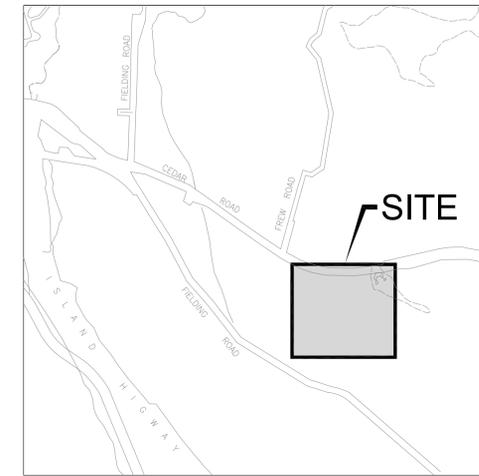


RDN REGIONAL LANDFILL

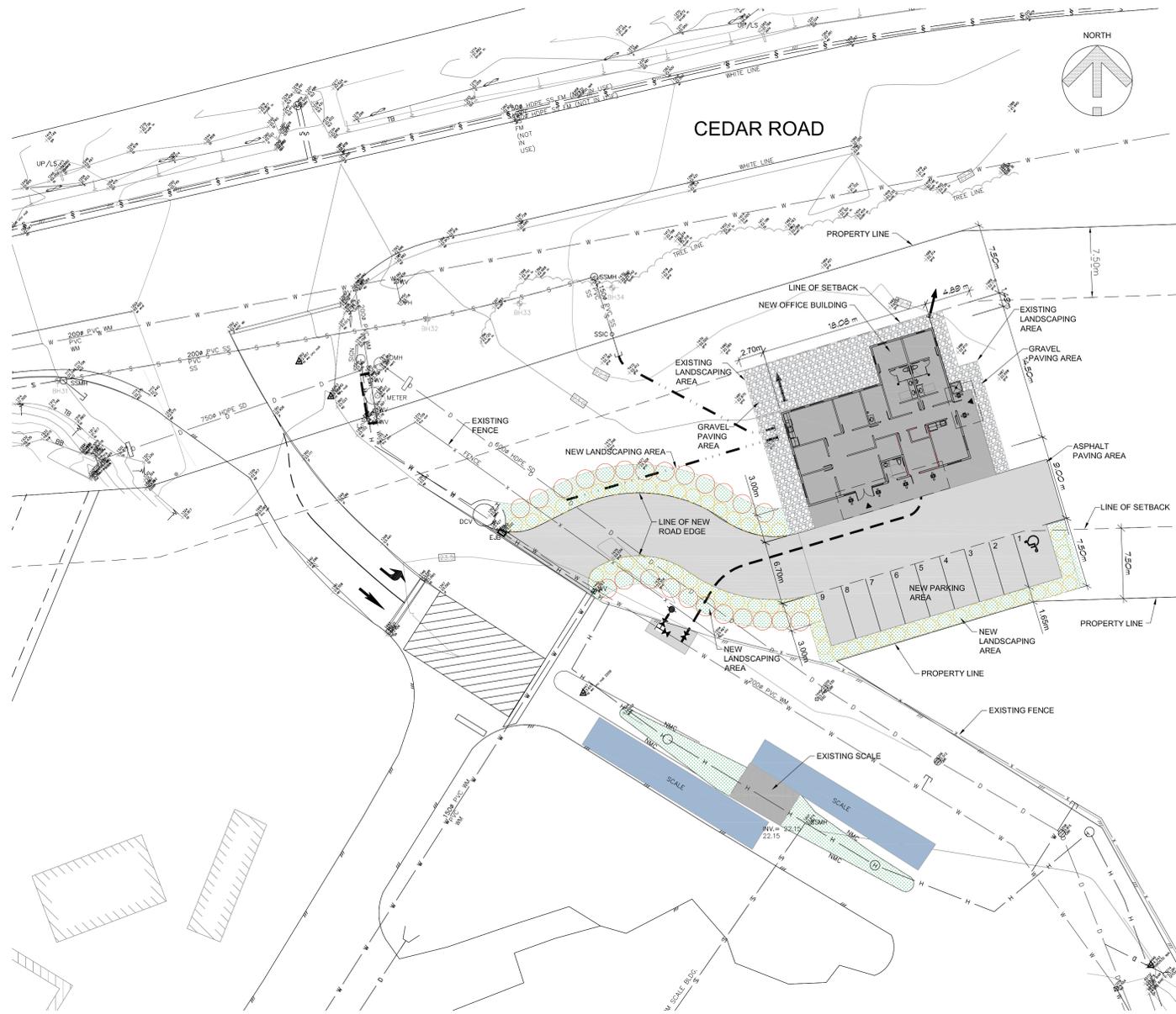
NEW OFFICE BUILDING

ISSUES		
No.	DATE	ISSUED FOR
1	2015.07.30	DEVELOPMENT PERMIT

SUB CONSULTANT



LOCATION PLAN
NTS



OFFICE BUILDING
SITE PLAN
1:300

GENERAL NOTES:

- EXAMINE SITE. ASCERTAIN ALL SITE CONDITIONS PERTINENT TO THE CONTRACT. THE ARCHITECTURAL DRAWINGS DO NOT GUARANTEE EXISTING SITE INFORMATION INDICATED IN THE CONTRACT DOCUMENTS AND THE CONTRACTOR MUST EVALUATE SUCH INFORMATION RELATIVE TO ACTUAL CONDITIONS.
- PERFORM ALL WORK IN ACCORDANCE WITH WORKSAFE BC, AS WELL AS TO CURRENT BRITISH COLUMBIA BUILDING CODE, AND/OR ANY OTHER CODE OF PROVINCIAL OR LOCAL APPLICATION PROVIDED THAT IN ANY CASE OF CONFLICT OR DISCREPANCY, THE MORE STRINGENT REQUIREMENTS OR AUTHORITY HAVING JURISDICTION SHALL APPLY.
- CONTRACTOR IS TO COORDINATE SCHEDULE OR WORK AND RELATED TEMPORARY RELOCATION OF EQUIPMENT AND/OR FURNITURE AS REQUIRED WITH OWNER TO MINIMIZE DISRUPTION TO ACTIVE BUSINESS OPERATIONS.
- MEET OR EXCEED REQUIREMENTS OF CONTRACT DOCUMENTS, SPECIFIED STANDARDS, CODES AND REFERENCED DOCUMENTS.
- FIT WORK AIRTIGHT TO PIPES, SLEEVES, DUCTS AND CONDUITS AND CONFORM TO FIRE STOPPING AND FIRE SEPARATION REQUIREMENTS. CONCEAL PIPES, DUCTS AND WIRING IN FLOOR, WALL AND CEILING CONSTRUCTION OF FINISHED AREAS.
- WHERE WORK INVOLVES BREAKING INTO OR CONNECTING TO EXISTING SITE SERVICES, CARRY OUT WORK AT TIMES DIRECTED BY GOVERNING AUTHORITIES WITH MINIMUM OF DISTURBANCE TO PEDESTRIAN AND VEHICULAR TRAFFIC.
- RECORD LOCATIONS OF MAINTAINED, RE-ROUTED AND ABANDONED SERVICE LINES.
- THE LOCATION OF EXISTING FEATURES, BOTH ABOVE AND UNDERGROUND, HAS BEEN DETERMINED FROM AVAILABLE RECORDS BUT IT IS NOT GUARANTEED. THE LOCATION OF ALL SUCH FEATURES SHALL BE INVESTIGATED AND VERIFIED IN THE FIELD BY THE CONTRACTOR.
- DEMOLITION IN THE VICINITY OF EXISTING STRUCTURES AND UTILITIES SHALL BE CAREFULLY PERFORMED. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR DAMAGE TO AND FOR PROTECTION OF EXISTING STRUCTURES AND UTILITIES.
- ALL THE VARIOUS WORKS SHALL BE EXECUTED IN A WORKMANLIKE MANNER AND OF THE BEST MATERIALS AND WORKMANSHIP IN ACCORDANCE WITH THE DRAWINGS AND INSTRUCTIONS CARRIED OUT AND COMPLETED UNDER THE OWNER'S SUPERVISION AND TO THEIR SATISFACTION. NONE BUT SKILLED, EXPERIENCED WORKMEN AND THEIR APPRENTICES SHALL BE EMPLOYED ON THE WORK.
- ALL THE MATERIALS USED THROUGHOUT THE EXECUTION OF THE CONTRACT SHALL BE NEW AND THE BEST QUALITY UNLESS OTHERWISE SHOWN.
- THE WORK IS INTENDED TO BE A COMPLETE WORK IN EVERY RESPECT. THE CONTRACTOR SHALL ABIDE BY AND COMPLY WITH THE TRUE INTENT AND MEANING OF ALL THE DRAWINGS TAKEN AS WHOLE. ANY WORK SHOWN ON THE DRAWINGS EVEN IF NOT PARTICULARLY DESCRIBED IN THE SPECIFICATIONS, OR VISE VERSA, IS TO BE DONE BY THE CONTRACTOR AS IF IT WERE BOTH SHOWN AND SPECIFIED.
- CONFLICT IN TERMINOLOGY UTILIZED WITHIN THE CONTRACT DOCUMENTS WILL BE DECIDED AS THE MORE EXPENSIVE ALTERNATE.

GENERAL INFORMATION:

- NEW OFFICE BUILDING GROSS FLOOR AREA: 216.30m² (2328.31 sq FT)
- NEW OFFICE BUILDING HEIGHT: 3.05m (10'-0")
- NEW OFFICE BUILDING: 9 VISITORS AND STAFF PARKING (INCLUDING 1 WHEELCHAIR SPACE).
- NEW OFFICE BUILDING ENVELOPE: MAIN MATERIAL: TIMBER COLUMN WOOD DECKING CANOPY, HARDY BOARD, STOREFRONT METAL FRAME DOUBLE GLAZING, SBS MEMBRANE ROOFING.

ARCHITECTURAL DRAWING LIST:

- SITE PLAN:
- A101 OFFICE BUILDING SITE PLAN
 - A102 GARAGE SITE PLAN
- NEW OFFICE BUILDING:
- A201 OFFICE BUILDING FLOOR PLAN
 - A202 OFFICE BUILDING ROOF PLAN
 - A203 OFFICE BUILDING REFLECTED CEILING PLAN
 - A204 OFFICE BUILDING CRAWL SPACE FOUNDATION PLAN
 - A301 OFFICE BUILDING ELEVATIONS
 - A401 OFFICE BUILDING SECTIONS
- NEW GARAGE:
- A205 GARAGE MAIN FLOOR PLAN
 - A206 GARAGE MEZZANINE FLOOR PLAN
 - A207 GARAGE ROOF PLAN
 - A302 GARAGE ELEVATIONS
 - A303 GARAGE ELEVATIONS
 - A402 GARAGE SECTIONS
 - A403 GARAGE SECTIONS

ARCHITECTURAL DRAWING ISSUE RECORD:

ISSUE No.	ISSUE DATE (YYYY-MM-DD)	ISSUED FOR	DRAWING NUMBER														
			A101	A102	A201	A202	A203	A204	A205	A206	A207	A301	A302	A303	A401	A402	A403
1	2015.07.23	CLIENT REVIEW															
2	2015.07.30	DEVELOPMENT PERMIT	●	●	●	●	●	●	●	●	●	●	●	●	●	●	●

RECEIVED
2015-AUG-04
Planning & Design

ISSUED FOR
DEVELOPMENT PERMIT

NEW BUILDING
RDN REGIONAL LANDFILL

XCG CONSULTANTS LTD.

ENVIRONMENTAL ENGINEERS & SCIENTISTS EDMONTON AB T6E 2H3



3701 Shenton Rd, Nanaimo, BC V9T 2H1
Tel: 250-751-8558 Fax: 250-751-8559
Email: mail@heroldengineering.com

OFFICE BUILDING SITE PLAN

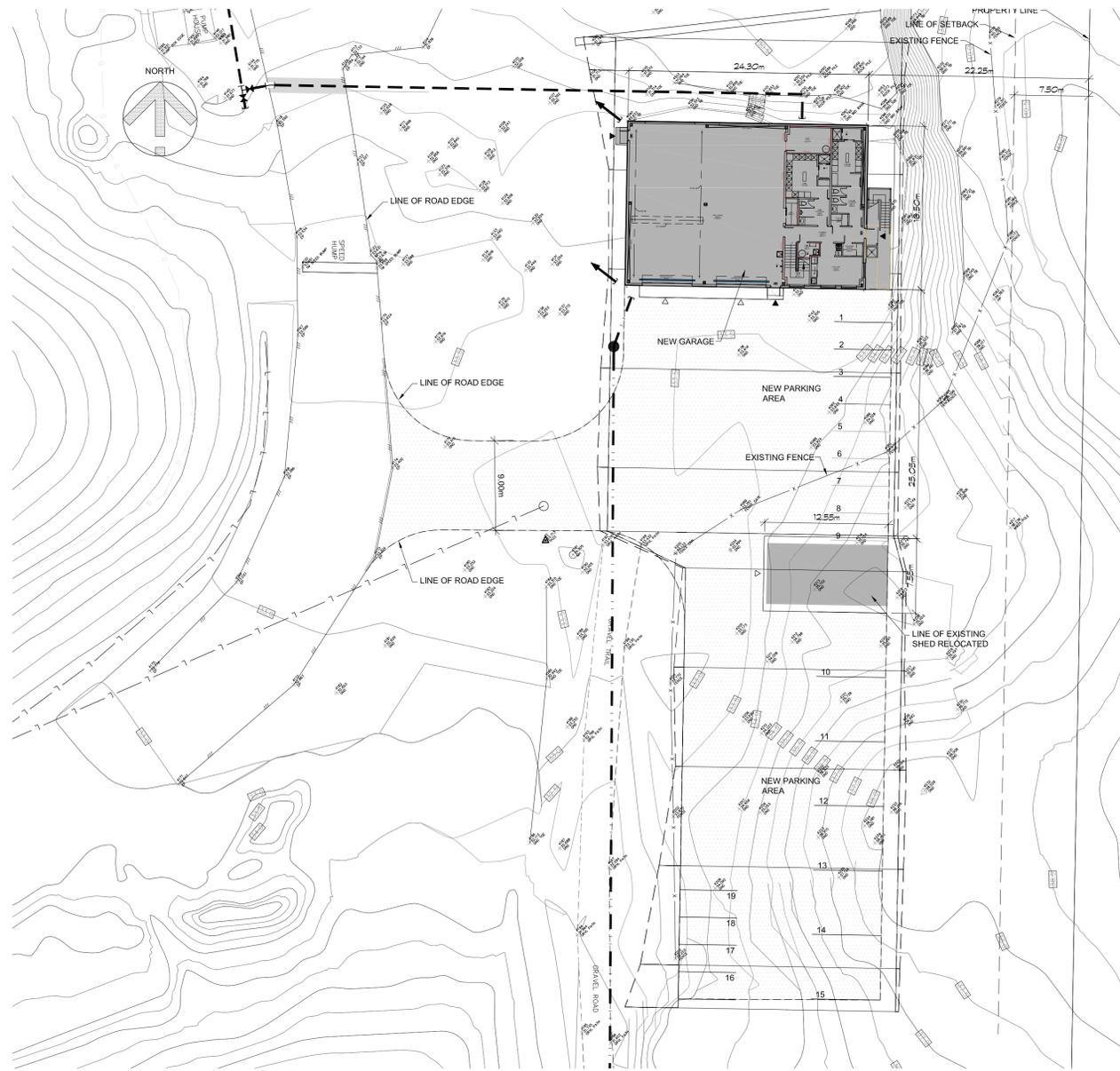
DESIGNED ES	ENGINEER'S SEAL
DESIGN REVIEW ES	
DRAFTED LH	
DRAFTING REVIEW ES	
PROJECT No. 3233-003	CLIENT DRAWING No. n/a
SCALE AS SHOWN	PERMIT No. n/a
HEL DRAWING No. A101	REVISION 1

RDN REGIONAL LANDFILL

NEW GARAGE

ISSUES		
No.	DATE	ISSUED FOR
1	2015.07.30	DEVELOPMENT PERMIT

SUB CONSULTANT



NEW GARAGE
SITE PLAN
1:300

LIST OF ABBREVIATIONS:

Ø	AT (MEASUREMENT)	HC	HOLLOW CORE
ACT	ACOUSTIC TILE SYSTEM	HM	HOLLOW METAL
ALUM	ALUMINUM	HORIZ	HORIZONTAL
ALT	ALTERNATE	HR	HANGING RACK
APPROX	APPROXIMATE	HSB	HOLLOW STEEL SECTION
AP	ACOUSTIC PANEL	HT	HEIGHT
ARCH	ARCHITECTURAL	HW	HOT WATER
AVG	AVERAGE	HWD	HARDWOOD
BD	BOARD	ie	FOR EXAMPLE
BLDG	BUILDING	ID	INSIDE DIAMETER
		INT	INTERIOR
c/c	CENTER TO CENTER	LAM	LAMINATE
c/w	COMPLETE WITH	LAV	LAVATORY
C	CENTRE LINE	LINO	LINOLEUM SHEET
CB	CONCRETE BLOCK	LL	LIVE LOAD
CEM	CEMENT	LTG	LAMINATED TEMPERED GLASS
CHBD	CHALK BOARD		
CH	COAT HOOK	M	METER or METRIC
CL	CLEAR	MAX	MAXIMUM
CIP	CAST IN PLACE	MEMB	MEMBRANE
CONC	CONCRETE	MR	MIRROR
COL	COLUMN	MTL	METAL
CONT	CONTINUOUS	MIN	MINIMUM
CJ	CONTROL JOINT	MISC	MISCELLANEOUS
CLG	CEILING	MNFR	MANUFACTURER
CT	CEILING TILE		
CPT	CARPET	N/A	NOT APPLICABLE
		ND	SANITARY NAPKIN DISPOSAL
DBGL	DOUBLE GLAZING	NIC	NOT IN CONTRACT
DEG	DEGREE	NO or #	NUMBER
DIAM	DIAMETER	NTS	NOT TO SCALE
DIM	DIMENSION		
DIV	DIVISION	OC or O/C	ON CENTRE
DF	DRAINING FOUNTAIN	OD	OUTSIDE DIAMETER
DN	DOWN		
DWG	DRAWING	PART	PARTITION
EA	EACH	PC	PRECAST CONCRETE
ELEC	ELECTRICAL	PD	PAPER TOWEL DISPOSAL
ELEV	ELEVATION	PM	PERFORATED METAL
EP	ELECTRICAL PANEL	PT	PAINTED
EQ	EQUAL	PTD	PAPER TOWEL DISPENSER
EXIST	EXISTING	PREFIN	PREFINISHED
EXP	EXPOSED	PLAM	PLASTIC LAMINATE
EXP JT	EXPANSION JOINT	PLY	PLYWOOD
		PREFAB	PREFABRICATED
		PVC	POLYVINYLCHLORIDE
FF	FINISH FLOOR	QT	QUARRY TILE
FG	FINISH GRADE		
FD	FLOOR DRAIN	RD	ROOF DRAIN
FHC	FIRE HOSE CABINET	RWL	RAIN WATER LEADER
FIN	FINISHED		
FRR	FIRE RESISTANCE RATING	SD	SOAP DISPENSER
FP	FIREPROOFING	SND	SANITARY NAPKIN DISPENSER
FTG	FOOTING	SH	SHELF
FM	FRAMED MIRROR	STN	STAIN
CALV	CALVANIZED	BCBC	THE BRITISH COLUMBIA
GA	GAUGE	BUILDING CODE	
GWB OR GB	GYPSON BOARD	TGL	TEMPERED GLASS
GL	GRIDLINE	TPD	TOILED PAPER DISPENSER
GWG	GEORGIAN WIRE GLASS	TYP	TYPICAL
GB1	12" GRAB BAR		
GB2	GRAB BAR/TOWEL BAR	U/S	UNDESIDE
		WD	WOOD

SYMBOLS LEGEND:

	SECTION/ELEVATION SYMBOL
	SECTION/ELEVATION NUMBER
	SHEET WHERE DRAWN
	PLAN DETAIL SYMBOL
	DETAIL NUMBER
	SHEET WHERE DRAWN
	CALLOUT DETAIL SYMBOL
	DETAIL NUMBER
	SHEET WHERE DRAWN
	ROOM TAG
	DOOR TAG
	WINDOW TAG
	ROOF TAG
	WALL TAG
	WALL (RATED) TAG
	FLOOR TAG
	ROOM NUMBER
	ROOM NAME
	ROOM AREA
	KEYNOTE
	FLOOR DRAIN
	MAN DOOR
	OVERHEAD DOOR
	ROLL-UP DOOR
	BOLLARDS
	FLOOR ELEVATION
	1HR FRR WALL ASSEMBLY
	STEEL BRACE FRAMES
	WORK POINT
	ELEVATION MARKER
	REVISION NUMBER
	STRIP FOOTING
	PAD FOOTING
	CONCRETE WALL
	CONCRETE BLOCK WALL
	EXTERIOR LOAD BEARING STUD WALL
	INTERIOR LOAD BEARING STUD WALL
	NON-LOAD BEARING STUD WALL
	WALL BELOW
	WOOD JOISTS
	WOOD TRUSS OR D.W.S. JOIST
	WOOD GIRDER TRUSS
	WOOD POST
	WOOD BEAM

GENERAL INFORMATION:

- NEW GARAGE BUILDING GROSS FLOOR AREA: 548.84m² (5907.86 SQ FT)
- NEW GARAGE BUILDING HEIGHT: 7.02m (23'-0")
- NEW GARAGE BUILDING: 13 STALLS STAFF PARKING, 6 STALLS LARGE VEHICLE PARKING.
- NEW GARAGE BUILDING ENVELOPE: MAIN MATERIAL: PRE-ENG STEEL FRAMING METAL CLADDING, METAL FRAME DOUBLE GLAZING WINDOW AND TRANSLUCENT PANELS, ROLL-UP METAL DOOR, INSULATED METAL ROOFING.
- RELOCATED EXISTING SHED STORAGE: PRE-ENG STEEL FRAMING METAL CLADDING, INSULATED METAL ROOFING.

NEW BUILDING
RDN REGIONAL LANDFILL
XCG CONSULTANTS LTD.
ENVIRONMENTAL ENGINEERS & SCIENTISTS EDMONTON AB T6E 2H3

HEROLD ENGINEERING
 3701 Shenton Rd, Nanaimo, BC V9T 2H1
 Tel: 250-751-8558 Fax: 250-751-8559
 Email: mail@heroldengineering.com

©Copyright reserved. This drawing remains the exclusive property of Herold Engineering Limited and may not be reused or reproduced without written consent of Herold Engineering Limited.

GARAGE SITE PLAN	
DESIGNED	ENGINEER'S SEAL
DESIGN REVIEW	
DRAFTED	
DRAFTING REVIEW	
PROJECT No.	CLIENT DRAWING No.
3233-003	n/a
SCALE	PERMIT No.
AS SHOWN	n/a
HEL DRAWING No.	REVISION
A102	1

RECEIVED
2015-AUG-04
Planning & Design

ISSUED FOR
DEVELOPMENT PERMIT