



DEVELOPMENT PERMIT NO. DP001208

MENZIES RIDGE ESTATES LTD
Name of Owner(s) of Land (Permittee)

497 MENZIES RIDGE DRIVE
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all buildings, structures and other developments thereon:

Legal Description:

LOT 3, SECTION 1, NANAIMO DISTRICT, PLAN EPP36660
PID No. 029-386-705

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details
Schedule E Schedule D – Amenity Requirements for Additional Density

4. If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
5. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

PERMIT TERMS

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

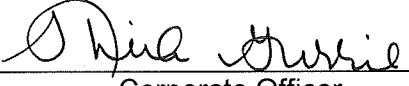
1. *Section 6.10.2 Fence Height* – to increase the maximum allowable fence height within the front yard setback from 1.2m to 2.8m for the proposed decorative arbours.
2. *Section 17.2.1 Minimum Landscape Treatment Level* – to reduce the minimum landscape buffer width for the east side yard from 1.8m to 0m as proposed.

CONDITIONS OF PERMIT

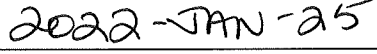
1. The subject property is developed in substantial compliance with the Site Plan prepared by Raymond de Beeld Architect Inc., dated 2021-DEC-23, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by Raymond de Beeld Architect Inc., dated 2021-DEC-23, as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Kinship Design Art Ecology, dated 2021-NOV-18, as shown on Schedule D.
4. The subject property is developed in accordance with the 'Schedule D – Amenity Requirements for Additional Density' prepared by Raymond de Beeld Architect Inc, received 2021-DEC-23, as shown in Schedule E, and is to include the following items:
 - A letter from the coordinating professional submitted prior to Building Permit issuance outlining how the required items for additional density will be achieved; and
 - A letter from the coordinating professional with accompanying evidence submitted prior to building occupancy demonstrating that the required items have been provided.
5. The existing Statutory Right-of-Way (FB379537) be modified to allow public pedestrian and cyclist access from Menzies Ridge Drive to Bird Sanctuary Drive and emergency vehicle access only from Bird Sanctuary Drive, as shown on the proposed Site Plan in Schedule B, prior to building occupancy.

6. Release of existing charge CA3926722 to permit the installation of bollards to prevent vehicle traffic through the site.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 17TH DAY OF JANUARY, 2022.



Corporate Officer



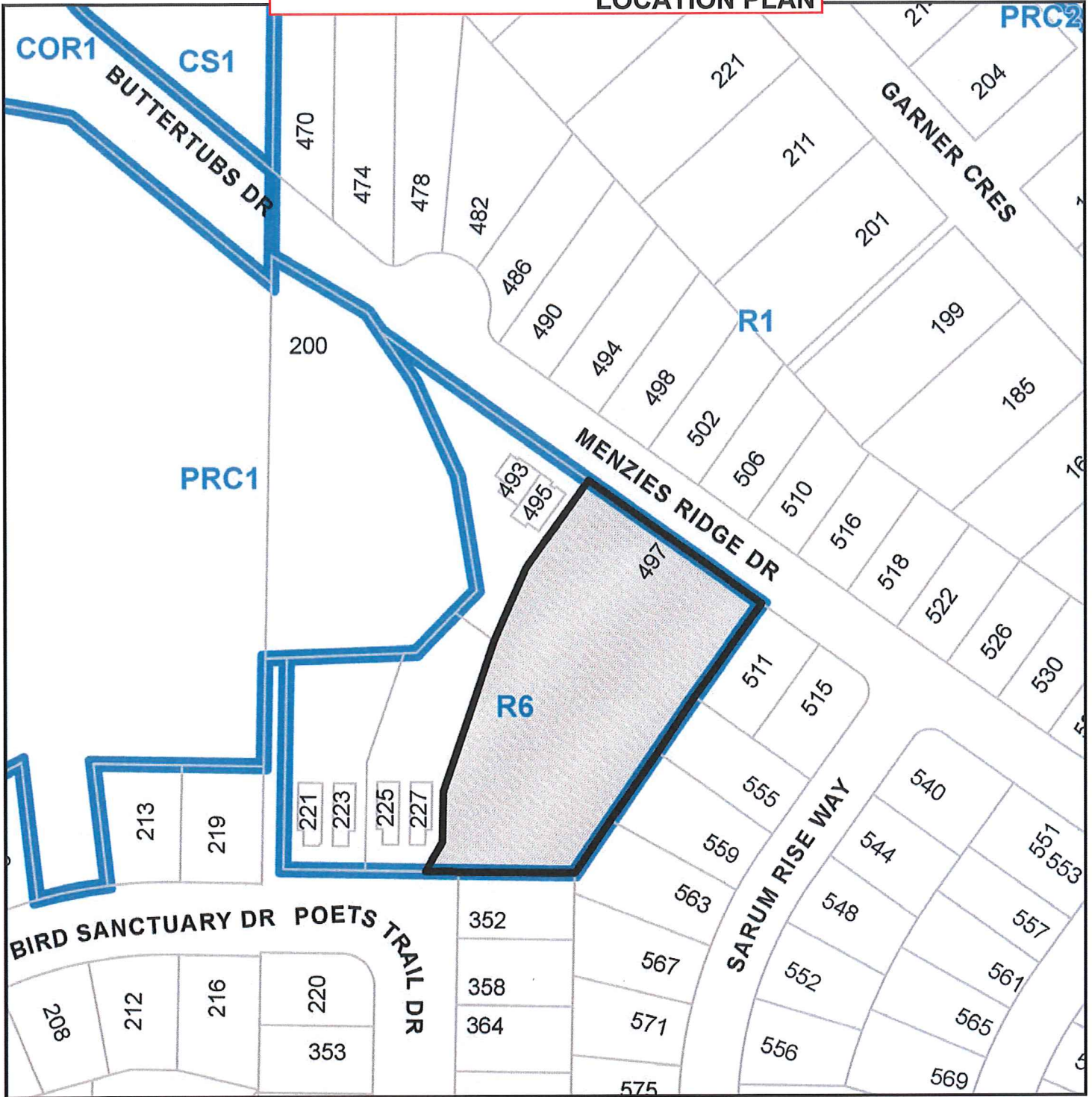
Date

LS/n

Prospero attachment: DP001208

Development Permit No. DP001208 Schedule A
497 Menzies Ridge Drive

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001208

CIVIC: 497 MENZIES RIDGE DRIVE

LEGAL: LOT 3, SECTION 1, NANAIMO DISTRICT, PLAN EPP36660



Subject Property

Development Permit No. DP001208 Schedule B
 497 Menzies Ridge Drive
SITE PLAN

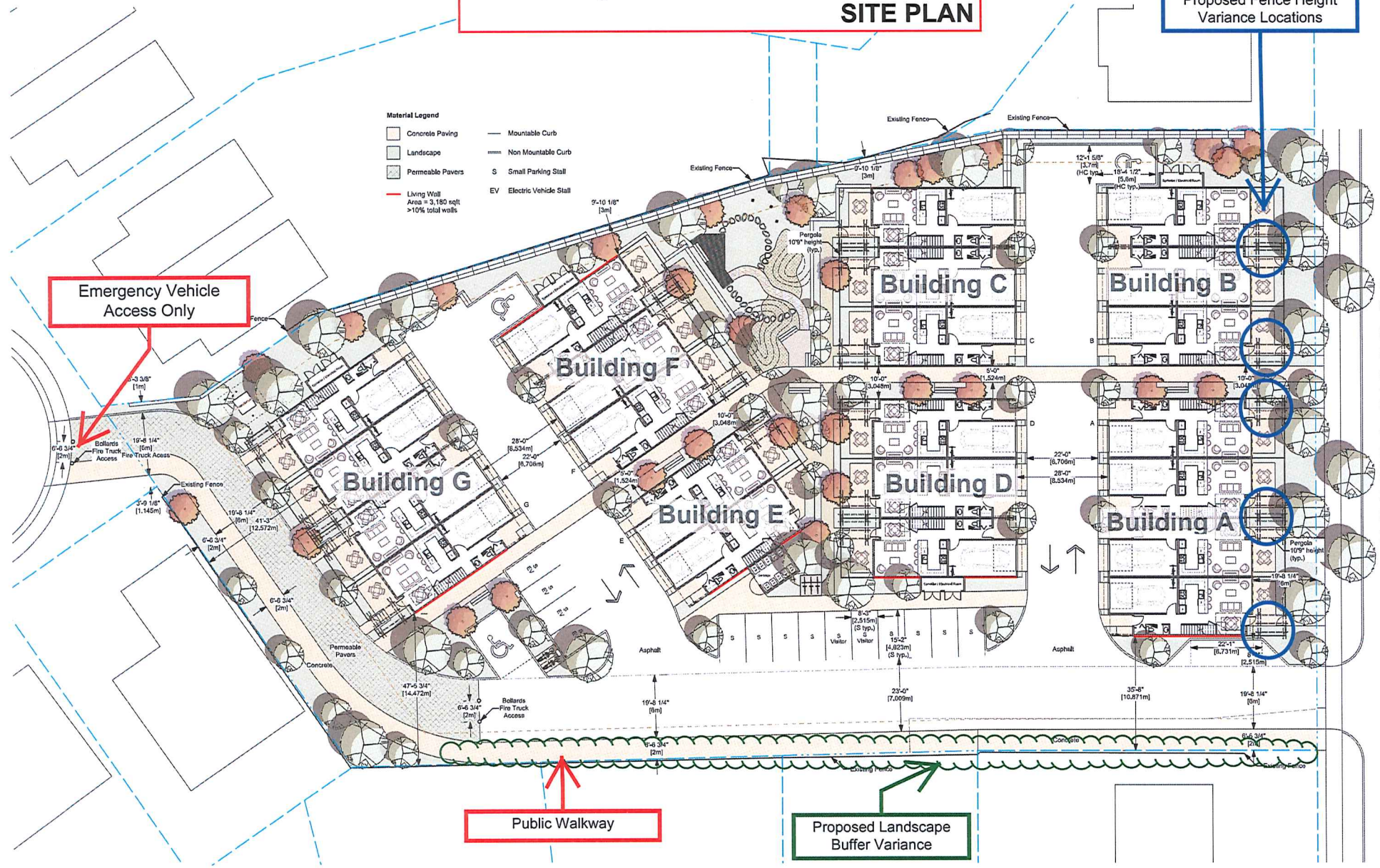
Proposed Fence Height Variance Locations

- Material Legend**
- Concrete Paving
 - Landscape
 - Permeable Pavers
 - Living Wall Area = 3,150 sqft >10% total walls
 - Mountable Curb
 - Non Mountable Curb
 - S Small Parking Stall
 - EV Electric Vehicle Stall

Emergency Vehicle Access Only

Public Walkway

Proposed Landscape Buffer Variance



1 Site Plan
 Scale: 1:150

RdB Raymond de Beeld
 ARCHITECT INC.

Menzies Townhouses

497 Menzies Ridge Drive, Nanaimo

Site Plan



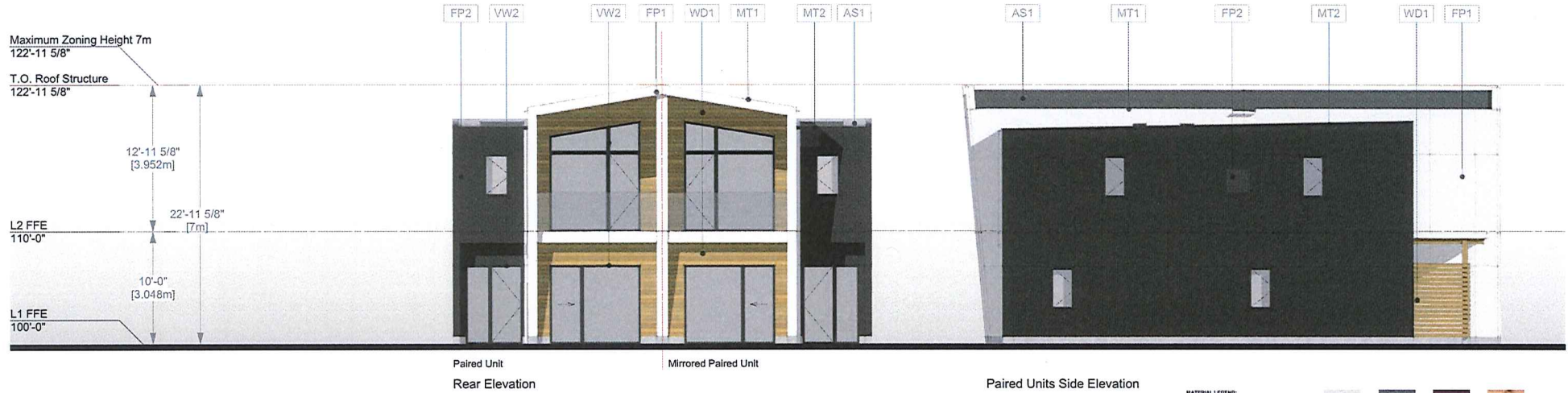
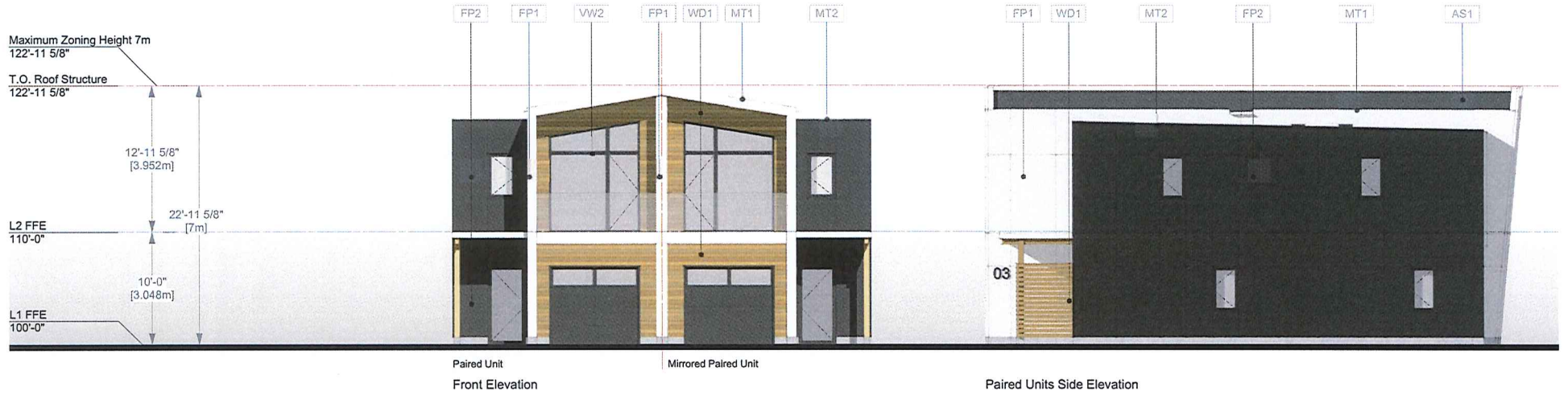
RECEIVED
 DP1208
 2021-DEC-23



December 23, 2021 - DP R3

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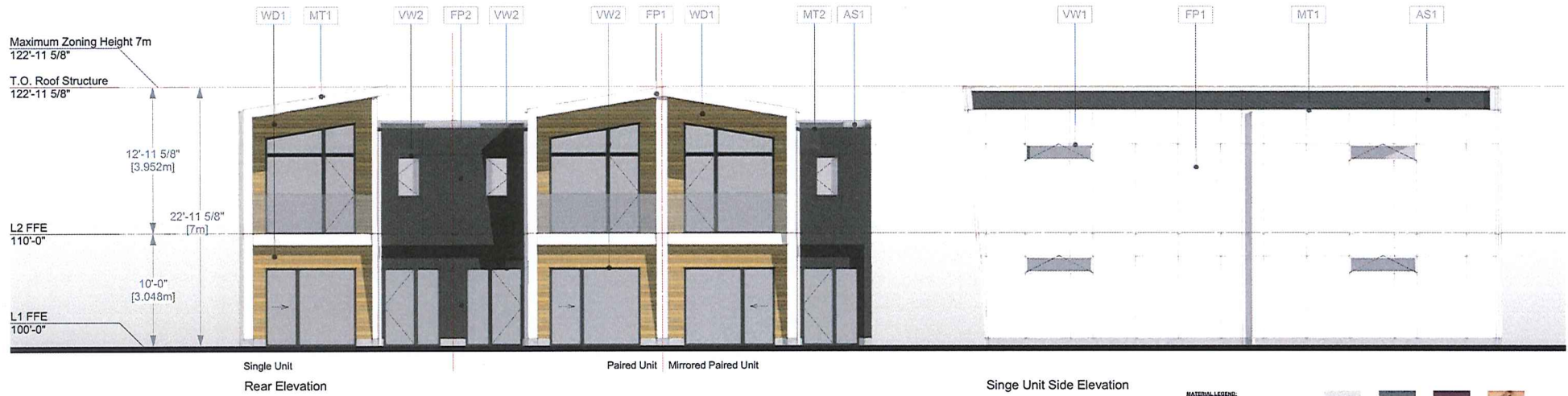
BUILDING ELEVATIONS AND DETAILS



1 Unit Elevations
Scale: 1/4" = 1'-0"

- MATERIAL LEGEND:**
- FP1 Fiber Cement Panel (White)
 - FP2 Fiber Cement Panel (Grey, Other Colors)
 - WD1 Wood Textured Longboard
 - MT1 Metal Flashing (White)
 - MT2 Metal Flashing (Grey)
 - AS1 Asphalt Roofing
 - VW1 Vinyl Windows (White)
 - VW2 Vinyl Windows (Grey)
 - G1 Aluminum & Glass Guardrail (Grey)

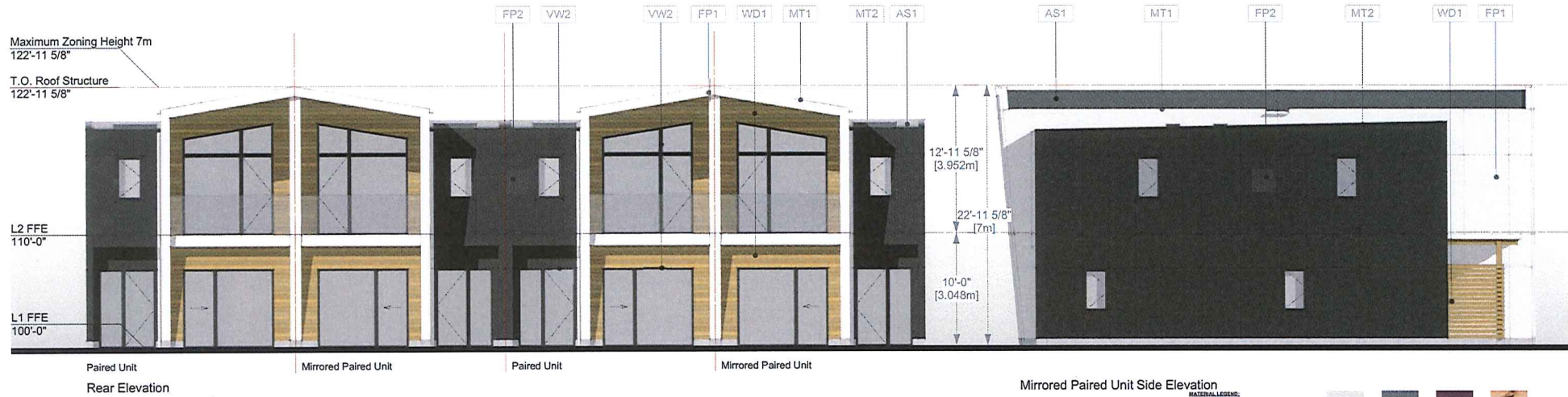
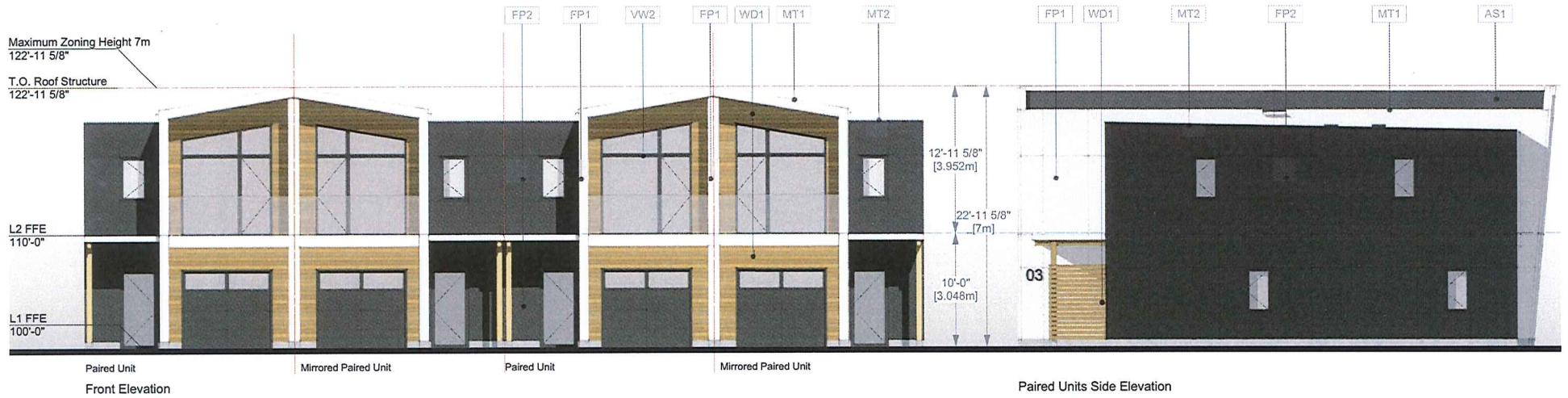




1 Unit Elevations
Scale: 1/4" = 1'-0"

- MATERIAL LEGEND:**
- FP1 Fiber Cement Panel (White)
 - FP2 Fiber Cement Panel (Grey, Other Colors)
 - WD1 Wood Textured (Longboard)
 - MT1 Metal Flashing (White)
 - MT2 Metal Flashing (Grey)
 - AS1 Alpha Siding
 - VW1 Vinyl Windows (White)
 - VW2 Vinyl Windows (Grey)
 - G1 Aluminum & Glass Guardrail (Grey)





1 Unit Elevations
Scale: 1/4" = 1'-0"

MATERIAL LEGEND:

- FP1 Fiber Cement Panel (White)
- FP2 Fiber Cement Panel (Grey, Other Colors)
- WD1 Wood Texture Longboard
- MT1 Metal Flashing (White)
- MT2 Metal Flashing (Grey)
- AS1 Asphalt Roofing
- VW1 Vinyl Window (White)
- VW2 Vinyl Window (Grey)
- G1 Aluminum & Glass Guardrail (Grey)



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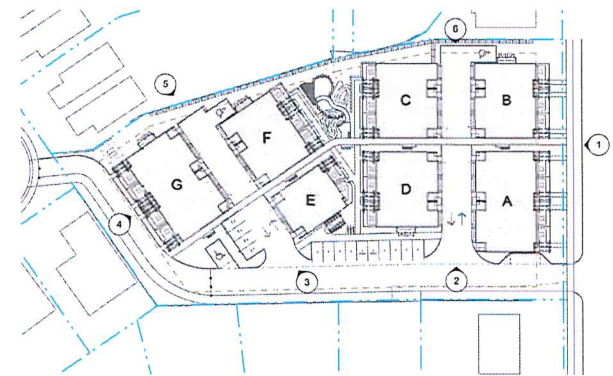
1 North East Elevation (Menzies Ridge Drive)
Scale: 1/8" = 1'-0"



2 South East Elevation
Scale: 1/8" = 1'-0"



3 East Elevation
Scale: 1/8" = 1'-0"



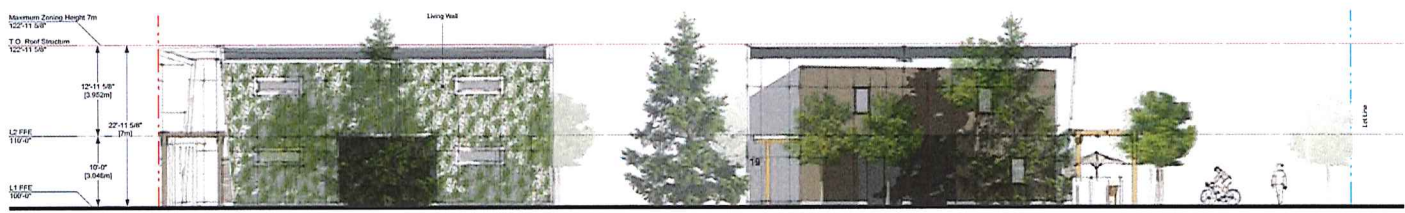
Key plan



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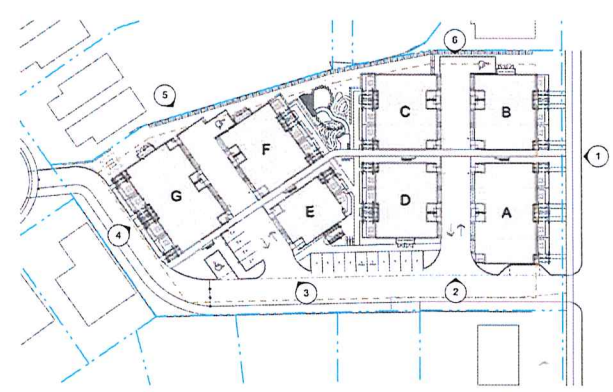
4 South Elevation (Bird Sanctuary Drive)
Scale: 1/8" = 1'-0"



5 West Elevation
Scale: 1/8" = 1'-0"



6 North West Elevation
Scale: 1/8" = 1'-0"

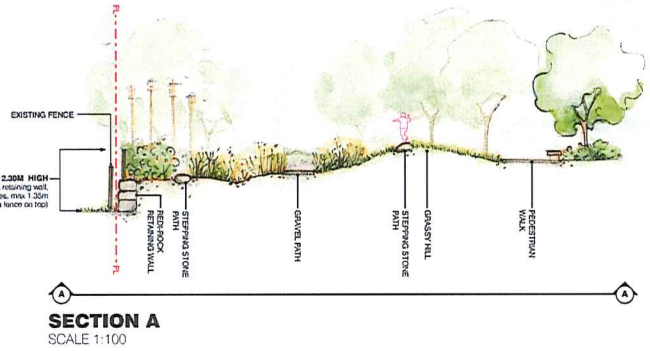


Key plan

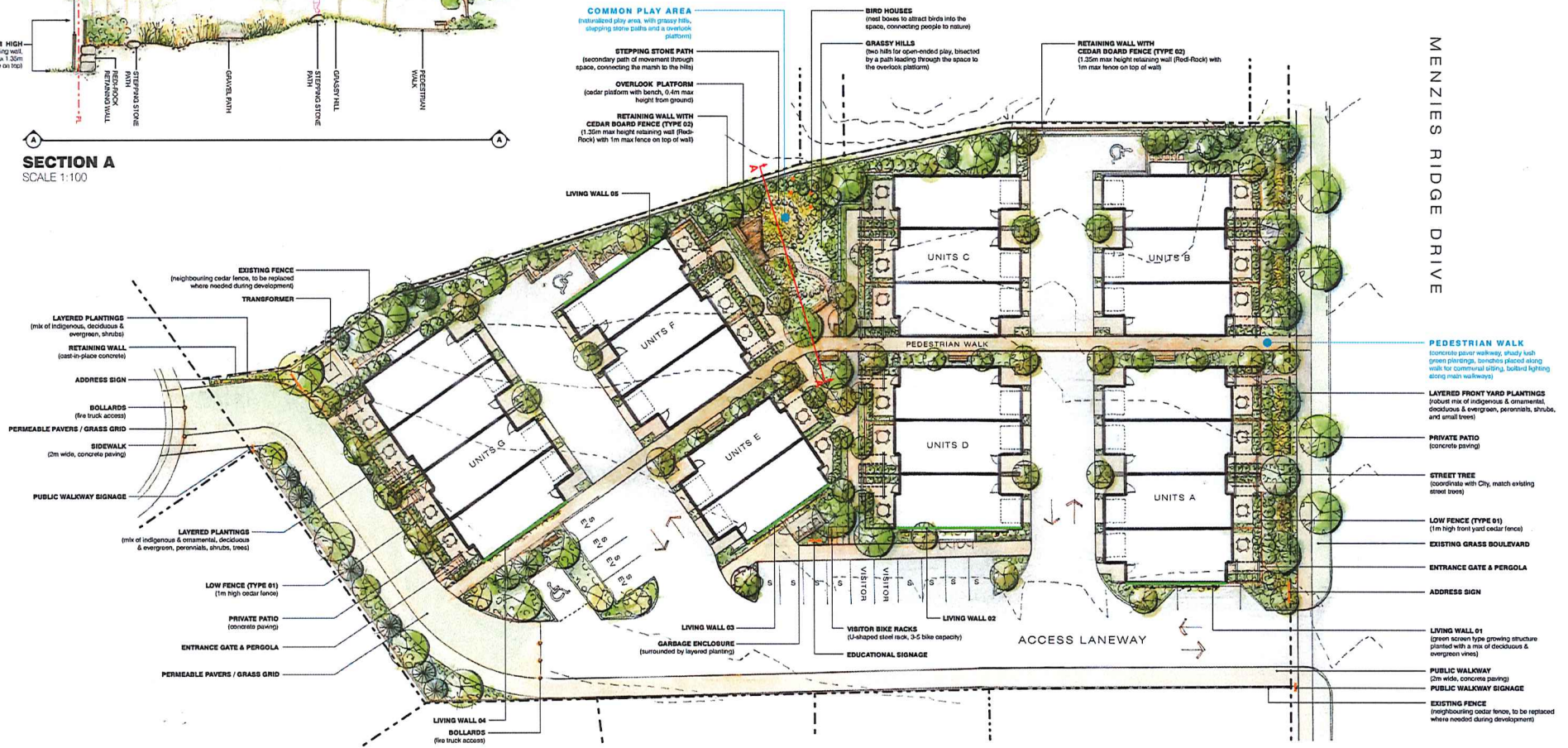


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Development Permit No. DP001208 Schedule D
 497 Menzies Ridge Drive
LANDSCAPE PLAN AND DETAILS



BUTTERTUBS MARSH



LANDSCAPE CONCEPT PLAN

SCALE 1:200

- PEDESTRIAN WALK**
(concrete paver walkway, shady lush green planting, torches placed along walk for commercial lighting, bordered along main walkways)
- LAYERED FRONT YARD PLANTINGS**
(robust mix of indigenous & ornamental, deciduous & evergreen, perennials, shrubs, and small trees)
- PRIVATE PATIO**
(concrete paving)
- STREET TREE**
(coordinate with City, match existing street trees)
- LOW FENCE (TYPE 01)**
(1m high front yard cedar fence)
- EXISTING GRASS BOULEVARD**
- ENTRANCE GATE & PERGOOLA**
- ADDRESS SIGN**
- LIVING WALL 01**
(green screen type growing structure planted with a mix of deciduous & evergreen vines)
- PUBLIC WALKWAY**
(2m wide, concrete paving)
- PUBLIC WALKWAY SIGNAGE**
- EXISTING FENCE**
(neighbouring cedar fence, to be replaced where needed during development)

NO.	DATE	ISSUE
1	10-21-20	DP SUBMISSION
2	12-22-20	DP REVISION
3	11-18-21	DP REVISION

PROJECT
MENZIES TOWNHOUSES
 497 Menzies Ridge Drive
 Nanaimo, BC

PROJECT 20006
DB KS **CB** KS
SCALE VARIES
DATE OCTOBER 01, 2020

LANDSCAPE PLAN

L1.02

MENZIES TOWNHOUSES

LANDSCAPE ARCHITECTURAL DRAWINGS ISSUED FOR DEVELOPMENT PERMIT

DESIGN RATIONALE

CONTEXT

497 Menzies Ridge Drive is a 1.35 acre parcel adjacent to Buttertubs Marsh, in central Nanaimo. Surrounded by single family detached homes, the site is a large, undeveloped lot zoned for higher density, multi-family residential development. The proposed Menzies Townhouses will be situated in a landscape designed to support families of all ages with an emphasis on drawing the character, ecological function and aesthetic of the marsh into the urban environment.

DESIGN CONCEPT

The design concept for the Menzies Townhouses is to integrate people, place and plantings into a functional urban ecosystem that accentuates the natural character of the site adjacent to Buttertubs Marsh

- As an expression of the local environment, the planting plan is structured around a foundation of indigenous species that reference shady riparian forests and open marshlands.
- Complementary drought-tolerant ornamentals add character and resilience, and perform vital ecosystem functions necessary to support human life and biodiversity.
- To support the sense of community in a time of physical distancing, outdoor seating areas are situated throughout the development, along internal pathways that unify the site.
- A central open space creates a naturalized play area, with mounds, stepping stone paths and a platform overlooking a densely planted low point designed to evoke the feeling of a marsh. Colourful nest boxes that attract birds into the development emphasize it's location and connection to nature.
- Lush, layered plantings envelop seating areas and pathways. This amplifies a feeling of immersion in the local landscape, and aims toward low long-term maintenance as plantings become healthy, self-organizing systems.
- Living walls literally support plants that attract birds and pollinators, reduce the urban heat island effect, and slow the flow of runoff from developed areas into streams, marshes, and stormwater infrastructure.

DESIGN PRECEDENTS



PLANT PALETTE

Key	Botanical Name	Common Name
Evergreen / Coniferous Trees		
Po	<i>Picea omorika</i> brum	Serbian Spruce
Deciduous Trees		
Ac	<i>Acer chloratum</i>	Vine Maple
Bn	<i>Betula nigra</i>	River Birch
Co	<i>Cornus edulis</i> white wonder	Eddie's White Wonder Dogwood
Co	<i>Omalia cerasiformis</i>	June Plum
Pp	<i>Panacea pensica</i>	Persian Ironwood
Pc	<i>Pyrus calleryana</i>	Calleryana Pear
Sj	<i>Syrax japonicus</i>	Japanese snowball
Evergreen Shrubs		
Au	<i>Arbutus unedo</i>	Strawberry Bush
Gs	<i>Gaultheria shallon</i>	Salal
Mh	<i>Mahonia nervosa</i>	Duff Oregon Grape
Mc	<i>Morella californica</i>	Pacific Wax Myrtle
Vo	<i>Vaccinium ovatum</i>	Evergreen Huckleberry
Deciduous Shrubs		
Ca	<i>Cornus sericea</i>	Red Twig Dogwood
Co	<i>Cotinus coggygria</i> 'Royal Purple'	Smokebush
Ri	<i>Ribes sanguinum</i>	Red Flowering Currant
Sd	<i>Spiraea douglasii</i> esp. douglasii	Hardsack
Sa	<i>Symphoricarpos albus</i>	Snowberry
V	<i>Vaccinium</i>	Blueberry
Groundcovers		
Ac	<i>Achillea triphylla</i>	Vanilla Leaf
Au	<i>Arctostaphylos uva-ursi</i>	Kinnikinnick
Es	<i>Epimedium spheerium</i>	Epimedium
Fc	<i>Fragaria chiloensis</i>	Coastal Strawberry
Fv	<i>Fragaria vesca</i>	Woodland Strawberry
Co	<i>Carex crinita</i>	Redwood Sedge
To	<i>Trillium ovatum</i>	Western Trillium
Ferns, Grasses & Perennials		
Am	<i>Achillea millefolium</i>	Yarrow
Bs	<i>Blechnum spicant</i>	Deer Fern
Ck	<i>Cladonia cristata</i> Karst Forrester	Fleisher Reed Grass
Ca	<i>Chamaenerion angustifolium</i>	Fireweed
Dc	<i>Deschampsia cespiciosa</i>	Tufted Hairgrass
Da	<i>Dryopteris erythrosora</i>	Autumn Fern
Hb	<i>Hakonechloa macroa</i> 'Boni Kaze'	Japanese Forest Grass
Im	<i>Iris missouriensis</i>	Western Blue Flag Iris
Ls	<i>Luzula nivea</i>	Snowy woodrush
My	<i>Miscanthus vaku ima</i>	Dwarf Fountain Grass
Nr	<i>Nepeta racemosa</i>	Cat Mint
Pa	<i>Pennisetum alopecuroides</i> 'Hameln'	Dwarf Fountain grass
Pm	<i>Polysetichum munifolium</i>	Sword Fern
Sc	<i>Saxifraga caerulea</i>	Blue Moor Grass
Sc	<i>Symphoricarpos subspicatum</i>	Douglas' Aster
Vines		
Ct	<i>Campsis x tagliabuana</i> 'Madame Galen'	Hybrid Trumpet Creeper
Ca	<i>Clematis armandii</i>	Evergreen Clematis
Lc	<i>Lonicera ciliosa</i>	Orange Honeyuckle
Seeds		
Wild Grass Area: Pickseed Garry Oak Upland Mix or equivalent		89% Roemers Fescue 11% California Catgrass

**SCHEDULE D - AMENITY REQUIREMENTS FOR
ADDITIONAL DENSITY**



755 Terminal Avenue North, Nanaimo, BC V9S 4K1
250.754.2108 • info@rdbarchitect.ca • rdbarchitect.ca

December 23, 2021

497 Menzies Ridge Drive Townhouses – Amenities Provided for Additional Density Rationale
Rev 3

Category 3: Parking and Sustainable Transportation (10 points required)

- A – Long term protected bicycle storage is provided ~~and shower and change room facilities are provided to accommodate building employees where applicable.~~

All units have a designated space for a long term bike storage.
(3 points)

- D – The parking area within the proposed development includes at least one electric vehicle charging station.

4 Common outdoor electric vehicle parking stalls provided in addition to roughing-in all indoor garages.
(1 point)

- F – The proposed development includes covered and designated parking spaces for a motorized scooter or plug-in for an electronic bicycle or electric scooter, or a designated motorcycle parking space to accommodate the following number of spaces:
 - multiple family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units; and-
 - ~~◦ non-residential uses: 1 motorized scooter or motorcycle space per 600m² of Gross Floor Area for the first 5000m² plus one space per 1500m² of additional Gross Floor Area.; and~~
 - a minimum of one electronic plug-in is provided to accommodate at least one electric scooter or electronic bicycle.

All units have designated space for bike, an electronic bicycle or electric scooter with plug-in sockets. Two common electric scooter stalls to be provided on site.
(2 points)

- G – A pedestrian network is included in the proposed development that connects the buildings on the site with the public road right-of-way and, the pedestrian network from the adjacent site to which there is access by perpetual easement or right-of-way, provided the City agrees to accept the right-of-way.

A pedestrian path and emergency vehicles only drive aisle connects Menzies Ridge Drive and Bird Sanctuary Drive (right-of-way) in addition to the pedestrian path in the middle of the development connecting all buildings to the central kids playing area.
(2 points)

- H – Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw.

Parking is the minimum required by the City's Development Parking Regulations Bylaw.
(2 points)

- I – The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.

A sign will be provided (sample will be provided)
(1 point)

10 points achieved / 10 required

Category 5: Energy Management (11 points required)

- A – The proposed development meets at least the requirements of Step 2 of the BC Energy Step Code and exceeds the requirement specified in the Building Bylaw by one step.

The development will be designed to exceed the requirement in the Building Bylaw by one step.
(10 points)

- D – The development includes permanent education signage or display(s) regarding sustainable energy management practices used onsite.

A sign will be provided (sample will be provided)
(1 point)

11 points achieved / 11 required

Category 6: Water Management (8 points required)

- B – The proposed buildings on the property include plumbing features which will use 35% less water than the BC Building Code standard.

Plumbing features which will use 35% less water than the BC Building Code standard will be provided.
(2 points)

- D – A living wall is installed to cover at least 10% of the total available wall area for the proposed project.

Living walls will be installed on at least 10% of the total exterior walls
(2 points)

- F – A water efficient irrigation system (such as drip) is installed.

A water efficient irrigation system (such as drip) will be installed.
(1 point)

- G – The proposed development includes a rain garden, cistern, bioswale or storm water

retention pond on the property.

A subsurface storm water retention/detention system is provided.
(2 points)

- H – The development site includes permanent educational signage or a display(s) regarding sustainable water management practices used on site.

A sign will be provided (sample will be provided)
(1 point)

8 points achieved / 8 required

Raymond de Beeld, Architect AIBC