



DEVELOPMENT PERMIT NO. DP001207

MOUNT BENSON DEVELOPMENTS INC
Name of Owner(s) of Land (Permittee)

5594 LINLEY VALLEY DRIVE
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT 14, DISTRICT LOT 50, WELLINGTON DISTRICT, PLAN EPP62850

PID NO. 029-928-028

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Building Elevations and Details
Schedule D Landscape Plan and Details

- a) If the landowner does not substantially start any construction with respect to which this permit was issued within two years after the date it was issued, the permit lapses.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

TERMS OF PERMIT

The "City of Nanaimo Zoning Bylaw 2011 No. 4500" is varied as follows:

1. *Section 7.5.1 Siting of Buildings* – to reduce the minimum required rear yard setback from 7.5m to 5.9m for proposed Building D.
2. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building perimeter wall height from 7.32m to 8.77m.
3. *Section 7.6.1 Size of Buildings* – to increase the maximum allowable building height from 7m to 8.62m.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan prepared by dHKArchitects Inc., received 2021-APR-13, as shown on Schedule B.
2. The development is in substantial compliance with the Building Elevations and Details prepared by dHKArchitects Inc., dated 2020-SEP-15, 2021-APR-07 and 2021-APR-13, as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan and Details prepared by Macdonald Gray Landscape Architect, dated 2021-MAR-15, as shown on Schedule D.
4. Prior to issuance of a building permit, the applicant must register a statutory Right-of-Way on the subject property title identifying the location of the public pedestrian path along sections of the north property line.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 3RD DAY OF MAY, 2021.

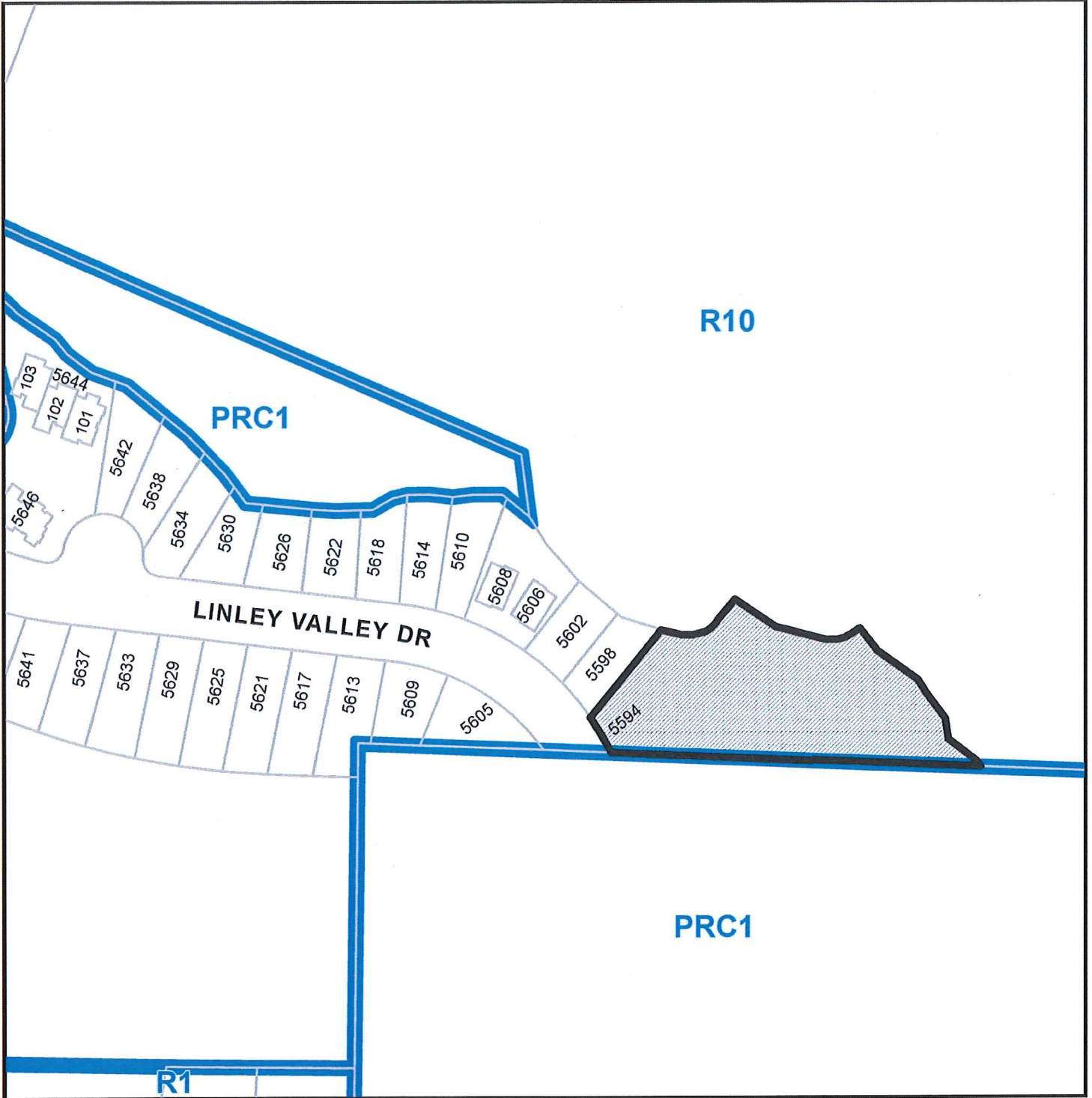


Corporate Officer



Date

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001207

CIVIC: 5594 LINLEY VALLEY DRIVE

LEGAL: LOT 14, DISTRICT LOT 50, WELLINGTON DISTRICT, PLAN EPP62850

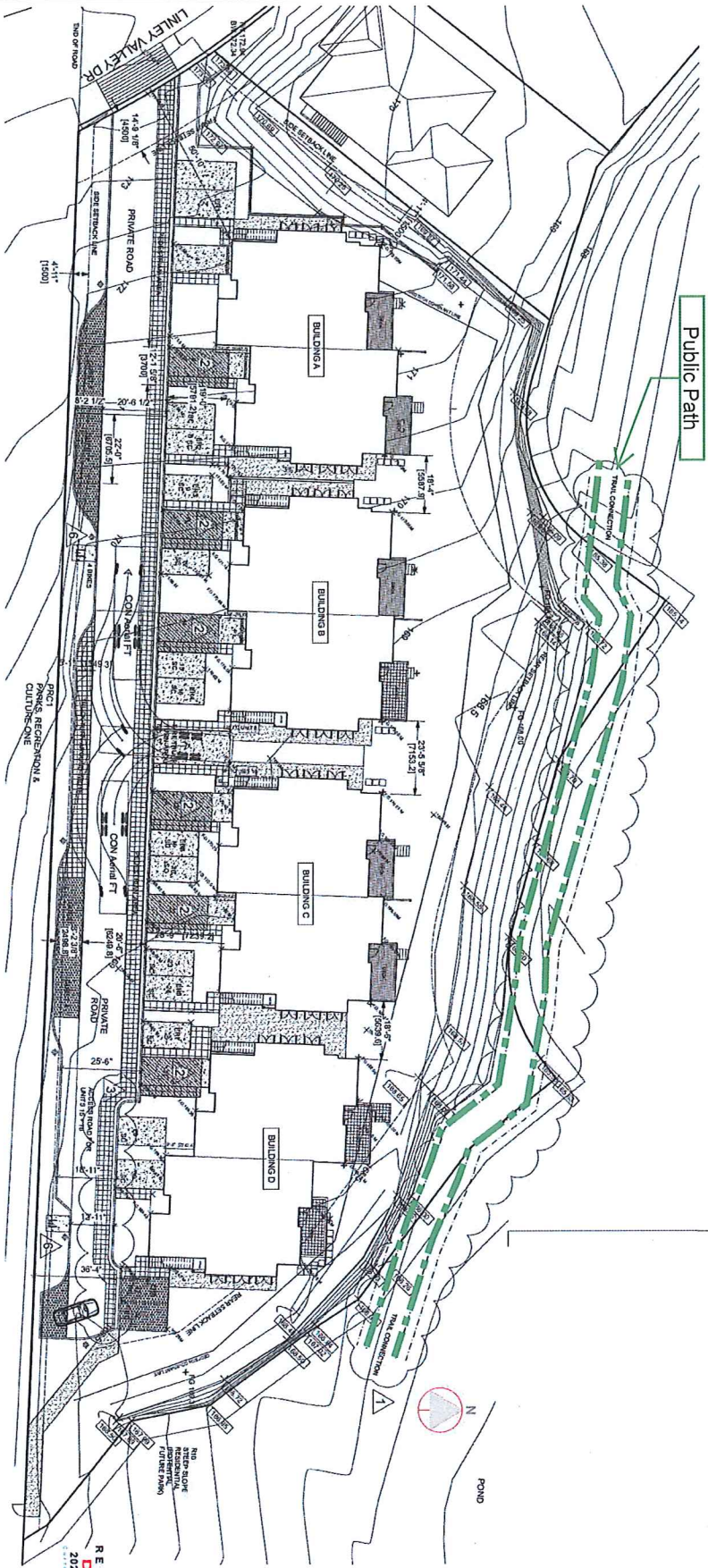


Subject Property

SITE PLAN



VIEW OF SITE FROM POND (NORTH)



SITE PLAN

5594 LINLEY VALLEY DRIVE, VANCOUVER
 STUDIO FOR CONCEPTS
 APRIL 11, 2021

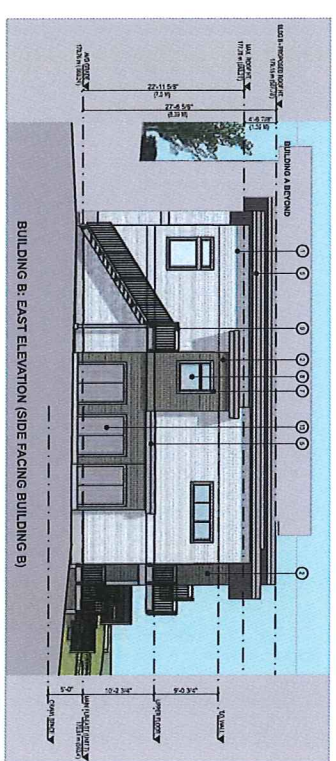
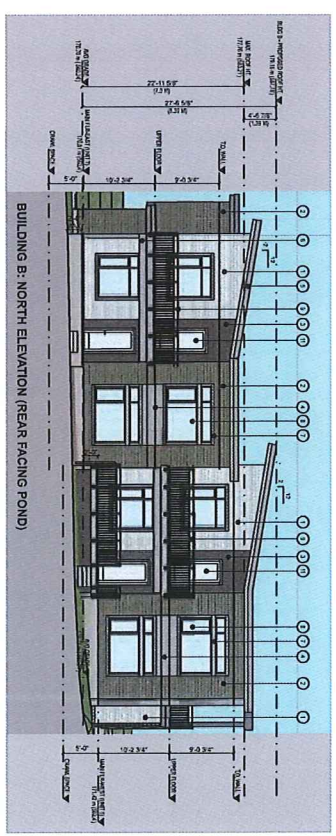
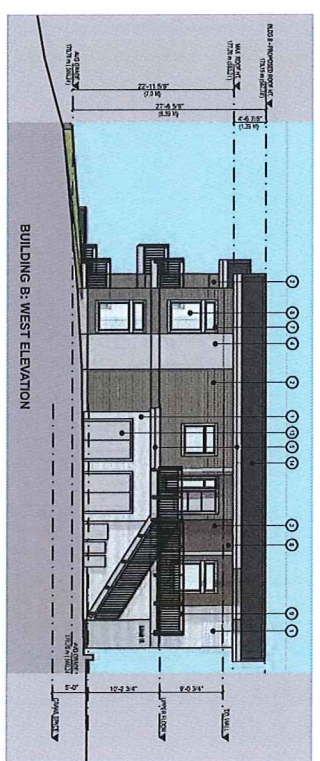
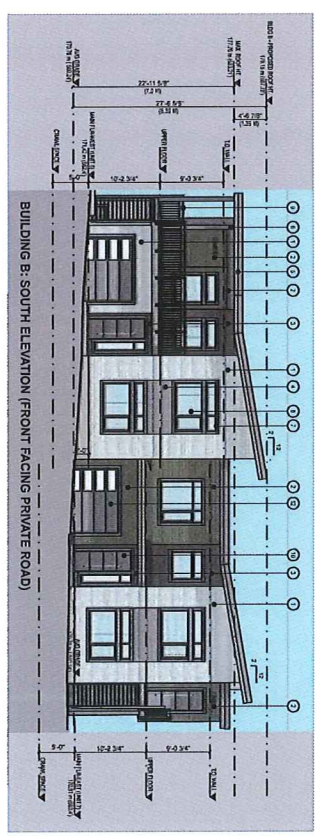
LINLEY VALLEY DRIVE FOURPLEXES

SITE PLAN + SITE DATA

A-01
 1/8" = 1'-0"

dHkarchitects

RECEIVED
 DP-1207
 2021-APR-13

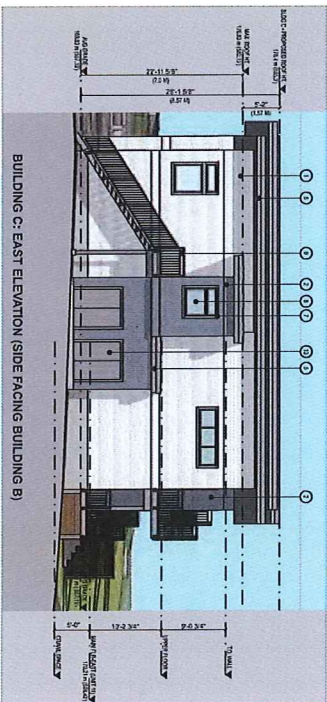
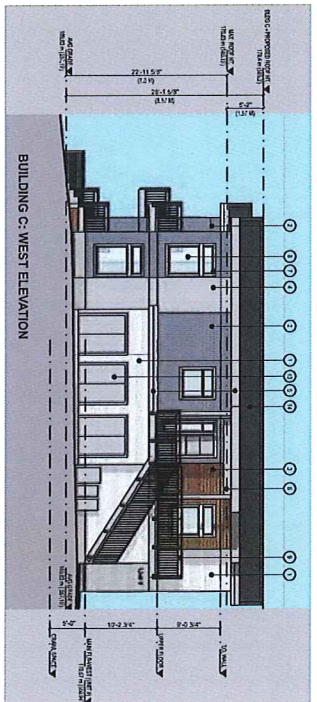
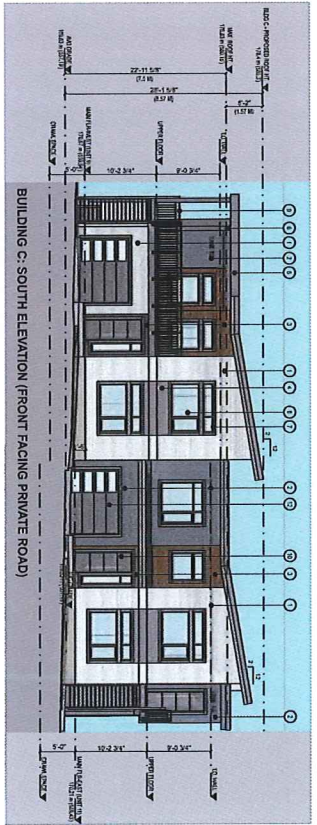


- ① HARDIE SHINGLE - LIGHT TWIST
- ② HARDIE PLANK - MOUNTAIN SAGE
- ③ COMBED FACE WOOD PASCAN - BANDING, PTD - SW 7870
- ④ COMBED FACE CLAD POSTS AND BEAMS, PTD - SW 7870
- ⑤ COMBED FACE WOOD WINDOW TRIM, PTD - SW 7870
- ⑥ VINYL WINDOWS - WHITE
- ⑦ HARDIE PANEL, PTD - CITYSCAPE SW 787
- ⑧ PREFINISHED METAL GALVANIZED PAUL + STAINS
- ⑨ SSS 2"X4 ROOFING - MEDIUM GREY
- ⑩ FIBREGASS DOOR W/ SIBELITE, PTD - CITYSCAPE SW 787
- ⑪ FIBREGASS DOOR W/ FULL LITE, PTD - TO MATCH ARCHITC WHITE

FINISHES LEGEND - BUILDINGS B + D

- ① HARDIE SHINGLE - LIGHT TWIST
- ② HARDIE PLANK - MOUNTAIN SAGE
- ③ WOODTONE RUSTIC CEMENTITIOUS SIDING - RIVERROCK COLOUR
- ④ WOODTONE RUSTIC CEMENTITIOUS SIDING - HAMBROCK COLOUR
- ⑤ WOODTONE RUSTIC CEMENTITIOUS SIDING - HAMBROCK COLOUR
- ⑥ WOODTONE RUSTIC CEMENTITIOUS SIDING - HAMBROCK COLOUR
- ⑦ COMBED FACE WOOD PASCAN - BANDING, PTD - SW 7870
- ⑧ COMBED FACE CLAD POSTS AND BEAMS, PTD - SW 7870
- ⑨ COMBED FACE WOOD WINDOW TRIM, PTD - SW 7870
- ⑩ VINYL WINDOWS - WHITE
- ⑪ PREFINISHED METAL GALVANIZED PAUL + STAINS - GRAY
- ⑫ FIBREGASS DOOR W/ SIBELITE, PTD - CITYSCAPE SW 787
- ⑬ FIBREGASS DOOR W/ FULL LITE, PTD - TO MATCH ARCHITC WHITE
- ⑭ PREFINISHED METAL GALVANIZED PAUL + STAINS, PTD - CITYSCAPE SW 787
- ⑮ FIBREGASS DOOR @ EXT. CLADDING, PTD - CITYSCAPE SW 787
- ⑯ SSS 2"X4 ROOFING - MEDIUM GREY





- ① HARDIE SHINGLE - ARCTIC WHITE
- ② HARDIE PLANK - BOOTHBAY BLUE
- ③ WOODSTONE RUSTIC CEDAR/TONGUE SIDING - SUMMER WHEAT
- ④ HARDIE PANEL, PTD - COTTSCAPE SW 787
- ⑤ COMBED FACE WOOD PASCAL - BANDING, PTD - SW 787
- ⑥ COMBED FACE CLAD POSTS AND BEAMS, PTD - SW 787
- ⑦ COMBED FACE WOOD WINDOW TRIM, PTD - SW 787
- ⑧ VINYL WINDOWS - WHITE
- ⑨ PRE-FINISHED METAL GUARD RAIL + STAIRS
- ⑩ SRS 2 PIV ROOING - MEDIUM GREY
- ⑪ FIBERGLASS DOOR W/ SIDE LITE, PTD - COTTSCAPE SW 787
- ⑫ FIBERGLASS DOOR W/ FULL LITE, PTD - TO MATCH ARCTIC WHITE

FINISHES LEGEND - BUILDINGS A+C	
①	HARDIE SHINGLE - ARCTIC WHITE
②	HARDIE PLANK - BOOTHBAY BLUE
③	WOODSTONE RUSTIC CEDAR/TONGUE SIDING - SUMMER WHEAT COLOR
④	HARDIE PANEL, PTD - COTTSCAPE SW 787
⑤	COMBED FACE WOOD PASCAL - BANDING, PTD - SW 787
⑥	COMBED FACE CLAD POSTS AND BEAMS, PTD - SW 787
⑦	COMBED FACE WOOD WINDOW TRIM, PTD - SW 787
⑧	VINYL WINDOWS - WHITE
⑨	PRE-FINISHED METAL GUARD RAIL + STAIRS - GREY
⑩	SRS 2 PIV ROOING - MEDIUM GREY
⑪	FIBERGLASS DOOR W/ SIDE LITE, PTD - COTTSCAPE SW 787
⑫	FIBERGLASS DOOR W/ FULL LITE, PTD - TO MATCH ARCTIC WHITE
⑬	PRE-FINISHED METAL GUARD RAIL W/ LITE, PTD - COTTSCAPE SW 787
⑭	FIBERGLASS DOOR @ BKT. CLASSTN, PTD - COTTSCAPE SW 787
⑮	SRS 2 PIV ROOING - MEDIUM GREY

5594 LINLEY VALLEY DRIVE, SUWANEE, GA 30080
 478.428.1111
 478.428.1111

LINLEY VALLEY DRIVE FOURPLEXES

BUILDING C: ELEVATIONS + FINISHES

A-06

dHk Architects

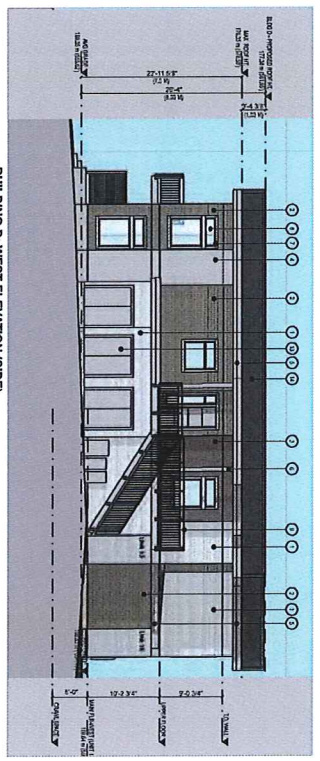




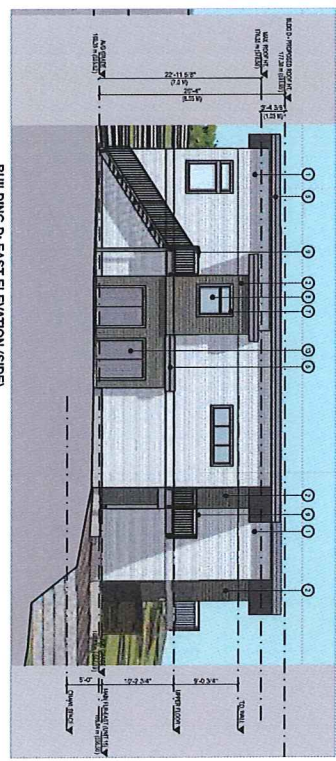
BUILDING D: SOUTH ELEVATION (FRONT FACING PRIVATE ROAD)



BUILDING D: NORTH ELEVATION (REAR FACING POND)



BUILDING D: WEST ELEVATION (SIDE)



BUILDING D: EAST ELEVATION (SIDE)



BUILDING C + D: VIEW FROM PRIVATE ROAD

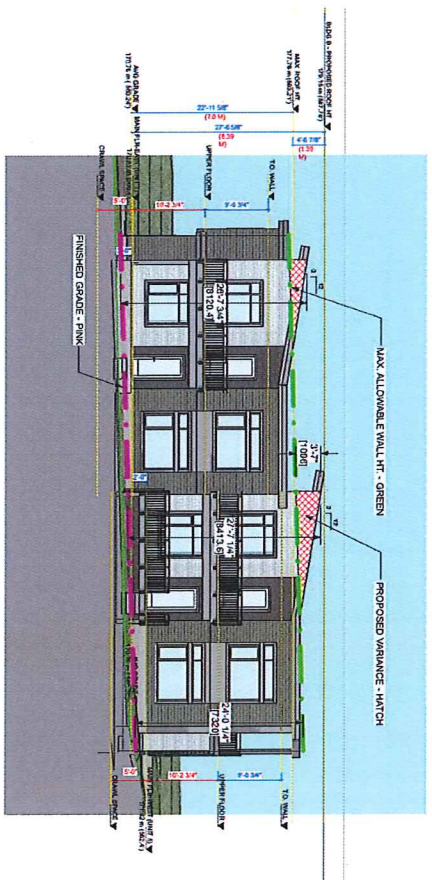


BUILDING C + D: VIEW FROM POND





BUILDING A: NORTH ELEVATION
 PROPOSED WALL HT.: 8.77 M: MAX. WALL HEIGHT: 7.32 M
 WALL HEIGHT VARIANCE REQUESTED: 1.45 M



BUILDING B: NORTH ELEVATION
 PROPOSED WALL HT.: 8.41 M: MAX. WALL HEIGHT: 7.32 M
 WALL HEIGHT VARIANCE REQUESTED: 1.09 M



BUILDING C: NORTH ELEVATION
 PROPOSED WALL HT.: 8.74 M: MAX. WALL HEIGHT: 7.32 M
 WALL HEIGHT VARIANCE REQUESTED: 1.42 M



BUILDING D: NORTH ELEVATION
 PROPOSED WALL HT.: 8.09 M: MAX. WALL HEIGHT: 7.32 M
 WALL HEIGHT VARIANCE REQUESTED: 0.77 M

ISSUE AND QUALITY CONTROL
 DESIGNED FOR REVISION
 APRIL 7, 2021

LINLEY VALLEY DRIVE FOURPLEXES

WALL HEIGHT VARIANCE DIAGRAMS

A-09

dHk architects

RECEIVED
 DP-1207
 2021-APR-07



BUILDING A: SOUTH ELEVATION
 PROPOSED HT.: 5.82 M. MAX. HEIGHT: 7.00 M
 HEIGHT VARIANCE REQUESTED: 1.182 M

AREA OVER MAX. HEIGHT



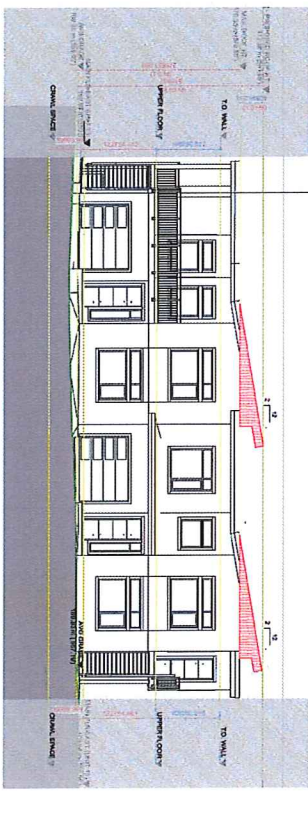
BUILDING B: SOUTH ELEVATION
 PROPOSED HT.: 8.28 M. MAX. HEIGHT: 7.00 M
 HEIGHT VARIANCE REQUESTED: 1.28 M

AREA OVER MAX. HEIGHT



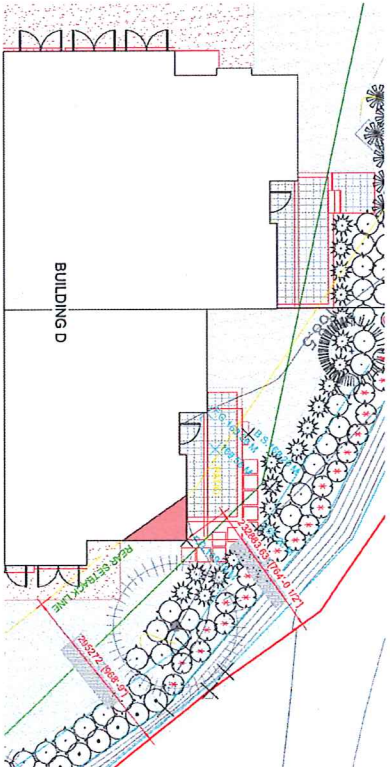
BUILDING C: SOUTH ELEVATION
 PROPOSED HT.: 8.57 M. MAX. HEIGHT: 7.00 M
 HEIGHT VARIANCE REQUESTED: 1.57 M

AREA OVER MAX. HEIGHT



BUILDING D: SOUTH ELEVATION
 PROPOSED HT.: 8.03 M. MAX. HEIGHT: 7.00 M
 HEIGHT VARIANCE REQUESTED: 1.03 M

AREA OVER MAX. HEIGHT

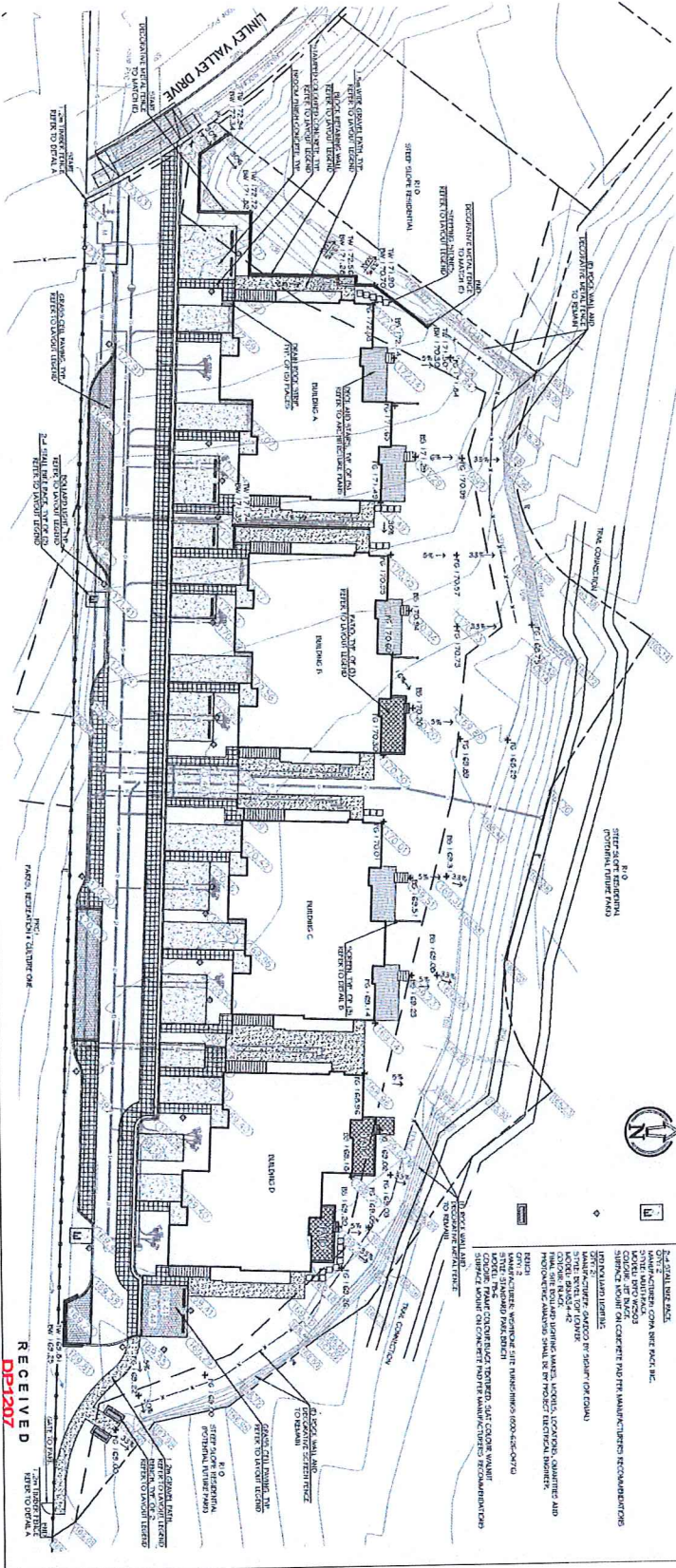


BUILDING D: PARTIAL FLOOR PLAN
 REAR SETBACK AT NORTHEAST CORNER: 5.90 M
 MIN. REAR SETBACK: 7.50 M
 SETBACK VARIANCE REQUESTED: 1.60 M
 AREA PROJECTING INTO REAR YARD
 SETBACK (27 SF)

VARIANCES REQUESTED	
HEIGHT VARIANCES (MAX 7.00 M IF < 4M 1/2)	
BUILDING A:	8.52 M
BUILDING B:	8.28 M
BUILDING C:	8.57 M
BUILDING D:	8.03 M
SETBACK VARIANCE (MIN. REAR YARD SETBACK = 7.50 M)	
BUILDING D:	5.90 M @ NORTHEAST CORNER

RECEIVED
 DP1207
 2021-APR-13
 OFFICIAL PLAN REVIEW

Development Permit No. DP001207 Schedule D
 5594 Linley Valley Drive
LANDSCAPE PLAN AND DETAILS



GENERAL NOTES

1. THE LANDSCAPES CONTRACTOR SHALL FOR THE SITE IN ACCORD WITH THE CITY OF NANAIMO.
2. REFER TO SITE PLAN PREPARED BY THE ARCHITECT FOR SET BACKS, HEIGHTS, AND OTHER REGULATORY REQUIREMENTS.
3. REFER TO CITY PLAN AND ZONING BY-LAW FOR REGULATORY REQUIREMENTS TO BE OBSERVED.
4. REFER TO THE CITY OF NANAIMO'S LANDSCAPE DESIGN AND INSTALLATION MANUAL FOR REGULATORY REQUIREMENTS.
5. REFER TO THE CITY OF NANAIMO'S LANDSCAPE DESIGN AND INSTALLATION MANUAL FOR REGULATORY REQUIREMENTS.
6. REFER TO THE CITY OF NANAIMO'S LANDSCAPE DESIGN AND INSTALLATION MANUAL FOR REGULATORY REQUIREMENTS.

IRRIGATION NOTES

1. IRRIGATION SHALL BE PROVIDED FOR ALL PLANTING AREAS AS SHOWN ON THE LANDSCAPE PLAN.
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3. IRRIGATION SHALL BE PROVIDED FOR ALL PLANTING AREAS AS SHOWN ON THE LANDSCAPE PLAN.
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GRADING LEGEND

SYMBOL	DESCRIPTION
	EXISTING GROUND ELEVATION
	PROPOSED SPOT ELEVATION
	PROPOSED FINISH GRADE
	PROPOSED STREET ELEVATION
	PROPOSED CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED RAMP
	PROPOSED DRIVEWAY
	PROPOSED PARKING LOT

LAYOUT LEGEND

SYMBOL	DESCRIPTION
	BUILDING FOOTPRINT
	PARKING LOT
	WALKWAY
	RAMP
	DRIVEWAY
	SIDEWALK
	RAMP
	DRIVEWAY
	SIDEWALK
	RAMP
	DRIVEWAY
	SIDEWALK

REVISION SCHEDULE

#	Date	NOTES
1	2021-MAR-18	RECEIVED
2	2021-MAR-18	DP-2021
3	2021-MAR-18	RECEIVED
4	2021-MAR-18	DP-2021
5	2021-MAR-18	RECEIVED
6	2021-MAR-18	DP-2021
7	2021-MAR-18	RECEIVED
8	2021-MAR-18	DP-2021

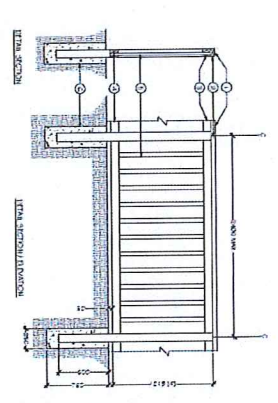
LANDSCAPE ARCHITECTURE PLAN

Date: March 15, 2021
 Drawn: CA
 Checked: HG
 Scale: 1:200 metric
 Project Number: 20-0264

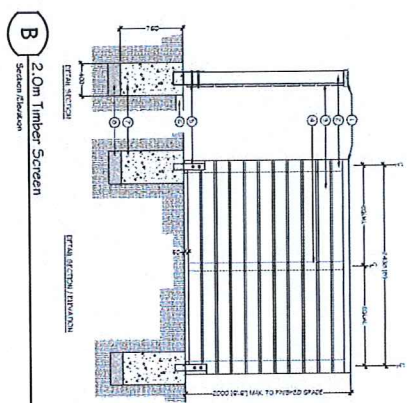
DRAWING NUMBER: **L1 of 6**

Linley Valley Drive Fourplexes
 Mount Benson Developments Inc.
 5594 Linley Valley Drive, Nanaimo, BC





1. 100mm wide top rail
2. 1.2m wide posts
3. 1.2m spacing between posts
4. 100mm wide base
5. 100mm wide bottom rail



1. 100mm wide top rail
2. 1.2m wide posts
3. 1.2m spacing between posts
4. 100mm wide base
5. 100mm wide bottom rail

SYMBOL	SYMBOL / COMMON NAME	SIZE	SPACING	NOTES
	1.2m SPACING	1.2m	1.2m	1.2m SPACING
	2.0m SPACING	2.0m	2.0m	2.0m SPACING
	1.2m SPACING	1.2m	1.2m	1.2m SPACING
	2.0m SPACING	2.0m	2.0m	2.0m SPACING
	1.2m SPACING	1.2m	1.2m	1.2m SPACING
	2.0m SPACING	2.0m	2.0m	2.0m SPACING
	1.2m SPACING	1.2m	1.2m	1.2m SPACING
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	1.2m SPACING	1.2m	1.2m	1.2m SPACING
	2.0m SPACING	2.0m	2.0m	2.0m SPACING

SYMBOL	SYMBOL / COMMON NAME	SIZE	SPACING	NOTES
	1.2m SPACING	1.2m	1.2m	1.2m SPACING
	2.0m SPACING	2.0m	2.0m	2.0m SPACING
	1.2m SPACING	1.2m	1.2m	1.2m SPACING
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	1.2m SPACING	1.2m	1.2m	1.2m SPACING
	2.0m SPACING	2.0m	2.0m	2.0m SPACING

#	Date	NOTES
0	20JUL2020	DP Coordination
1	22JUL2020	DP Review
2	07AUG2020	Issued for DP
3	02SEP2020	Revised for DP Review
4	15SEP2020	Issued for DP
5	09OCT2020	Revised for DP
6	04FEB2021	DP Coordination
7	15MAR2021	Revised for DP

PLANT LEGEND & DETAILS
Date: March 15, 2021
Drawn: CH
Checked: HG
Scale: AS NOTED
Project Number: 20-0264
DRAWING NUMBER: L3 of 6

Linley Valley Drive Fourplexes
 Mount Benson Developments Inc.
 5594 Linley Valley Drive, Nanaimo, BC

macdonald gray
 811 Skowronek Drive, Nanaimo, BC V9P 1S1
 TEL: 250.758.3000 FAX: 250.758.3001
 www.macdonaldgray.ca