorized scooter or motorcycle space per 600m ² of Gross Floor Area for the first 5000m ² plus one space per 1500m ² of additional Gross Floor Area.; and c) a minimum of one electronic plug-in is provided to accommodate at least one electric scooter or electronic bicycle.	2	2
G	A pedestrian network is included in the proposed development that connects the buildings on the site with the public road right-of-way and, the pedestrian network from the adjacent site to which there is access by perpetual easement or right-of- way, provided the City agrees to accept the right-of-way.	2	2
H	Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw.	2	2
I	The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.	1	1
Total Points Attained		20	8

Category 4: Building Materials (8 points required)

AMENITY		Points Available	Points Attained
A	Wood is the primary building material.	1	1
B	The proposed development uses salvaged, refurbished or reused materials; the sum of which constitutes at least 10% of the total value of materials on the project.	2	-
C	At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC) Canada. <i>This wording has been amended by city to read: Be advised that in order to meet "Category 4 – C", 'Schedule D' has been amended to now accept construction certified to the Canadian Standards Association – Sustainable Forest Management (CSA-SFM) standard, or recognized equivalent</i>	3	3
D	The proposed development uses materials with recycled content such that the sum of the postconsumer recycled material constitutes at least 25%, based on costs, of the total value of the materials in the project.	2	-
E	The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled.	2	2
F	At least 75% of the materials used in construction are renewable resources.	2	-
G	The property includes an existing building and at least 75% of existing building structure or shell is retained.	3	-
H	The development includes permanent educational signage or display(s) regarding the sustainable use of building materials used during construction of the project.	1	1
Total Points Attained		16	7

Category 5: Energy Management (11 points required)

AMENITY		Points Available	Points Attained
A	The proposed development meets at least the requirements of Step 2 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by one step.*	10	B
B	The proposed development meets at least the requirements of Step 3 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by two steps.*	15	15
C	The proposed development is considered a Part 3 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 (Net Zero Ready) within the BC Energy Step Code; or The proposed development is considered a Part 9 within the British Columbia Building Code (BCBC) and the building meets the minimum requirements of Step 4 or 5 within the BC Energy Step Code.*	30	-
D	The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite.	1	1
Total Points Attained		56	16

* Points will be awarded for only one of A, B, or C.

Category 6: Water Management (8 points required)

AMENITY		Points Available	Points Attained
A	At least 50% of the property is covered with a permeable surface area which may include a green roof.	2	-
B	The proposed buildings on the property include plumbing features which will use 35% less water than the BC Building Code standard.	2	2
C	A green roof is installed to a minimum 30% of the roof area.	3	-
D	A living wall is installed to cover at least 10% of the total available wall area for the proposed project.	2	-
E	A non-potable irrigation system is installed and used for all on-site irrigation.	3	3
F	A water efficient irrigation system (such as drip) is installed.	1	1
G	The proposed development includes a rain garden, cistern, bioswale or storm water retention pond on the property.	2	2
H	The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site.	1	1
Total Points Attained		16	9

Category 7: Social and Cultural Sustainability (10 points required)

AMENITY		Points Available	Points Attained
A	At least 10% of the residential dwelling units within a building are no greater than 29m ² in area.	1	-
B	At least 10% of the residential dwelling units meet all the accessibility requirements within the <i>British Columbia Building Code 2012 (BCBC)</i> or any subsequent Act or Acts which may be enacted in substitution therefore.	3	3
C	The developer agrees to enter into a Housing Agreement with the City of Nanaimo to ensure that at least 50% of all residential units shall not be stratified or sold independently for at least ten years after the building receives final occupancy.	4	4
D	The developer enters into a Housing Agreement with the City of Nanaimo to ensure that at least 10% of residential units sold will be sold for at least 20% less than the medium sell price for condos (apartment), as provided by the Vancouver Island Real Estate Board for the current year, and cannot be sold for greater than the original sale price for a period of ten years. The Gross Floor Area of the units provided for within the Housing Agreement must be greater than 29m ² in area.	4	-
E	The developer enters into a Housing Agreement with the City of Nanaimo to ensure that where the residential units are subdivided under the <i>Strata Property Act</i> or otherwise sold separately, the strata corporation will not place restrictions which prevent the rental of individual residential units.	2	-
F	A permanent public art feature is included on the site in accordance with the City's Community Plan for Public Art.	2	2
G	A children's play area is provided.	1	1
H	A dedicated garden space is provided to building residents and/or members of the community in which users are given the opportunity to garden.	1	1
I	The development site includes permanent heritage interpretive signage or heritage building elements where relevant.	1	-
J	The development protects and rehabilitates heritage buildings or structures, archaeological resources and cultural landscapes considered to have historical value by the City.	3	-
Total Points Attained		21	11

***OVERALL TOTAL PROPOSED – 66**
TOTAL REQUIRED FOR TIER 2 – 65