



DEVELOPMENT PERMIT NO. DP001111

BRANRIC ENTERPRISES LTD.

Name of Owner(s) of Land (Permittee)

2202 MEREDITH ROAD

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT 1, SECTION 17, RANGE 7, MOUNTAIN DISTRICT, PLAN EPP83590

PID No. 030-481-040

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan

Schedule B Site Plan

Schedule C Building Elevations

Schedule D Landscape Plan

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:


1. *Section 7.5.1 Siting of Buildings* –to reduce the minimum required front yard setback along Tulsa Road from 6m to 3.5m.
2. *Section 7.5.1 Siting of Buildings* –to reduce the minimum required side yard setback along the north property line from 3m to 1.83m.
3. *Section 7.5.1 Siting of Buildings* –to reduce the minimum required rear yard setback along the west property line from 7.5m to 3.77m.

CONDITIONS OF PERMIT

1. The subject property is developed in accordance with the Site Plan prepared by Alan Lowe Architect Inc., dated 2018-DEC-06 as shown on Schedule B.
2. The subject property is developed in substantial compliance with the Building Elevations prepared by Alan Lowe Architect Inc., dated 2018-AUG-20 as shown on Schedule C.
3. The subject property is developed in substantial compliance with the Landscape Plan prepared by Alan Lowe Architect Inc., dated 2018-AUG-29 as shown on Schedule D.

REVIEWED AND APPROVED ON

March 21, 2019.
Date

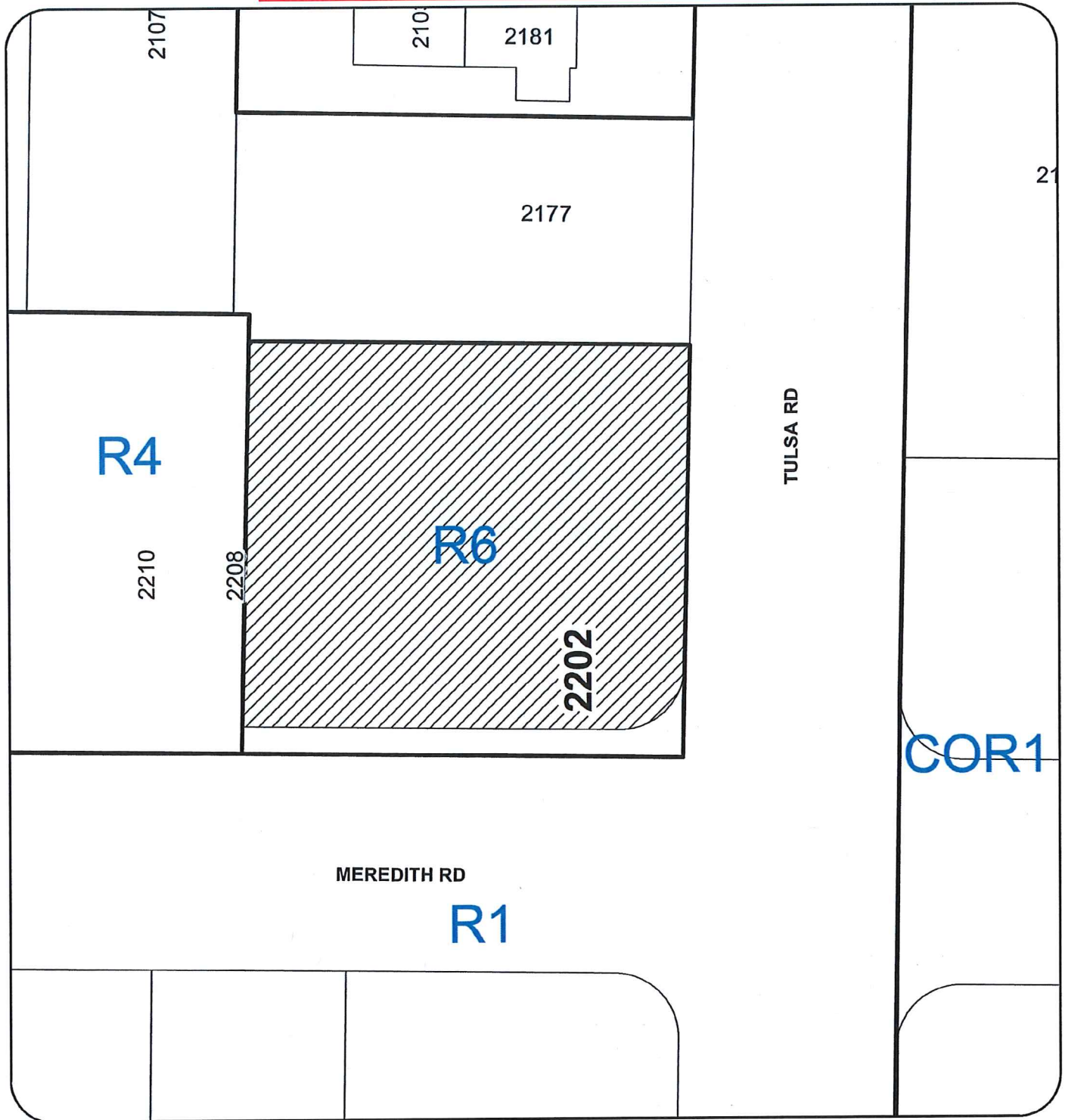

J. Holm, Acting Director
Community Development
Pursuant to Section 154 (1)(b) of the Community Charter

LW/in
Prospero attachment: DP001111

Development Permit DP001111
2202 Meredith Road

Schedule A

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP001111

LOCATION PLAN

Civic: 2202 MEREDITH ROAD
Legal Description: LOT 1, SECTION 17,
RANGE 7, MOUNTAIN DISTRICT,
PLAN EPP83590



Subject Property

SITE PLAN

SRW PLAN EPP50394

Side Yard
Variance

PROJECT INFORMATION

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LEGAL ADDRESS: LOT 1 PLAN VP34388 SECTION 17 RANGE 7 LAND DISTRICT 31

CIVIC ADDRESS: 2202 MEREDITH ROAD NANAIMO, B.C.

ZONING DATA

ZONING: R6 SITE SPECIFIC
SITE AREA: 15,875 sq.ft. [1,475 m²]
GROSS FLOOR AREA (EXCLUDING GARAGE): 10,888 sq.ft. [993 m²]
GROSS FLOOR AREA (INCLUDING GARAGE): 13,058 sq.ft. [1213 m²]
FLOOR AREA RATIO: 0.63
FLOOR AREA RATIO (INCLUDING GARAGE): 0.77

SITE COVERAGE: PERMITTED : PROPOSED
40% (max.) 30%

NUMBER OF UNITS: 8 (2 BD UNITS)
NO. OF PARKING STALLS: PROVIDED : REQUIRED
13 1.62 X 8 = 12.96 STALLS
(INCLUDING 1 HANDICAPPED STALL & 4 SMALL CAR STALLS)

MAX. BUILDING HEIGHTS: PERMITTED : PROPOSED
BLOCK #1: 9.2 m (max.) : 6.9 m [22'-7 1/2"]
BLOCK #2: 9.2 m (max.) : 6.9 m [22'-7 1/2"]
BLOCK #3: 9.2 m (max.) : 9.2 m [30'-2 1/2"]

SETBACKS: REQUIRED : PROPOSED
FRONT: 6.0 m [19'-8 1/4"] (min.) : 3.51 m [11'-6"] ***
REAR: 7.5 m [24'-7 1/4"] (min.) : 3.77 m [12'-4 1/2"] ***
FLANKING SIDE: 4.0 m [13'-1 1/2"] (min.) : 5.53m [18'-2"]
INTERIOR SIDE: 3.0 m [9'-10"] (min.) : 1.83 m [6'-0"] ***

NOTES:
*** VARIANCE REQUIRED FOR THESE SETBACKS.

AVERAGE GRADES:
BLOCK #1: 99.0 m
CALCULATION POINTS J TO M:
99.5+99.5+99.5+99.5 / 4 = 99.0 m
BLOCK #2: 99.3 m
CALCULATION POINTS A TO D:
99.8+99.3+99.5+99.8 / 4 = 99.43 m
BLOCK #3: 99.82 m
CALCULATION POINTS E TO H:
99+99.0+99.5+99 / 4 = 99.62 m

5	REVISIONS TO DP	00 DEC 18
4	REVISIONS TO DP	20 AUG 18
3	DEVELOPMENT APPLICATION 20 JUN 18	
2	DEVELOPMENT APPLICATION 10 MAY 18	
1	RECORDING APPLICATION	11 DEC 17

No. Issued / Revisions Date

alan lowe architect inc.

#118-21 Elm Street, Nanaimo, British Columbia V9S 3G5

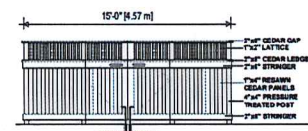
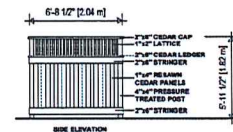
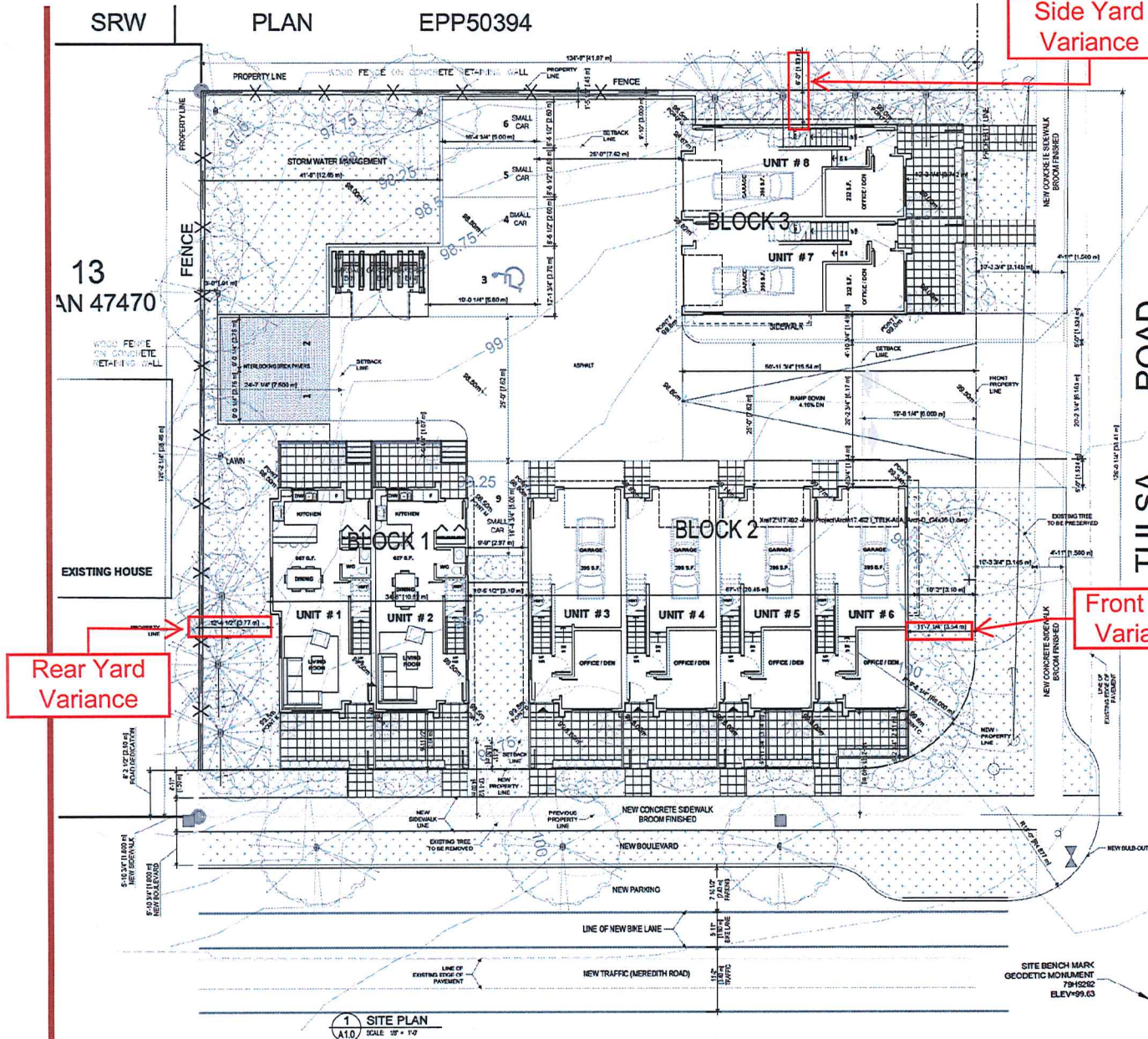
PROPOSED RESIDENTIAL DEVELOPMENT

2202 MEREDITH ROAD NANAIMO, B.C.

SITE PLAN

RECEIVED
DP 1111
2018-FEB-05
6:01 PM
project no.: 17-510
date: 19 SEP 2018
drawn: AL NOTED
checked by: LOWE
designed by: TS - JA
scale: 1/8"

A1.0

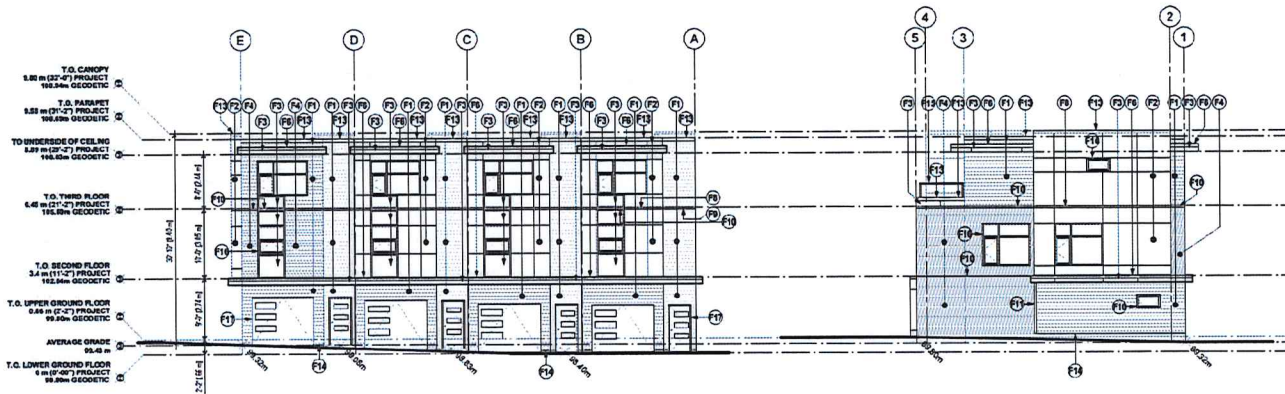


2 GARBAGE ENCLOSURE

SCALE: 1/4" = 1'-0"

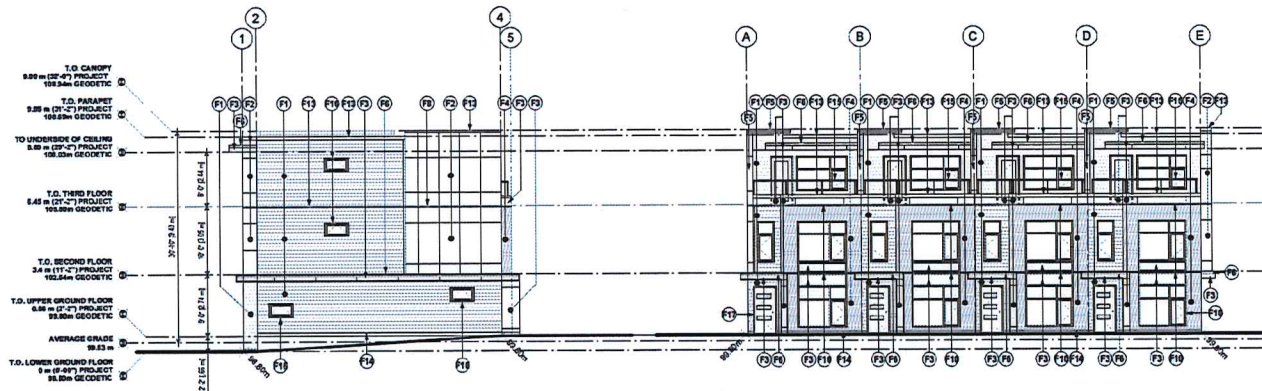
BUILDING ELEVATIONS

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1 BLOCK #2 - NORTH ELEVATION
A3.0 SCALE: 1/8" = 1'-0"

2 BLOCK #2 - EAST ELEVATION
A3.0 SCALE: 1/8" = 1'-0"



3 BLOCK #2 - WEST ELEVATION
A3.0 SCALE: 1/8" = 1'-0"

4 BLOCK #2 - SOUTH ELEVATION
A3.0 SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES & NOTES:

- F1 HARDE PLANK ARTISAN LAP SIDING
MONTEREY TAUPP (SAME COLOUR TO BE USED FOR TRIM)
- F2 HARDE REVEAL PANEL
EVENING BLUE
- F3 HARDE REVEAL PANEL
ROCK EXPOSURE
- F4 HORIZONTAL T&G CEDAR SIDING
- F5 PREFINISHED SHEET METAL PANELS
RIDEAU BROWN (R7127) - WEICRAFT MANUFACTURING COMPANY
- F6 PREFINISHED METAL FLASHING
RIDEAU BROWN (R7127) - WEICRAFT MANUFACTURING COMPANY
- F7 THROUGH WALL METAL FLASHING
COLOUR TO MATCH HARDE REVEAL PANEL, EVENING BLUE
- F8 THROUGH WALL METAL FLASHING
COLOUR TO MATCH HARDE PLANK LAP SIDING, MONTEREY TAUPP
- F9 THROUGH WALL METAL FLASHING
RIDEAU BROWN (R7127) - WEICRAFT MANUFACTURING COMPANY
- F10 VERTICAL THROUGH WALL METAL FLASHING
COLOUR TO MATCH HARDE PLANK LAP SIDING, MONTEREY TAUPP
- F11 VERTICAL THROUGH WALL METAL FLASHING
RIDEAU BROWN (R7127) - WEICRAFT MANUFACTURING COMPANY
- F12 PREFINISHED METAL LAP FLASHING
RIDEAU BROWN (R7127) - WEICRAFT MANUFACTURING COMPANY
- F13 THROUGH WALL BASE METAL FLASHING
RIDEAU BROWN (R7127) - WEICRAFT MANUFACTURING COMPANY
- F14 ROOF PARAPET MOUNT PREFINISHED ALUMINUM QUARTER ROUNDS w/ GLAZING
- F15 VINYL WINDOW
CADACIA COMMERCIAL BROWN 57
- F16 VINYL DOOR
CADACIA COMMERCIAL BROWN 57
- F17 CONCRETE RETAINING WALL
- F18 PREFINISHED ALUMINUM QUARTER ROUNDS w/ GLAZING

alan lowe architect inc.
#118 - 21 Elm Street,
Vancouver, British Columbia
1 250.360.2888

PROPOSED RESIDENTIAL
DEVELOPMENT

2202 MEREDITH ROAD
VANCOUVER, BC

Block #2
ELEVATIONS

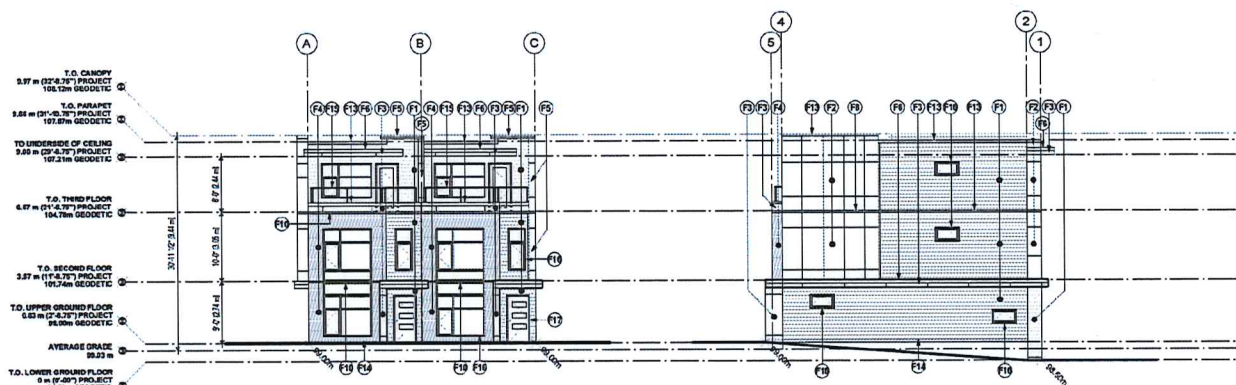
project no.: 17-510
date: 29 AUG 2018
checked by: LOWE
drawn by: AL, DM
sheet no.:

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DP 1111
2018-AUG-20
City of Vancouver

A3.0

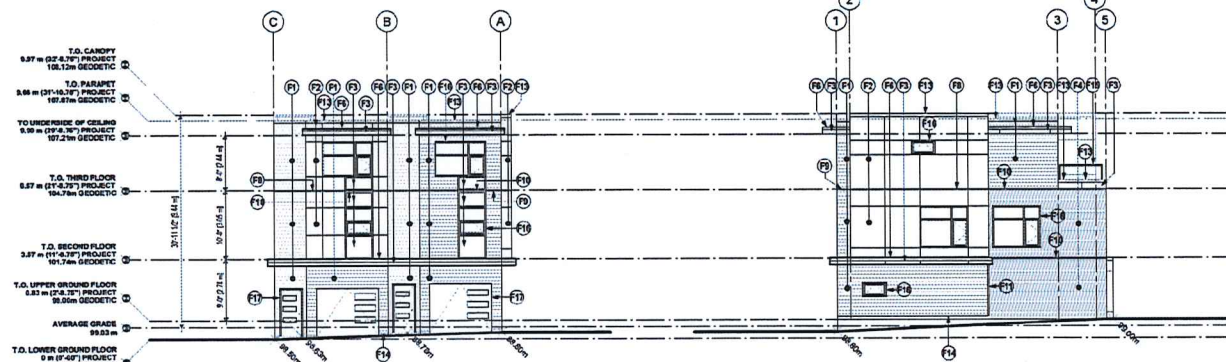
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PROJECT NO. 17-510



1 BLOCK #3 - EAST ELEVATION
A3.1 SCALE: 1/8" = 1'-0"

2 BLOCK #3 - NORTH ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



3 BLOCK #3 - WEST ELEVATION
A3.1 SCALE: 1/8" = 1'-0"

4 BLOCK #3 - SOUTH ELEVATION
A3.1 SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES & NOTES:

- (1) HIDE PLANK ARTISAN LAP SIDING
MONTEREY TAUPÉ (SAME COLOUR TO BE USED FOR TRIMS)
- (2) HIDE REVEAL PANEL
DYEING BLUE
- (3) HIDE REVEAL PANEL
RECHESSESSO
- (4) HORIZONTAL TAG CEDAR SIDING
- (5) PRE-FINISHED SHEET METAL PANELS
REDAU BROWN K7273 - YESCRAFT MANUFACTURING COMPANY
- (6) PRE-FINISHED METAL FLASHING
REDAU BROWN K7273 - YESCRAFT MANUFACTURING COMPANY
- (7) THROUGH WALL METAL FLASHING
COLOUR TO MATCH HIDE REVEAL PANEL "DYEING BLUE"
- (8) THROUGH WALL METAL FLASHING
COLOUR TO MATCH HIDE PLANK LAP SIDING "MONTEREY TAUPÉ"
- (9) THROUGH WALL METAL FLASHING
REDAU BROWN K7273 - YESCRAFT MANUFACTURING COMPANY
- (10) VERTICAL THROUGH WALL METAL FLASHING
COLOUR TO MATCH HIDE PLANK LAP SIDING "MONTEREY TAUPÉ"
- (11) VERTICAL THROUGH WALL METAL FLASHING
REDAU BROWN K7273 - YESCRAFT MANUFACTURING COMPANY
- (12) PRE-FINISHED METAL CAP FLASHING
REDAU BROWN K7273 - YESCRAFT MANUFACTURING COMPANY
- (13) THROUGH WALL BASE METAL FLASHING
REDAU BROWN K7273 - YESCRAFT MANUFACTURING COMPANY
- (14) INSIDE PARAPET MOUNT PREFINISHED ALUMINUM GUARDRAILS w/ GLAZING
- (15) VINYL WINDOW
CAUCADA "COMMERCIAL BROWN 312"
- (16) VINYL DOOR
CAUCADA "COMMERCIAL BROWN 312"
- (17) CONCRETE RETAINING WALL
- (18) PREFINISHED ALUMINUM GUARDRAILS w/ GLAZING

DATE / VERSION

4	REVISIONS TO DP	20 AUG 18
3	DEVELOPMENT APPLICATION	20 JUNE 18
2	DEVELOPMENT APPLICATION	10 MAY 18
1	REVISIONS APPLICATION	11 DEC 17

No. Issued / Revisions Date

alan icwe architect inc.

#118 - 21 Elm Street,
Victoria, British Columbia

1 250.900.2884

DATE

PROPOSED RESIDENTIAL
DEVELOPMENT

2101 MCLEOD ROAD,
NANAIMO, BC

drawing title

BLOCK #3
ELEVATIONS

project no.: 17-510

date: 28 AUG 2018 author: AS NOTED

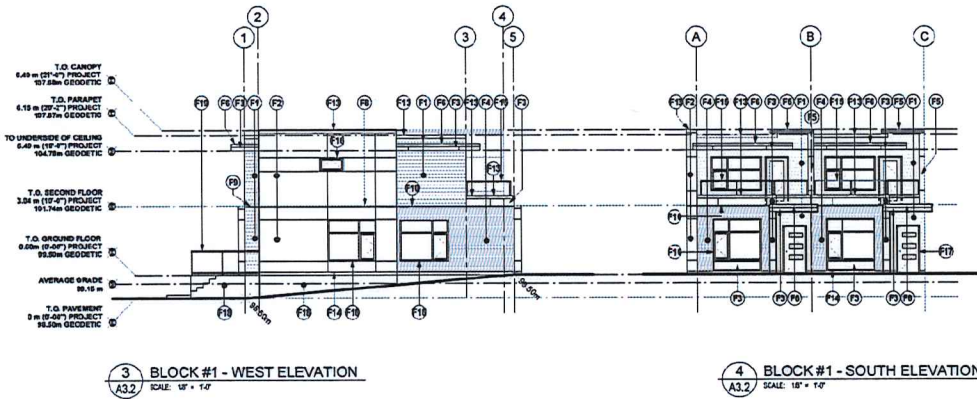
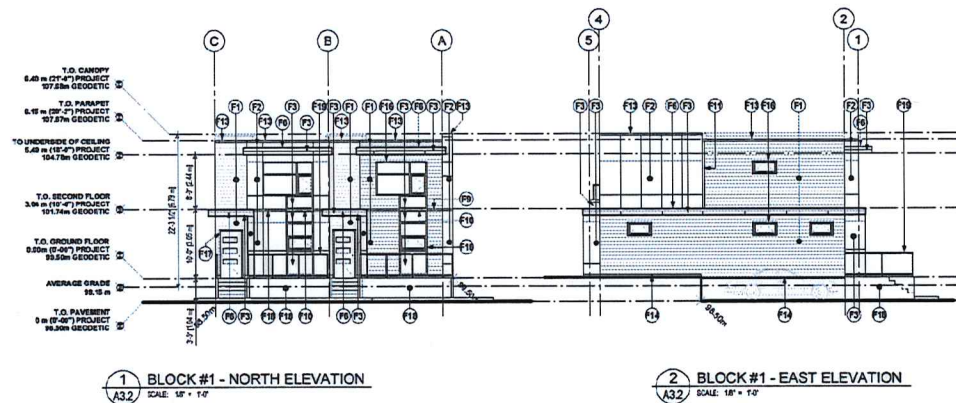
checked by: LOWE, dm checked by: AA, DM

sheet no.:

A3.1

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DP 1111
2018-AUG-20

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EXTERIOR FINISHES & NOTES:

- (P1) HARVEST PLANK ARTISAN LAP SIDING
MONTREY TAUPPE (SAME COLOUR TO BE USED FOR TRUSS)
- (P2) HARVEST REVEAL PANEL
DYEING BLUE
- (P3) HARVEST REVEAL PANEL
MONTREY TAUPPE
- (P4) HORIZONTAL T&G CEDAR SIDING
- (P5) PREFINISHED SHEET METAL PANELS
RED AUBURN (N7123) - WESCRAFT MANUFACTURING COMPANY
- (P6) PREFINISHED METAL FLASHING
RED AUBURN (N7123) - WESCRAFT MANUFACTURING COMPANY
- (P7) THROUGH WALL METAL FLASHING
COLOUR TO MATCH HARVEST REVEAL PANEL "DYEING BLUE"
- (P8) THROUGH WALL METAL FLASHING
COLOUR TO MATCH HARVEST PLANK LAP SIDING "MONTREY TAUPPE"
- (P9) THROUGH WALL METAL FLASHING
RED AUBURN (N7123) - WESCRAFT MANUFACTURING COMPANY
- (P10) THROUGH WALL METAL FLASHING
COLOUR TO MATCH HARVEST PLANK LAP SIDING "MONTREY TAUPPE"
- (P11) VERTICAL THROUGH WALL METAL FLASHING
COLOUR TO MATCH HARVEST PLANK LAP SIDING "MONTREY TAUPPE"
- (P12) VERTICAL THROUGH WALL METAL FLASHING
RED AUBURN (N7123) - WESCRAFT MANUFACTURING COMPANY
- (P13) PREFINISHED METAL CAP FLASHING
RED AUBURN (N7123) - WESCRAFT MANUFACTURING COMPANY
- (P14) THROUGH WALL METAL FLASHING
RED AUBURN (N7123) - WESCRAFT MANUFACTURING COMPANY
- (P15) HIDE PARAPET MOUNT PREFINISHED ALUMINUM QUARTER RAIL w/
GLAZING
- (P16) VINYL SIDING
CASCADIA COMMERCIAL BROWN #27
- (P17) VINYL DOOR
CASCADIA COMMERCIAL BROWN #27
- (P18) CONCRETE RETAINING WALL
- (P19) PREFINISHED ALUMINUM QUARTER RAIL w/ GLAZING

4	REVISION TO DP	20 AUG 18
3	DEVELOPMENT APPLICATION 20 JULIE 18	
2	DEVELOPMENT APPLICATION 10 MAY 18	
1	REVISION TO APPLICATION	11 DEC 17

No. Issued / Revision Date

alan lowe architect inc.
#118 - 21 Elm Street,
Victoria, British Columbia V8P 2M4

**PROPOSED RESIDENTIAL
DEVELOPMENT**

2020 McRITCHIE ROAD
NANAIMO, BC

drawing title:
**BLOCK #1
ELEVATIONS**

project no.:	17-510
date:	20 AUG 2018
drawn by:	LOWE
checked by:	LOWE
approved by:	LOWE

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DP 11111
2018-AUG-20

A3.2

LANDSCAPE PLAN

PROJECT INFORMATION

LEGAL ADDRESS: LOT A PLAN VIP34388 SECTION 17 RANGE 7
LAND DISTRICT 31

CIVIC ADDRESS: 2202 MEREDITH ROAD
NANAIMO, B.C.

ZONING DATA

ZONING:
SITE AREA : 16,993 sq.ft. [1,579 m²]
SITE AREA MINUS SROW: 15,875 sq.ft. [1,475 m²]
GROSS FLOOR AREA: 10,688 sq.ft. [993 m²]
(EXCLUDING GARAGE)

GROSS FLOOR AREA: 13,058 sq.ft. [1213 m²]
(INCLUDING GARAGE)
FLOOR AREA RATIO: 0.63
FLOOR AREA RATIO: 0.77
(INCLUDING GARAGE)

SITE COVERAGE: 30%
NUMBER OF UNITS: 8
NUMBER OF PARKING STALLS: 13
(INCLUDING 1 HANDICAPPED STALL & 4 SMALL CAR STALLS)

BUILDING HEIGHT: 30'-2" (9.19 m)

SUGGESTED PLANT LIST

	Key	Common Name	Latin Name
Trees	RMAP	Red Maple	<i>Acer rubrum</i> var. 'Red Sentinel'
	JMAP	Japanese Maple	<i>Acer palmatum</i> var. 'Bloodgood'
	GLED*	Honey Locust	<i>Gleditsia incanthos</i>
	PLUM	Edible Plum	<i>Prunus</i> sp.
Large Shrubs	PIER	Lily of the Valley Shrub	<i>Persea japonica</i> var. 'Forest Flame'
	LRHO	Large Rhododendron	<i>Rhododendron</i> var. 'Yukon'
Medium Shrubs	MRHA	Rhododendron	<i>Rhododendron</i> var. 'Unique'
	MRHS	Rhododendron	<i>Rhododendron</i> var. 'Christmas Cheer'
	ABE	Glossy Abelia	<i>Abelia x grandiflora</i> var. 'Edward Goucher'
Small Shrubs	DWLF	Dwarf Lily of the Valley Shrub	<i>Persea japonica</i> var. 'Debutante'
	EUJO*	Creeeping Euonymus	<i>Euonymus fortunei</i> var. 'Emerald & Gold'
	AZAW	Evergreen Azalea	<i>Azalea japonica</i> var. 'Gumpo White'
	DWES	Dwarf Escalonia	<i>Escalonia</i> var. 'Newport Dwarf'
Ground Covers	BEAR	Bear-berry	<i>Arctostaphylos uva-ursi</i> var. 'Vancouver Jade'
	BERG	Heart-leaf Bergenia	<i>Bergenia corallifolia</i> var. 'Dressingham Ruby'
	VINC	Pennantile	<i>Vincia minor</i> var. 'Double Blue' & 'Alba'
Grasses	CARX	Vane-petioled sedge	<i>Carex morrowii</i> var. 'Ice Dance'
	HELI	Blue Oat Grass	<i>Helictotrichon sempervirens</i>
	KARL	Festiver Reed Grass	<i>Calamagrostis</i> var. 'Karl Forester'
	FFSC	Blue fescue	<i>Festuca glauca</i> 'Elijah Blue'
Perennials	SCIZ	Kalm's Lily	<i>Scizostylex coiceana</i> var. 'Oregon Sunset'
Vines	CLEM	Montana Clematis	<i>Clematis montana</i> var. 'Jackman's & Elizabeth'
	ARM	Evergreen Clematis	<i>Clematis armandi</i>

Notes: - All landscape work to conform with B.C.S.L.A. / B.C.N.T.A. standard specification.
- All areas to be irrigated with an automatic underground system.

SITE / LANDSCAPE PLAN

AS NOTED

LOWE TS-AA

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DP1111
2019-FEB-25
Current Planning

A1.0