



DEVELOPMENT PERMIT NO. DP001127

337 ROBSON PROPERTY INC .
Name of Owner(s) of Land (Permittee)

337 ROBSON STREET
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT 4, BLOCK 28, SECTION 1, NANAIMO DISTRICT, PLAN 584, EXCEPT THAT PART LYING SOUTH WEST OF A BOUNDARY PARALLEL TO AND PERPENDICULARLY DISTANT 81.25 FEET FROM THE SOUTH WESTERLY BOUNDARY OF SAID LOT

PID No. 002-305-402

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plans and Project Plan
Schedule C Building Elevations
Schedule D Landscape Plan
Schedule E Off-Site Parking Plan
Schedule F Schedule D–Amenity Requirements for Additional Density

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.

4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
5. The "City of Nanaimo ZONING BYLAW 2011 NO. 4500" is varied as follows:
 - *Section 11.7.1 Size of Buildings* – to increase the maximum allowable height for a principal building from 12m to 16.08m.
6. The "City of Nanaimo Development Off-Street Parking Regulations Bylaw 2018 No. 7266" is varied as follows:
 - *Section 7.1 Multiple Family Dwelling Parking Table* – to reduce the required number of off-street parking spaces from 14 to 12.

CONDITIONS OF PERMIT

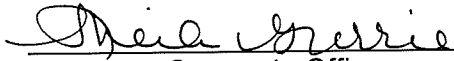
1. The subject property is developed in accordance with the Site Plans and Project Data prepared by Omicron Architecture Engineering Ltd., dated 2019-FEB-28 as shown on Schedule B.
2. The subject property is developed in general accordance with the Building Elevations prepared by Omicron Architecture Engineering Ltd., dated 2019-FEB-28 as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan prepared by Omicron Architecture Engineering Ltd., and Bloom Landscape Architecture, dated 2019-APR-16 as shown on Schedule D.
4. The applicant enter into a minimum of a 5 year lease with the property owner of 315 Fitzwilliam Street in order to secure two parking spaces within the property at 315 Fitzwilliam Street for the exclusive use of tenants or visitors of 337 Robson Street. Parking shall be clearly identified and provided in accordance with the Off-Site Parking Plan provided as shown on Schedule E.
5. The subject property is developed in accordance with Schedule D – Amenity Requirements for Additional Density received 2018-DEC-13 as outlined in Schedule F of this permit, including the following items:

A letter from the coordinating professional is required prior to the issuance of the building permit, outlining in detail how the 60 points will be obtained. A letter and accompanying evidence must also be received from the coordinating professional prior to the issuance of building occupancy proving that all 60 required points have been achieved. The following items must be secured prior to the issuance of a building permit:

- A housing agreement must be registered on title with the City to ensure that at least 50% of all residential units shall not be stratified or sold independently for at least ten years after the building receives occupancy.

- An agreement must be in place to purchase a car share vehicle to be located near the subject property (as shown on Schedule E-Off-Site Parking Plan) and made available to a recognized car share organization. The car share vehicle must be purchased prior to building occupancy.
 - A letter from a mechanical engineer stating that the project will exceed ASHRAE 90.1 2010 Energy Standard by 5% or more and a letter of credit for 1% of construction costs to be returned upon successful provision of the above standard.
 - A letter from the coordinating professional stating that at least 50% of the wood products used in construction are certified by the Forest Stewardship Council (FSC) Canada.
 - A construction and waste management plan.
 - A template for education signage regarding the following (signage to be installed prior to occupancy):
 - Permanent heritage interpretative signage;
 - Sustainable water management practices used onsite;
 - Sustainable energy management practices used onsite;
 - Sustainable transportation alternatives available onsite;
 - Natural features onsite.
6. Applicant to provide \$10,000 cash in lieu of one parking space for sustainable transportation initiatives.

AUTHORIZING RESOLUTION PASSED BY COUNCIL
THE 29TH DAY OF APRIL, 2019.


Corporate Officer

May 6, 2019
Date

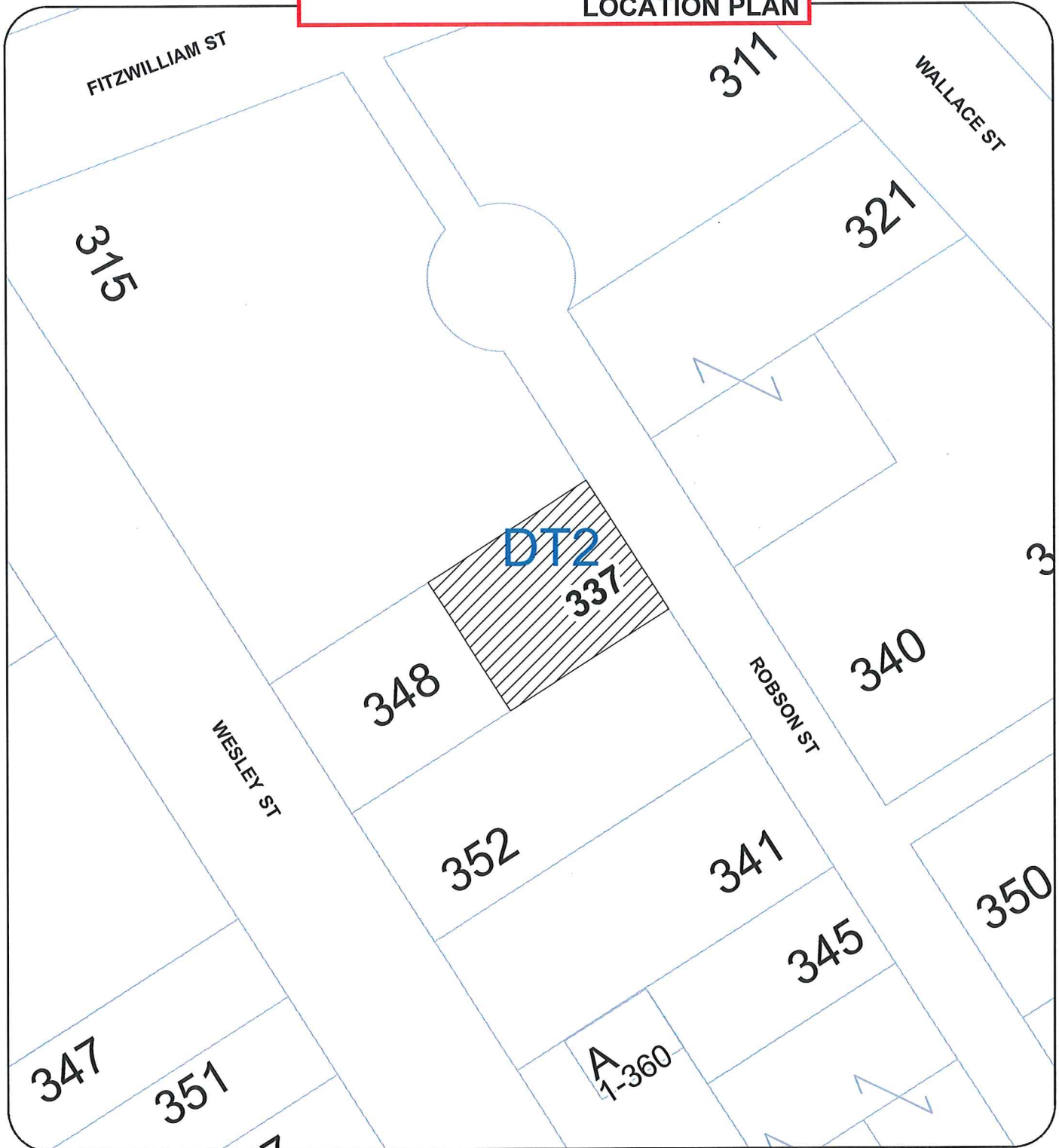
DS/In

Prospero attachment: DP001127

Development Permit DP001127
337 Robson Street

Schedule A

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001127

LOCATION PLAN



Civic: 337 ROBSON STREET
Legal: LOT 4, BLOCK 28, SECTION 1, NANAIMO DISTRICT,
PLAN 584, EXCEPT THAT PART LYING SOUTH WEST OF
A BOUNDARY PARALLEL TO AND PERPENDICULARLY
DISTANT 81.25 FEET FROM THE SOUTH WESTERLY
BOUNDARY OF SAID LOT



Subject Property

Development Permit DP001127 Schedule B

337 Robson Street

SITE PLANS AND PROJECT DATA

PROJECT DATA

legal description

LT 4 BLK 28 SEC1 NANAIMO DIST PL 564 EXC THAT PART LYING SW OF A BOUNDARY PARALLEL TO AND PERPENDICULARLY

civic address
337 ROBSON STREET
NANAIMO, B.C.

zoning

	permitted	proposed
Site Coverage	100%	100%
Front Yard Setback	0	0
Rear Yard Setback	0	0
Side Yard Setback	0	0

Building Height 12m 16.08m

site size

Site Area 497.6m²

Floor Area Ratio (FAR) (2.75) 1368.4m² (2.74) 1367.2m²

parking required provided

residential 14 11
+3 RENTED OFF SITE

Floor Area (Gross Enclosed)

Level 1 (Parking & Lobby)	496.2m ²	Lobby, parking & storage, excluded
Level 2 (Residential)	381.2m ²	9 STUDIO UNITS
Level 3 (Residential)	381.2m ²	9 STUDIO UNITS
Level 4 (Residential)	381.2m ²	9 STUDIO UNITS
Level 5 (Residential)	223.6m ²	4 STUDIO UNITS
Total	1367.2m ²	31 STUDIO UNITS

LEGEND

SYMBOL	DESCRIPTION
	CITY BUILDING GRADES
	EXISTING & FINISH ELEVATIONS
	BUILDING SECTION
	WALL SECTION
	WINDOW TYPE
	DOOR TYPE
	WALL TYPE
	INTERIOR ELEVATIONS
	DETAIL
	EXIT SIGN
	EMERGENCY EXIT
	HOSE BIB
	FIRE ALARM PULL STATION
	TRAVEL DISTANCE
	CATCH BASIN (CB)

DRAWING LISTS

CONTEXT	ARCHITECTURAL
C1 CONTEXT MAP & LOCATION PLANS	DP01 PROJECT DATA, SITE PLAN, PROJECT TEAM
C2 STREETSCAPES	DP02 GROUND FLOOR & LEVEL 2 FLOOR PLANS
	DP03 LEVEL 3/4 & LEVEL 5 FLOOR PLANS
	DP04 ROOF PLAN
	DP05 ELEVATIONS
	DP06 SECTIONS
	DP07 EXTERIOR MATERIALS
	DP08 RENDERINGS & SCHEMATIC VIEW ANALYSIS
	SCHEDULE D- REPORT
	LDP1 LANDSCAPE PLAN
	LDP2 LANDSCAPE PLAN
	LAND SURVEY PLAN

PROJECT TEAM

OWNERS

MERIDIAN MODULAR
SUITE 1910, 1095 WEST PENDER ST.
VANCOUVER BC V6E 2M6
TEL. 604 682-7511

KIRK ROMERO
CHIEF EXECUTIVE OFFICER (CEO)
EMAIL - kirk@meridianmodular.co

ARCHITECTURE PLANNING

OMICRON ARCHITECTURE ENGINEERING
ARCHITECTURE
IVICA MARINIC
FIFTH FLOOR, THREE BENTAL CENTER
590 BURRARD STREET
PO BOX 49369 VANCOUVER, B.C.
V7X 1L4
TEL. 403 680 4727
ARCHITECT
EMAIL - imarinic@omicronaec.com

DESIGN

MERIDIAN MODULAR
MEHDI KAMALI
CONSTRUCTION TECHNOLOGIST
TEL. 604 682 7511 ext. 3
EMAIL - mehdi@meridianmodular.co

MARK SUNDIN
QUALITY CONTROL MANAGER
TEL. 604 682 7511 ext. 4
EMAIL - mark@meridianmodular.co

LANDSCAPE ARCHITECT

BLOOM LANDSCAPE ARCHITECT
TEL. 250-218-1303 | www.bloom-la.com
LINDSAY CLEMENT
LANDSCAPE ARCHITECT
EMAIL - kennethking@shaw.ca

CIVIL ENGINEERING

CORE CONCEPT CONSULTING
220-2639 VIKING Way
RICHMOND, B.C. V6V 3B7
TEL. 604-249-5040 FAX 604-249-5041
DAVID R. KOZAK
SENIOR PROJECT MANAGER
EMAIL - drkozak@coreconceptconsulting.com

GEOTECHNICAL

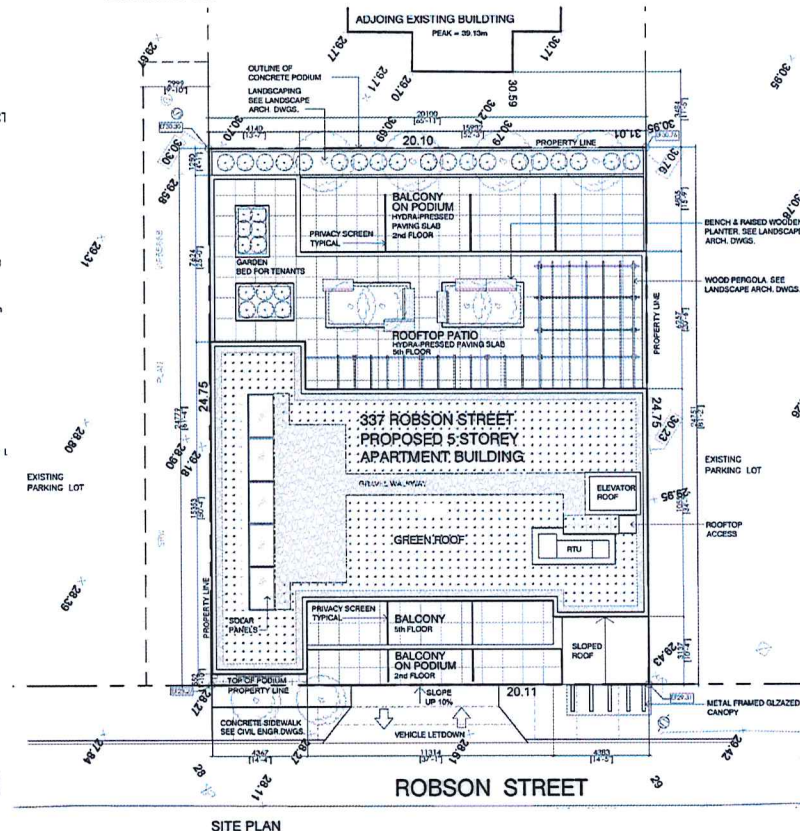
LEWKOWICH ENGINEERING
TEL. 250 756 0355
STEVEN STACEY
EMAIL -

LAND SURVEYOR

McELHANNNEY
McELHANNNEY ASSOCIATES LAND SURVEYING I
1-1351 ESTEVAN ROAD
NANAIMO B.C. V8S 3Y3
TEL. 250 716 3336
BRODY PHILLIPS
EMAIL -



LOCATION PLAN



SITE PLAN

OMICRON
Fifth Floor, Three Bental Centre
590 Burrard Street
PO Box 49369, Vancouver, BC
V7X 1L4 CANADA
CONSULTANT
Telephone: 1 877 632 3369
Tel: 604 632 3369
Fax: 604 632 3361
www.omicronaec.com

ISSUED
DATE REMARKS
1 FEB 28, 2019 ISSUED FOR DP

MERIDIAN
GROUP OF COMPANIES

RECEIVED
DP 1127
2019-FEB-28
Project Planning

ROBSON STREET
APARTMENT
NANAIMO, BC
337 ROBSON STREET

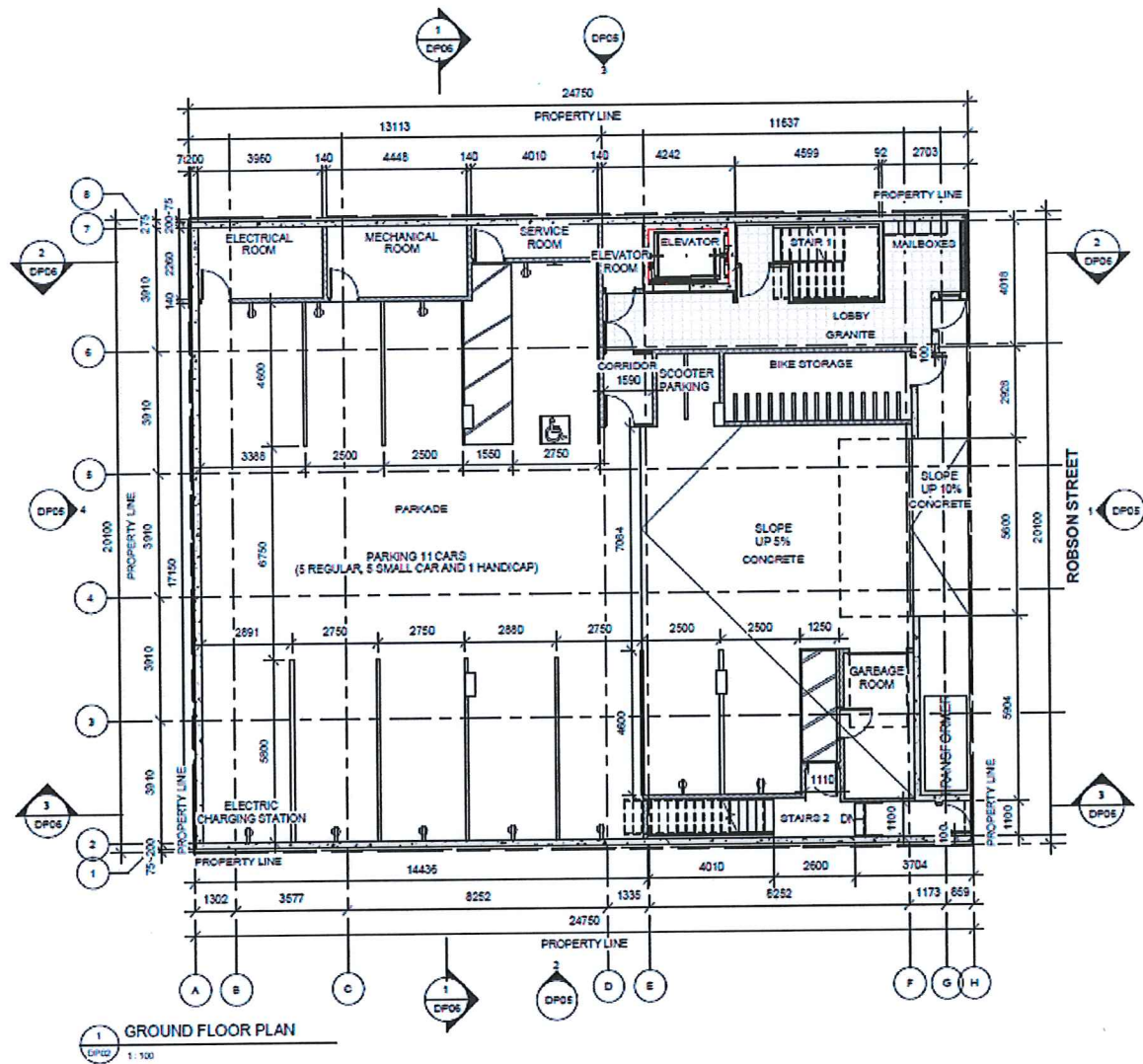
Drawn: JCK Checked: IM
Project Number 10-18-108

OMICRON ARCHITECTURE ENGINEERING LTD.

This drawing is a representation of a project and is not a contract. It is the responsibility of the client to ensure that the project is completed in accordance with the drawing. The drawing is not to be used for any other purpose without the written consent of Omicron Architecture Engineering Ltd.

PROJECT DATA, SITE PLAN, PROJECT TEAM

DP01



Underground Parking



MERIDIAN PARTNERS
Suite 1910, 1095 West Pender St.
Vancouver BC V6E 2M6
Email: info@meridianpartners.ca
Website: www.meridianpartners.ca



Development Permit DP001127
337 Robson Street

Schedule C

BUILDING ELEVATIONS

EXTERIOR MATERIAL

1. ALCOTEX-ALUMINUM COMPOSITE PANEL TYPE 1
2. POURED IN PLACE CONCRETE WITH REVEAL JOINTS PAINTED
3. METAL CORNICE
4. METAL FLASHING
5. METAL ROOF TOP UNIT SCREENING
6. METAL LOUVERED PRIVACY SCREEN
7. DOUBLE GLAZED WINDOW WITH ALUMINUM FRAME
8. PAINTED METAL FRAME GLAZED QUADRANT
9. SOLAR PANELS
10. PARKING SECURITY ORILL OVERHEAD DOOR
11. METAL HOLLOW DOOR
12. VERTICAL METAL PANEL WITH HIDDEN FASTENERS
13. VERTICAL METAL PANEL WITH HIDDEN FASTENERS
14. STAINED WOOD TRELLIS
15. HORIZONTAL METAL PANEL WITH HIDDEN FASTENER - TRIM
16. LONGBOARD FIVE-GROOVE PLANK SYSTEM
17. ALCOTEX-ALUMINUM COMPOSITE PANEL TYPE 2

COLORS

- METALLIC SILVER
GRAY
CHARCOAL GRAY
CHARCOAL GRAY
LIGHT GRAY
CHARCOAL GRAY
DARK GRAY
CHARCOAL GRAY
- CHARCOAL GRAY
CHARCOAL GRAY
RIGOL WHITE
OLD ZINC GREY
RED CEDAR
CHARCOAL GRAY
DARK FIB
DUSTY CHARCOAL



ISSUED	DATE	REMARKS
1	FEB 28, 2019	ISSUED FOR DP

NOTE:
ELEVATIONS HAVE CHANGED

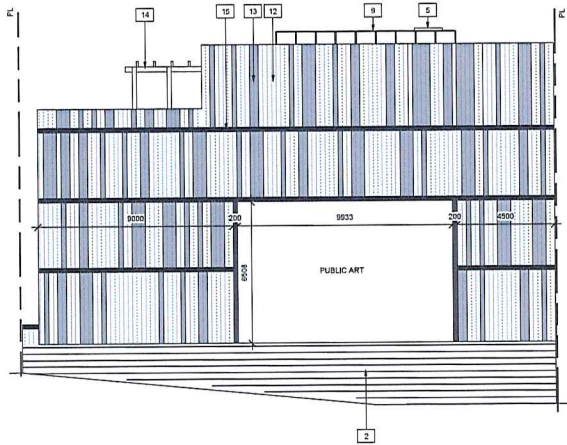


MERIDIAN
GROUP OF COMPANIES

RECEIVED
DP 1127
2019-FEB-28
External Planning

ROBSON STREET
APARTMENT
NANAIMO, BC
337 ROBSON STREET

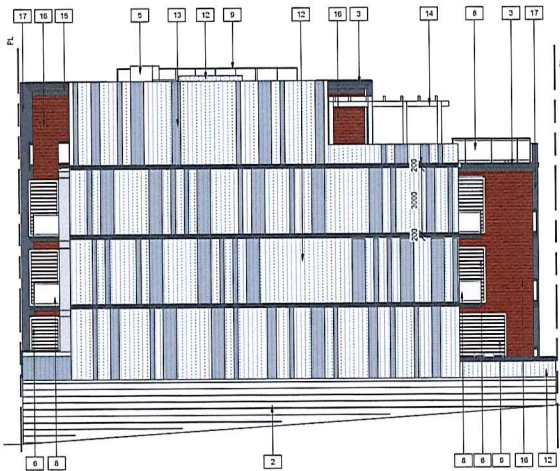
Drawn: CAF, MN Checked: NV
Project Number 10-18-108



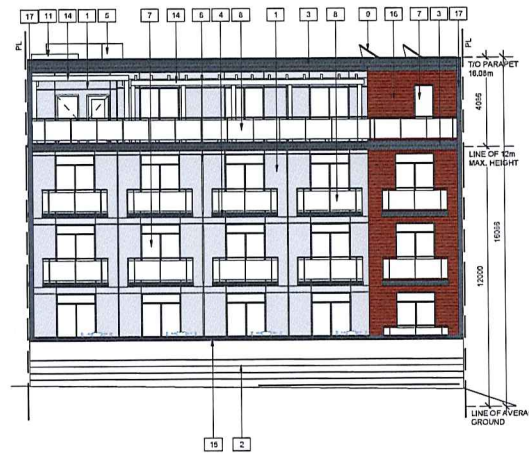
2 SOUTH ELEVATION-
DP05 1:100



1 EAST ELEVATION-
DP05 1:100



3 NORTH ELEVATION-
DP05 1:100



4 WEST ELEVATION-
DP05 1:100

OMICRON ARCHITECTURE ENGINEERING LTD.

This drawing is a copyright of Omicron Architecture Engineering Ltd. It is to be used for the project and site only. It is not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Omicron Architecture Engineering Ltd. The Contractor shall be responsible for all construction details and for any errors or omissions in this drawing.

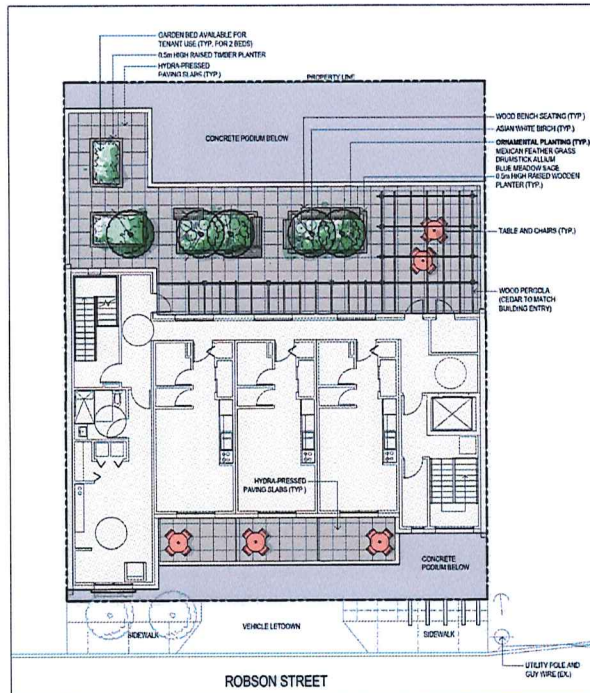
ELEVATIONS

DP05

LEVEL 5

The south facing roof deck on Level 5 provides a generous outdoor area for all residents to enjoy. The space is defined by raised planters and a magnificent pergola of timber beams and wooden slats. Residents can choose to gather in groups or find a quiet place to read a book. The layout is considerate of wheelchair users as all areas are accessible and the table and chairs have movable seating.

Two of the four planters are available for use by residents to grow their own produce and ornamental plants. The remaining planters are filled with meadow style plantings to create all season visual interest and attract pollinators and butterflies. Five birch trees line the deck, providing summer shade, beautiful fall colour and winter form. These trees also play an important role in providing vertical greenery within the development when viewed from the street level and adjacent buildings.



1 LANDSCAPE PLAN - LEVEL 5
 SCALE 1:100

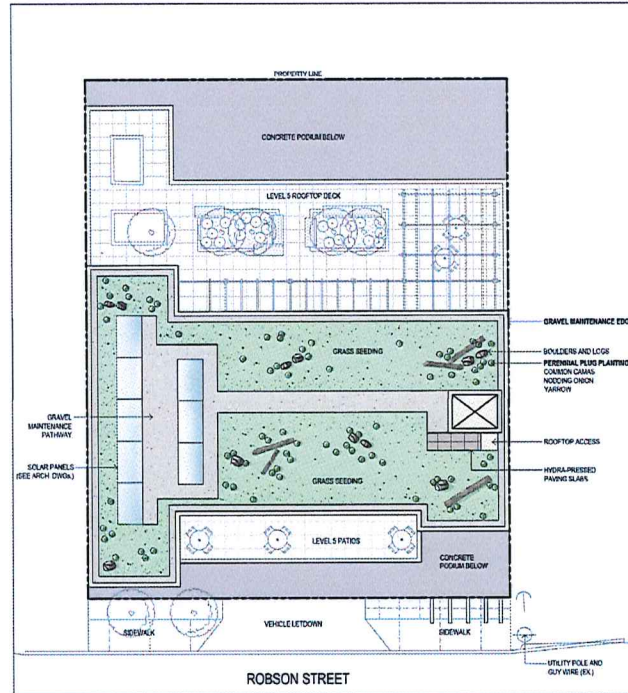


LEVEL 6

The rooftop of the building, Level 6, is a unique, biodiverse part of the landscape. Mimicking a natural grassland, the roof is seeded with several native grass species. Direct seeding allows for a faster establishment period and greater rate of success. The grasses will self seed over the years, thus strengthening the overall root system of the 'grassland'. Flowering perennials are pocket planted throughout the grassed area, which will also self seed.

The flowering perennials will attract pollinators and butterflies to the rooftop. Logs and taller grasses provide nesting opportunities for birds. Being as the rooftop is hotter and more exposed than ground level habitat, naturally pitted boulders collect rainwater and serve as a drinking source for birds and their chicks.

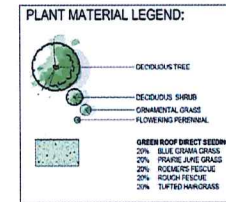
From a low impact development perspective, the green roof decreases pressure on the City storm network by capturing and storing all rainwater. It is the intent that stored water will be used to irrigate the landscape features within the development. Solar panels will be installed as a supplemental energy source for the building.



2 LANDSCAPE PLAN - LEVEL 6
 SCALE 1:100



REPRESENTATIVE PLANT LIST			
CITY	BOTANICAL NAME	COMMON NAME	SIZE / SPACING
TREES			
4	<i>Quercus laevis</i> 'Tama' 'Pamela'	Little Parrot's Kousa Dogwood	4.5m Cal.
5	<i>Quercus laevis</i> 'Tama' 'Pamela'	Pinkland Filler Asian White Birch	4.5m Cal.
SHRUBS			
10	<i>Quercus laevis</i> 'Tama' 'Pamela'	Green Velvet Bougainvillea	M3 Cont.
ORNAMENTAL GRASSES & PERENNIALS			
20	<i>Quercus laevis</i> 'Tama' 'Pamela'	Drumstick Allium	100 / Plant in lot
20	<i>Quercus laevis</i> 'Tama' 'Pamela'	Medicinal Feather Grass	M31 Cont.
10	<i>Quercus laevis</i> 'Tama' 'Pamela'	Fluoropetalum in Blue Meadow Slope	M31 Cont.
GREEN ROOF			
25	<i>Quercus laevis</i> 'Tama' 'Pamela'	Yarrow	Plug
25	<i>Quercus laevis</i> 'Tama' 'Pamela'	Mocking Oriole	Plug
20%	<i>Quercus laevis</i> 'Tama' 'Pamela'	Blue Grama Grass	Seed
20%	<i>Quercus laevis</i> 'Tama' 'Pamela'	Common Grass	Plug
20%	<i>Quercus laevis</i> 'Tama' 'Pamela'	Pringle June Grass	Seed
20%	<i>Quercus laevis</i> 'Tama' 'Pamela'	Rough Fescue	Seed
20%	<i>Quercus laevis</i> 'Tama' 'Pamela'	Tufted Hairgrass	Seed



Development Permit DP001127 Schedule E
337 Robson Street

OFF-SITE PARKING PLAN



⊙ OFF-SITE PARKING LOCATION
NTS



MERIDIAN PARTNERS
Suite 1910, 1095 West Pender St.
Vancouver BC V6E 2M6
Email: info@meridianpartners.ca
Website: www.meridianpartners.ca



Development Permit DP001127
337 Robson Street

Schedule F

**SCHEDULE D - AMENITY REQUIREMENTS
FOR ADDITIONAL DENSITY**

CATEGORY 1

- NEARBY LOCAL AMENITIES MAP – *Showing distance from 337 Robson St., Nanaimo*
- EXISTING Civil services drawing or map.

CATEGORY 2

- APPENDIX B – LANDSCAPE DESIGN PLAN WITH DETAILS FOR POINTS – E, F, G, H & I
- EDUCATIONAL SIGNAGE - RE: Protected or Planted Trees, Animal Habitat, or other Natural Features on the site.

CATEGORY 3

- MODO CAR SHARE DOCUMENTS AND PARKING MAP
- PARKING PLAN ADDENDUM
- EDUCATIONAL SIGNAGE- RE: On Sustainable Transportation Alternatives available on site or in the immediate area.

CATEGORY 4

- Forest Stewardship Council Wood Products Assurance Letter – Provided by Architect along with a Wood Use Plan.
- Waste Management plan – Provided by GC at time of BP application
- Educational Signage – RE: Sustainable use of building materials used during construction of the project

CATEGORY 5

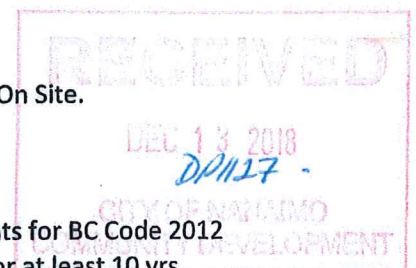
- ASSURANCE LETTER FROM MECHANICAL ENGINEER – RE: Stating the project will exceed ASHRAE 90.1 2010 standards by 5% or more. Provided at time of BP
- LC for 1% of Construction Costs by Developer to City – To be returned at time of completion of provisions of the above designate.
- EDUCATIONAL SIGNAGE- RE: Indicating the Sustainable Energy Management Practices Used On Site.

CATEGORY 6

- ASSURANCE LETTER FROM MECHANICAL ENGINEER – RE: Indicating our water or plumbing features will use 35% less water than the BC Building Code Standard
- LANDSCAPE PLAN – RE: Green Roof min 30% of roof space
- LANDSCAPE PLAN – RE: Water Irrigation System Details
- EDUCATIONAL SIGNAGE- RE: Sustainable Water Management Practices Used On Site.

CATEGORY 7

- FLOOR PLANS SHOWING – 10% of Suites meet all the Accessibility Requirements for BC Code 2012
- Letter from Developer – Assuring that: 1) Suites will not be stratified or sold for at least 10 yrs.
- LANDSCAPE PLAN – RE: SHOWING ROOFTOP GARDEN DESIGN
- PERMANENT SIGNAGE – RE: HERITAGE ELEMENTS (History of area or lot – Nanaimo Historic Info)



Schedule D – Amenity Requirements For Additional Density

337 ROBSON ST., NANAIMO, BC – TIER 2 RATIONALE

This report will show how the proposed development at 337 Robson St, will achieve the 60 of 125 points required in the 7, Tier 2 Categories, to achieved additional requested density for this development.

Please see the charts and attached addendum pages of this document for specific details on how the category point totals are calculated.

Category 1 - Site Selection (10 points required)

<u>Amenity</u>		<u>Possible Points</u>	<u>Assessed Points</u>	<u>COMMENTS</u>
		20	9	
B	The proposed development is located on an existing street where the location does not require any new infrastructure such as storms drains, curbs or sidewalks.	3	3	The proposed development has the necessary infrastructure for a medium density development.
C	The proposed development is located within 200m of a park or trail network	1	1	<i>Small Park at 280 Wallace St. - 162m</i>
D	The proposed development is located within 400m of any of the following:	/5		<u><i>As the crow flies' distance</i></u>
	- retail store;		1	Window Seat Books – 309C Wesley St., Nanaimo (94 meters) See Appendix "A"
	- daycare facility;		1	Katie's Corner Child Care - 357 Wesley St, Nanaimo (160 meters)
	- Nanaimo Regional District transit bus stop;		1	Bus stop number 109-771 Fitzwilliams at Westley (107 meters)
	- any PRC (Parks, Recreation and Culture) Zoned property; and / or		1	Piper Park - (361 meters)
	- a CS-1 (Community Service One) zoned property.		1	451 Selby – Selby Place (305 meters)
	(1 point each)			

Category 2 - Retention & Restoration of Natural Features (8 points required)

<u>Amenity</u>		<u>Possible Points</u>	<u>Assessed Points</u>	<u>COMMENTS</u>
		16	9	PASS
C	The proposed development includes at least 50% retention of natural soils.	1	1	Soil removed for excavation will be recycled and put into planters on the roof top garden and as back fill.
E	The proposed development includes street trees.	1	1	See Landscape Architectural Plan Appendix "B" for details
F	After re-planting, the proposed development does not result in a net loss of trees with a caliper greater than 6cm.	1	1	See Landscape Architectural Plan Appendix "B" for details
G	Post development, the total amount of trees on the property, or adjacent road right of-way or public space is at least 20% more than the number of trees on the property before development.	2	2	See Landscape Architectural Plan Appendix "B" for details
H	Restore a minimum of 50% of the site area (excluding the building footprint) by maintaining pervious surfaces.	3	3	See Landscape Architectural Plan Appendix "B" for details
I	The development includes permanent educational signage or display(s) regarding the protected or planted plants, trees, animal habitat or other natural features on the site.	1	1	See - Addendum "S" Signage Plan for more details.

Category 3 - Parking & Sustainable Transportation (10 points required)

<u>Amenity</u>		<u>Possible Points</u>	<u>Assessed Points</u>	<u>COMMENTS</u>
		20	15	PASS
B	At least one parking space is clearly marked and designated for the exclusive use of a vehicle belonging to a car share or car co-op. (Modo is the only Car Share program)	1	1	See Addendum "C", MODO Car Share Program
C	The developer purchases a new car and gifts the car to a recognized car share provider for the inclusion of a car share space on the subject property.	4	4	See Addendum "C", MODO Car Share Program
D	The parking area within the proposed development includes at least one vehicle charging station. electric	1	1	See Parking Plan - Addendum "D"
E	A minimum of 80% of the total parking area is located underground or in a parking structure incorporated into the design of the building.	4	4	See Parking Plan - Addendum "D"
F	The proposed development includes covered & designated parking spaces for a designated motorcycle parking space to accommodate the following # of spaces:	2	2	See Parking Plan - Addendum "D"
	a) multiple family residential developments: 1 motorized scooter or motorcycle space per 15 dwelling units; and			See Parking Plan - Addendum "D"
	b) non-residential uses: 1 motorized scooter or motorcycle space per 600m ² of Gross Floor Area for the first 5000m ² plus one space per 1500m ² of additional Gross Floor Area.; and			See Parking Plan - Addendum "D"
	c) a minimum of one electronic plug-in is provided to accommodate at least one electric scooter or electronic bicycle.			See Parking Plan - Addendum "D"
H	Parking does not exceed minimum parking requirements within the City's Development Parking Regulations Bylaw.	2	2	See Parking Plan - Addendum "D"

I	The development includes signage or display(s) regarding sustainable transportation alternatives available on site or within the immediate area.	1	1	See - Addendum "S" Signage Plan for more details.
---	--	---	---	---

Category 4 - Building Materials

(8 points required)

Amenity	Possible Points	Assessed Points	COMMENTS
	16	6	

C	At least 50% of all wood products used in construction are certified by the Forest Stewardship Council (FSC) Canada.	3	3	Decorative wood elements building exterior and roof top garden pergola etc. See Appendix "E" Architect Letter & Wood Use Plan
E	The project developer has submitted a construction and waste management plan that, at a minimum, identifies the materials to be diverted from disposal and whether the materials will be sorted onsite or comingled.	2	2	Waste Management Plan will be submitted with the Building Permit by the General Contractor.
H	The development includes permanent educational signage or display(s) regarding the sustainable use of building materials used during construction of the project.	1	1	See - Addendum "S" Signage Plan for more details.

Category 5 - Energy Management

(6 points required)

Amenity	Possible Points	Assessed Points	COMMENTS
	16	6	PASS

A	The project developer has provided all of the following:	5	5	
	a) letter from an mechanical engineer or equivalent consultant stating that the project exceeds the ASHRAE 90.1 2010 Energy Standard by 5% or more; and			Mechanical Engineer to provide letter with Building Permit Submission.

	b) letter of credit for 1% of construction costs, prior to the issuance of a building permit, to be returned upon successful provision of all of the above designate.			<i>Meridian will submit at BP Stage.</i>
C	The development includes permanent education signage or display(s) regarding sustainable energy management practices used on site.	1	1	<i>See - Addendum "S" Signage Plan for more details.</i>

Category 6 - Water Management

(8 points required)

<u>Amenity</u>	<u>Possible Points</u>	<u>Assessed Points</u>	<u>COMMENTS</u>
	16	9	PASS

A	At least 50% of the property is covered with a permeable surface area which may include a green roof.	2	2	<i>See Landscape Architectural Plan Appendix "B" for details</i>
B	The proposed buildings on the property include plumbing features which will use 35% less water than the BC Building Code standard.	2	2	<i>A Letter from mechanical engineer required will be submitted at Building Permit Stage.</i>
C	A green roof is installed to a minimum 30% of the roof area.	3	3	<i>Will be greater than 30% of roof area. See Landscape Architectural Plan Appendix "B" for details</i>
F	A water efficient irrigation system (such as drip) is installed.	1	1	<i>See Landscape Architectural Plan Appendix "B" for details</i>
H	The development site includes permanent educational signage or a regarding sustainable water management practices used on site. display(s)	1	1	<i>See - Addendum "S" Signage Plan for more details.</i>

Category 7 - Social & Cultural Sustainability**(10 points required)**

<u>Amenity</u>		<u>Possible Points</u>	<u>Assessed Points</u>	<u>COMMENTS</u>
		21	8	To be reviewed.
B	At least 10% of the residential dwelling units meet all the accessibility requirements within the British Columbia Building Code 2012 (BCBC) or any subsequent Act or Acts which may be enacted in substitution therefore.	3	3	Yes. See detailed floor plans in Appendix "F"
C	The developer agrees to enter into a Housing Agreement with the City of Nanaimo to ensure that at least 50% of all residential units shall not be stratified or sold independently for at least ten years after the building receives final occupancy.	3	3	Meridian agrees to a Housing Agreement with the City of Nanaimo.
H	A dedicated garden space is provided to building residents and/or members of the community in which users are given the opportunity to garden.	1	1	Our rooftop garden will include 3x 3'x5'ft raised gardening plots, for resident community gardening. See Landscape Architectural Plan Appendix "B" for details.
I	The development site includes permanent heritage interpretive signage or heritage building elements where relevant.	1	1	See - Addendum "S" Signage Plan for more details.

Schedule D Point Total:**62**