



DEVELOPMENT PERMIT NO. DP000947

VISTA VIEW DEVELOPMENT CORP

Name of Owner(s) of Land (Permittee)

4951 DENFORD PLACE

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT 2, DISTRICT LOT 54, WELLINGTON DISTRICT, VIP82965

PID No. 027-038-629

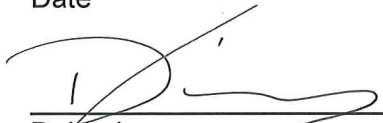
3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A	Location Plan
Schedule B	Site Plan
Schedule C	Site Data
Schedule D	Elevations, Building Cluster 1
Schedule E	Elevations, Building Cluster 2 and 3
Schedule F	Elevations, Building Cluster 4 (Single Unit)
Schedule G	Elevations, Building Cluster 5
Schedule H	Elevations, Building Cluster 6
Schedule I	Elevations, Building Cluster 7
Schedule J	Elevations, Building Cluster 8
Schedule K	Elevations, Building Cluster 9
Schedule L	Landscape Plan
Schedule M	Landscape Plan – Tree replacement for steep slopes

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
- 4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

REVIEWED AND APPROVED ON

2016 - JAN - 11
Date


D. Lindsay
Director

Community Development

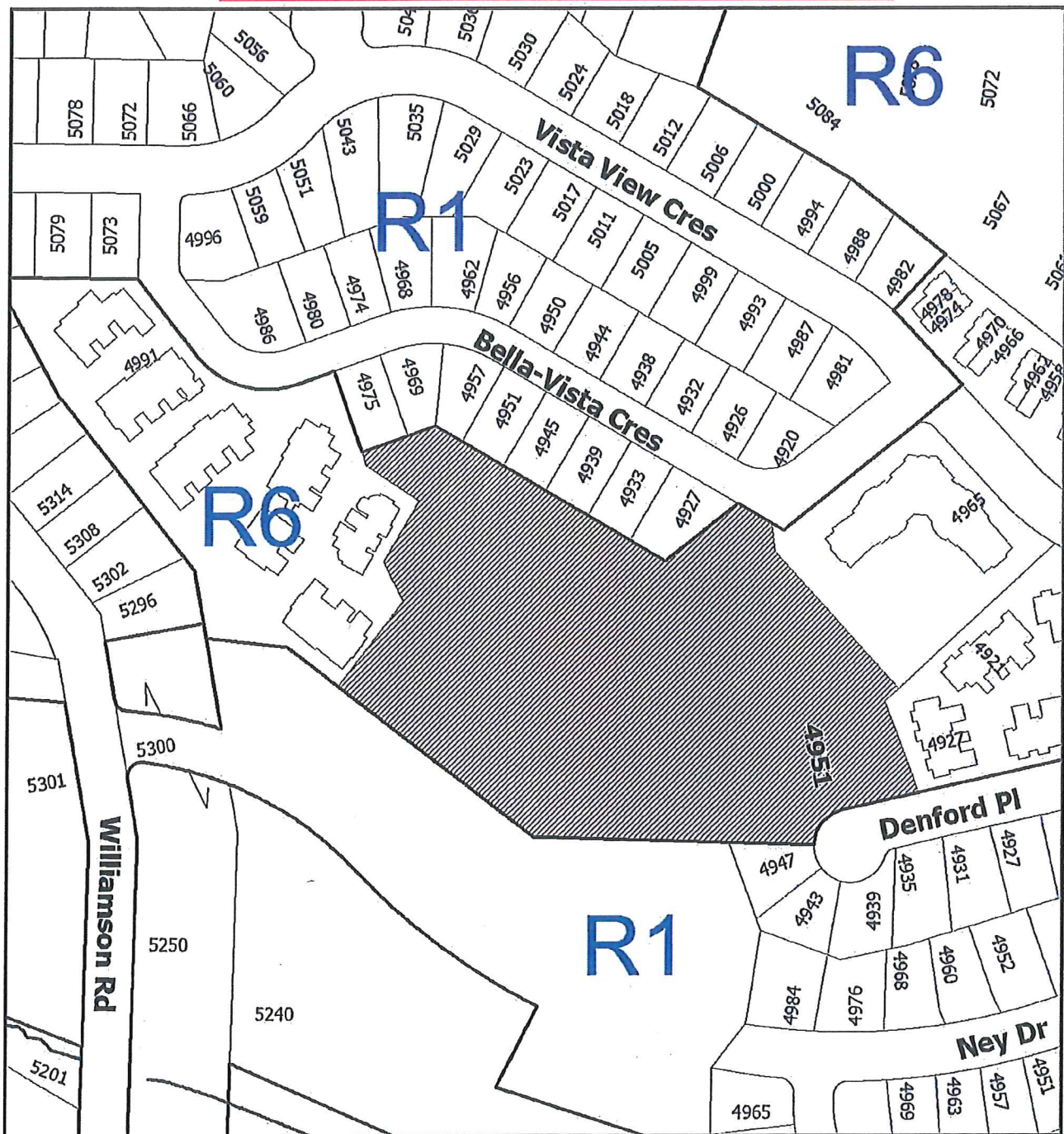
Pursuant to Section 154 (1)(b) of the Community Charter

GN/sm

Prospero attachment: DP000947

Schedule A

LOCATION PLAN



DEVELOPMENT PERMIT NO. DP000947

LOCATION PLAN

Civic: 4951 Denford Place
Lot 2, District Lot 54, Wellington District,
Plan VIP82965



Subject Property

Development Permit No. DP000947
4951 Denford Place

Schedule B
SITE PLAN



PROJECT DESCRIPTION

CIVIC ADDRESS:
4951 Denford Place, Nanaimo BC
LEGAL DESCRIPTION:
LOT 2, DISTRICT LOT 54, WELLINGTON LAND DISTRICT,
PLAN V42266

ZONING BYLAW SUMMARY

PROJECT DESCRIPTION:
LOW DENSITY 19 UNIT TOWNHOUSE DEVELOPMENT

USE:
RESIDENTIAL

ZONE:
R6 - TOWNHOUSE RESIDENTIAL

SITE AREA: 11,241 sqm
FLOOR AREA:
BUILDING 1: 519 sqm (units 1, 2 & 3)
BUILDING 2: 381 sqm (units 4 & 5)
BUILDING 3: 189 sqm (unit 6)
BUILDING 4: 189 sqm (unit 7)
BUILDING 5: 375 sqm (units 8 & 9)
BUILDING 6: 380 sqm (units 10 & 11)
BUILDING 7: 510 sqm (units 12, 13 & 14)
BUILDING 8: 145 sqm (units 15 & 16)
BUILDING 9 (Basement): 145 sqm (units 17, 18 & 19)
BUILDING 9 (Basement): 220 sqm
TOTAL PROPOSED: 3,953 sqm

FLOOR SPACE RATIO:
PERMITTED: 0.45 : 1 FSR 5,058 sqm
PROPOSED: 0.30 : 1 FSR 3,428 sqm
LOT COVERAGE:
PERMITTED: 40%
PROPOSED: 32%

GRADE OF BUILDING:
BUILDING 9 (west case): (83.40 + 01.74 + 61.73 + 62.75 + 64.43 + 63.59) / 6 = 62.30

HEIGHT OF BUILDING:
BUILDING 9 (west case): 9.0m MAX.
PROPOSED: 8.2m

NUMBER OF STOREYS:
1 STOREY (+ BASEMENT, BUILDINGS 8 & 9 ONLY)

PARKING:
REQUIRED: 1.66 spaces per unit = 52
PROVIDED: 1.84 spaces per unit = 55

SETBACKS:
FRONT YARD: minimum 6.0 m (Denford Place)
SIDE YARD: 1.5 m
REAR YARD: 7.5 m

BUILDING CODE SUMMARY

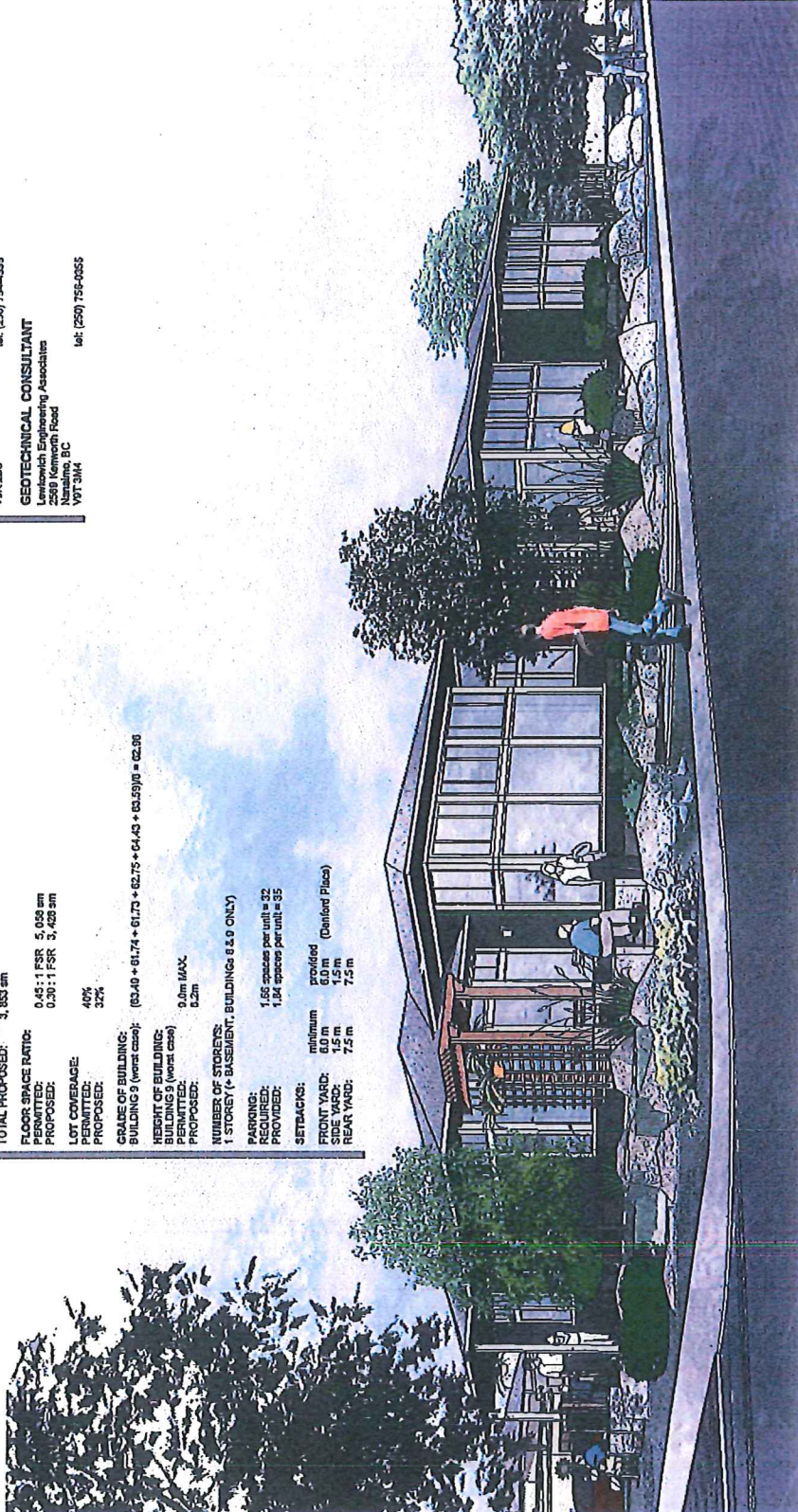
REFERENCED DOCUMENT:
BRITISH COLUMBIA BUILDING CODE 2012 - PART 9

PROJECT TEAM

REGISTERED OWNER:
Vesta Development Services Ltd.
101 Glenview Place
Nanaimo, BC
tel: (250) 595-4800
rendline@gmail.com
ARCHITECT:
de Hoog & Morrell architects
377 Fort Street
Victoria, BC
V8T 3K3
tel: (250) 658-3937
fax: (250) 658-3397
pdm@dm.ca
CIVIL CONSULTANT:
NewCastle Engineering Ltd.
43172 Barons Road
Nanaimo, BC
V9T 3W2
tel: (250) 756-9553
LANDSCAPE ARCHITECT:
Victoria Drakford Landscape Architect
236 Pine Street
Nanaimo, BC
V9T 2B6
tel: (250) 754-4355
GEOTECHNICAL CONSULTANT:
Lentovich Engineering Associates
2589 Kenworth Road
Nanaimo, BC
V9T 3M4
tel: (250) 756-0555

LIST OF DRAWINGS

Architectural
A001 Project Data
A101 Site Plan
A201 Building 1 Plans & Elevations
A202 Building 20 Plans
A203 Building 23 Elevations
A204 Building 4 Plans & Elevations
A205 Building 5 Plans & Elevations
A206 Building 6 Plans & Elevations
A207 Building 7 Plans & Elevations
A208 Building 9 Plans & Elevations
A209 Building 9 Plans & Elevations
A301 Colours & Materials

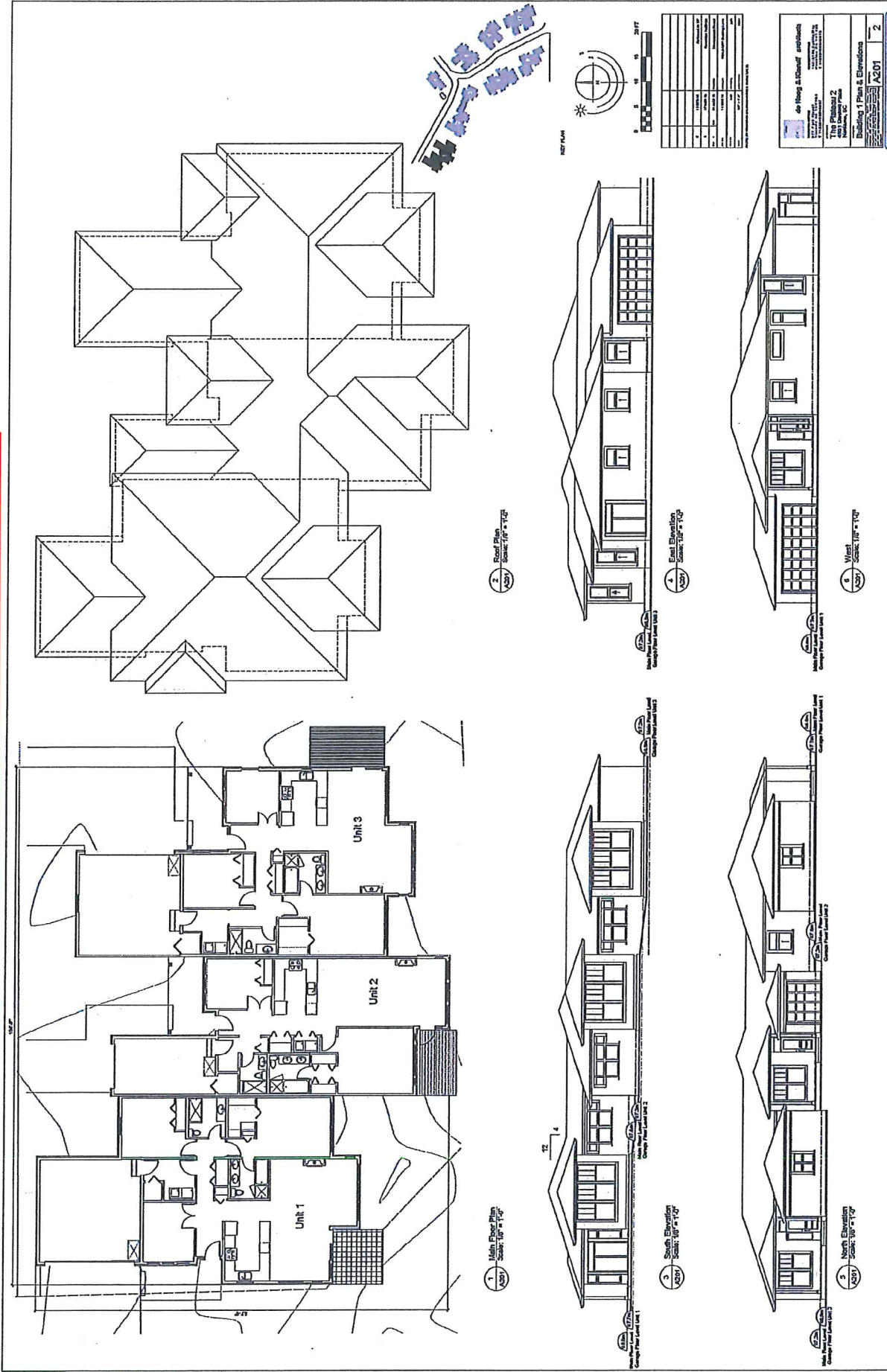


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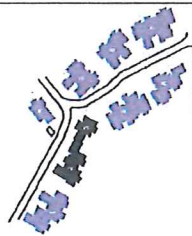
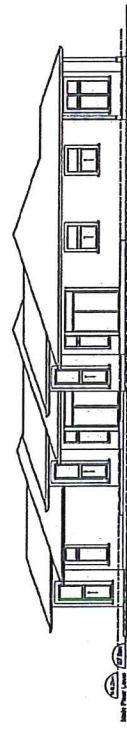
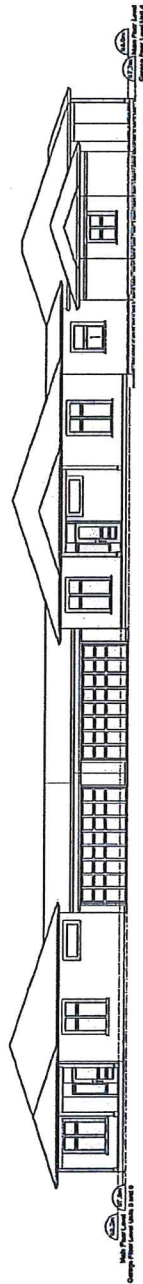
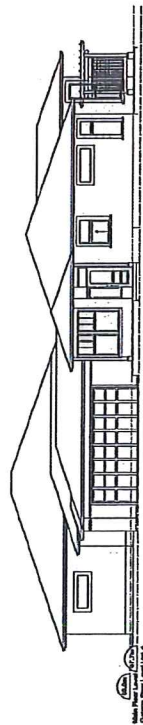
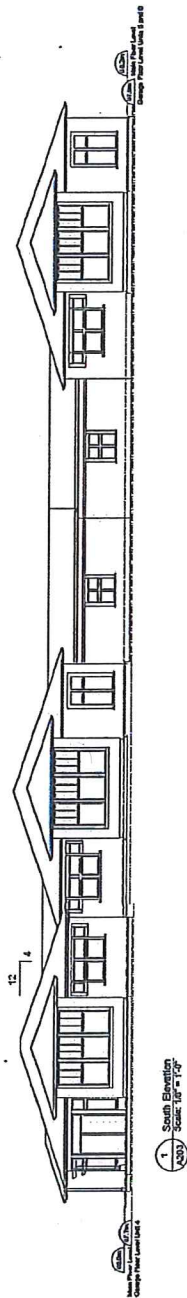
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de Hoog & Morrell architects
11111 27th Street
Nanaimo BC V9T 2P6
Tel: (250) 658-3937
Fax: (250) 658-3397
pdm@dm.ca
Project Data
Project Name: 4951 Denford Place
Project No: A001
Sheet No: 1

Development Permit No. DP000947 Schedule D
 4951 Denford Place
ELEVATIONS, Building Cluster 1



1947 Schedule E
ELEVATIONS,
Building Clusters 2 and 3

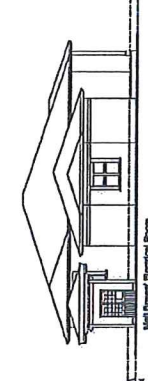
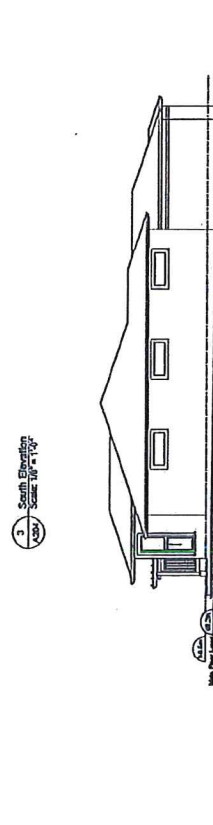
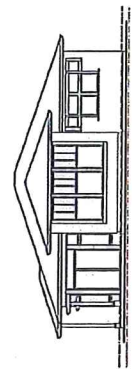
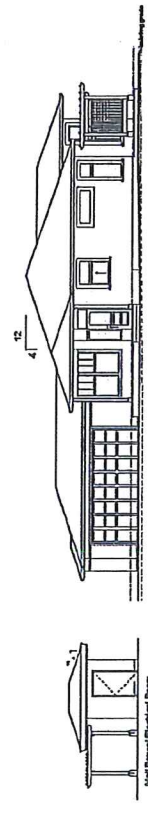
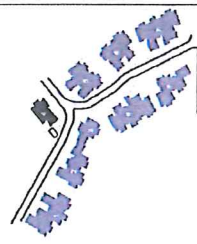
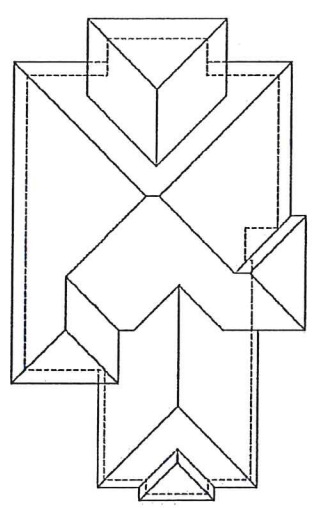
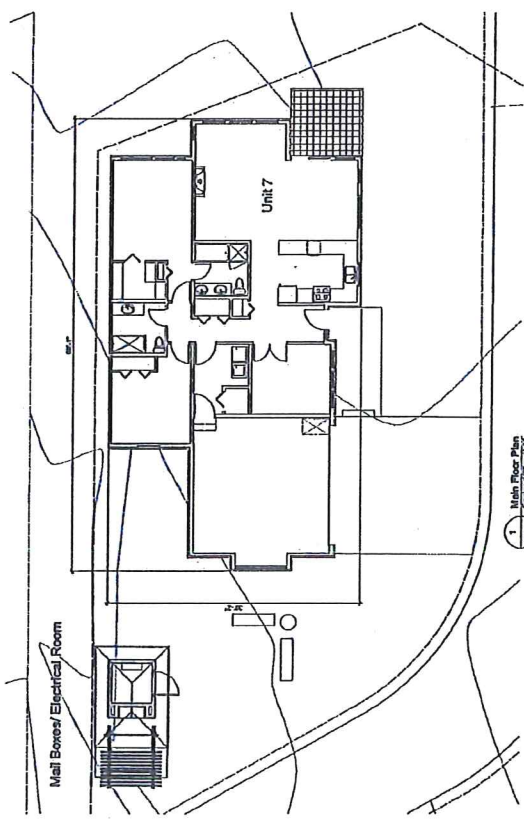


KEY PLAY

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 de Hoog & Houtstra architects architects 11000 16th Avenue, Suite 200 Richmond, BC V6V 2E6 Tel: 604-271-7116 Fax: 604-271-7117 www.dhh.ca	
The Plateau 2 11000 16th Avenue, Suite 200 Richmond, BC	
Building 203 Blytheville	A203
2	2

Development Permit No. DP000947 Schedule F
 4951 Denford Place
ELEVATIONS, Building Cluster 4
(Single Unit)



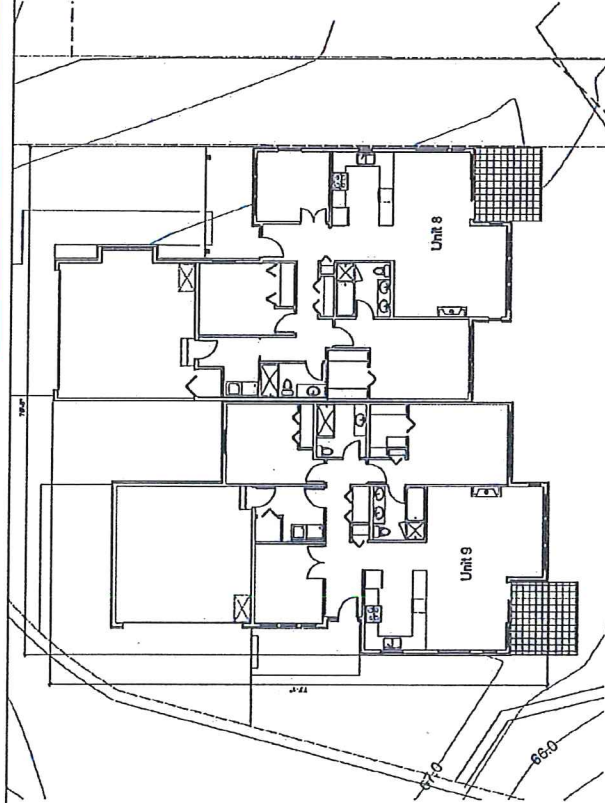
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8	REVISED	11/11/14	ASD
9	REVISED	11/11/14	ASD
10	REVISED	11/11/14	ASD

de Hong & Hwang architects
 11111 1st Ave. S.
 Suite 100
 The Palisades 2
 Nashville, TN 37203
 Phone: 615.259.1111
 Fax: 615.259.1112
 Email: info@dehongandhwang.com

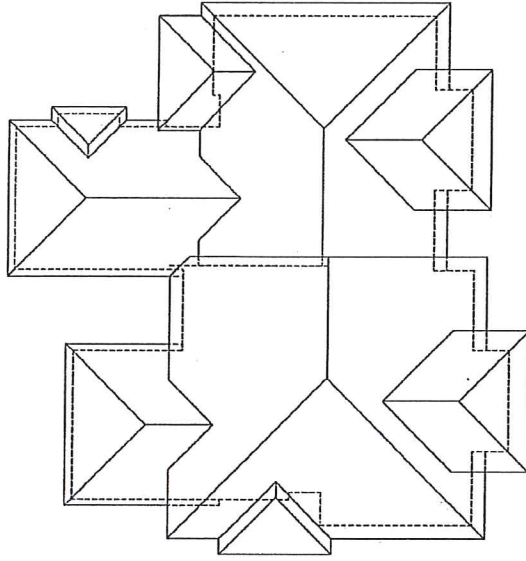
Building & Plans & Elevations
 A204 2

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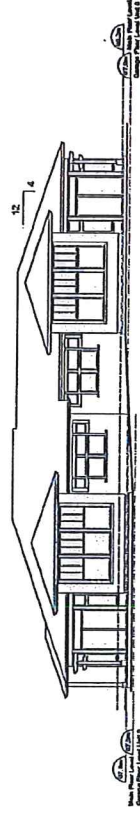
Development Permit No. DP0000947
4951 Denford Place
Schedule G
ELEVATIONS, Building Cluster 5



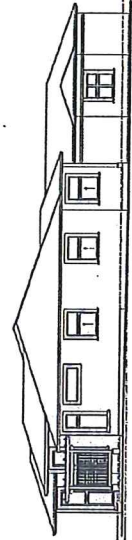
1 Main Floor Plan
Scale: 1/8" = 1'-0"



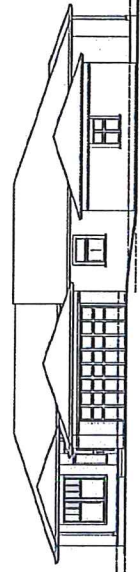
2 Roof Plan
Scale: 1/8" = 1'-0"



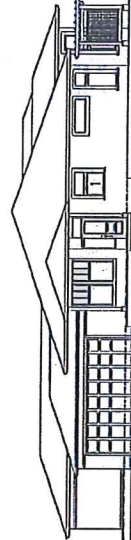
3 South Elevation
Scale: 1/8" = 1'-0"



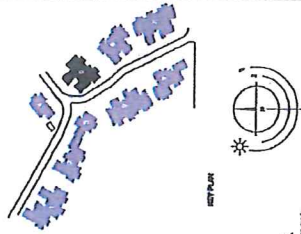
4 East Elevation
Scale: 1/8" = 1'-0"



5 North Elevation
Scale: 1/8" = 1'-0"



6 West Elevation
Scale: 1/8" = 1'-0"



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de Hoog & Stuart architects
1111 14th Ave S
Seattle, WA 98144
206.461.1111
www.dehoogandstuart.com

The Professional
Architect's Seal
Building 5 Phase 5 Elevations
A205
11/11/19

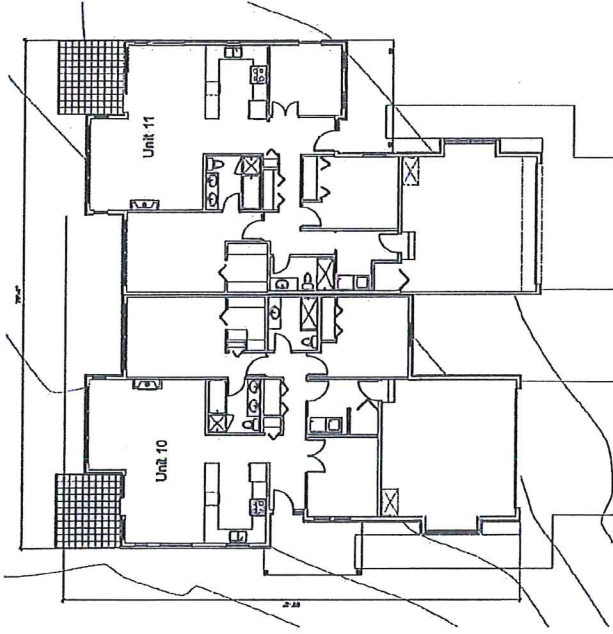
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Development Permit No. DP000947

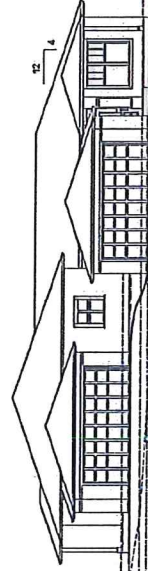
Schedule H

4951 Denford Place

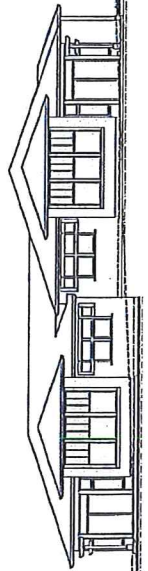
ELEVATIONS, Building Cluster 6



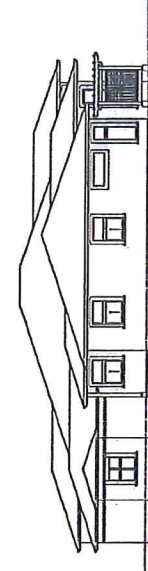
1. North Elevation
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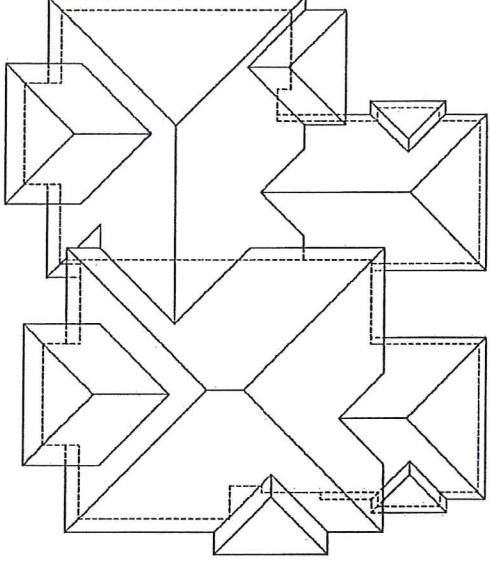
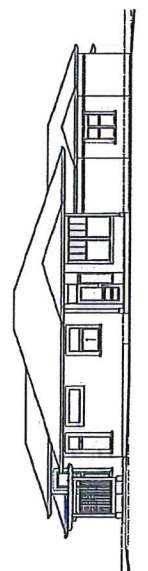
2. South Elevation
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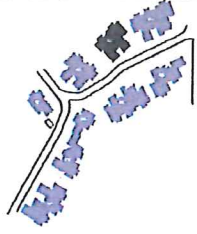
3. East Elevation
ASAP SCALE 1/8" = 1'-0"



4. West Elevation
ASAP SCALE 1/8" = 1'-0"



5. Roof Plan
ASAP SCALE 1/8" = 1'-0"



6. Site Plan



0 5 10 15 20 25 30 35 40 45 50 55 60 65 70 75 80 85 90 95 100

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de Hong & Associates
Architects
1000 Denford Place
Vancouver, BC
V6A 1A1
Tel: (604) 271-1111
Fax: (604) 271-1112
www.dehong.com

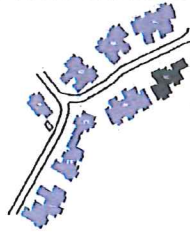
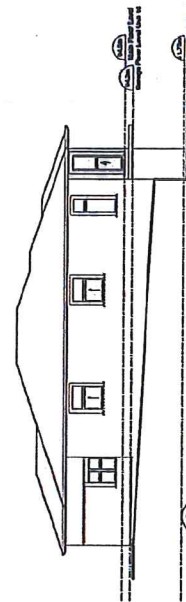
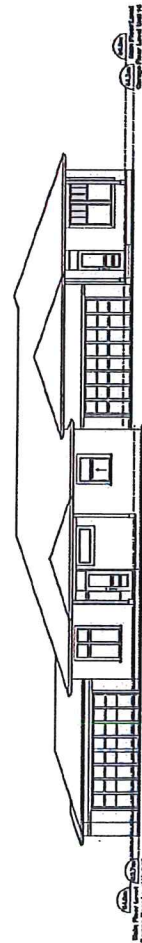
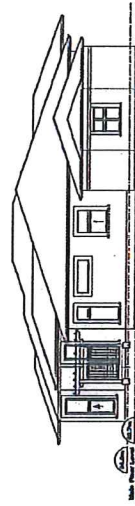
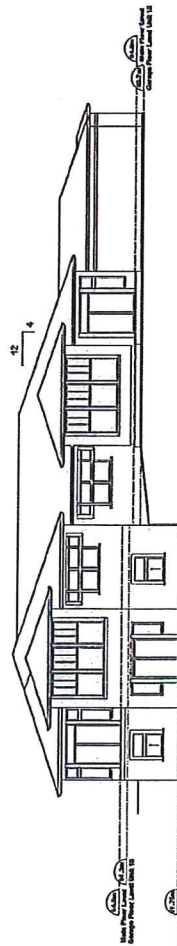
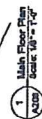
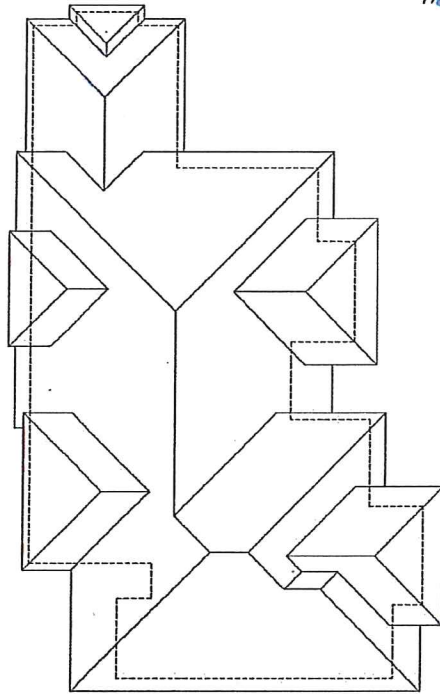
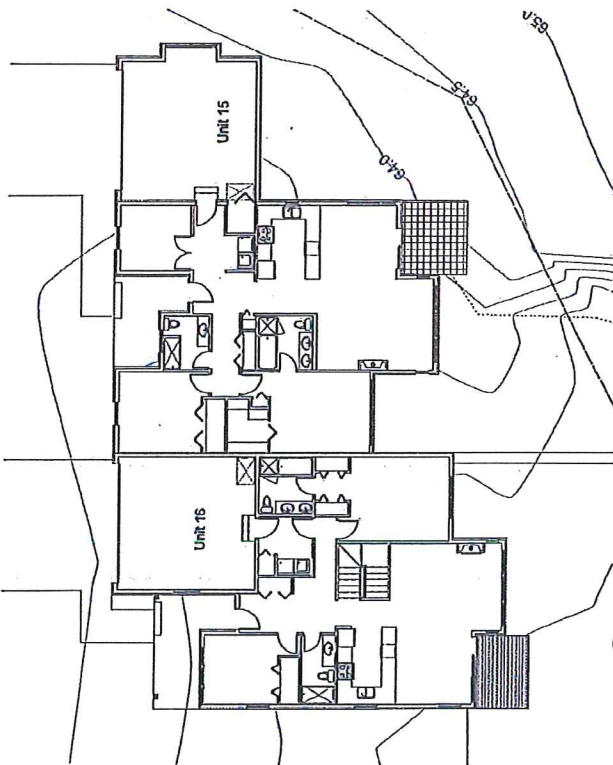
Building & Planning
A208
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City of Vancouver
2008-08-29 10:00 AM

ELEVATIONS, Building Cluster 7

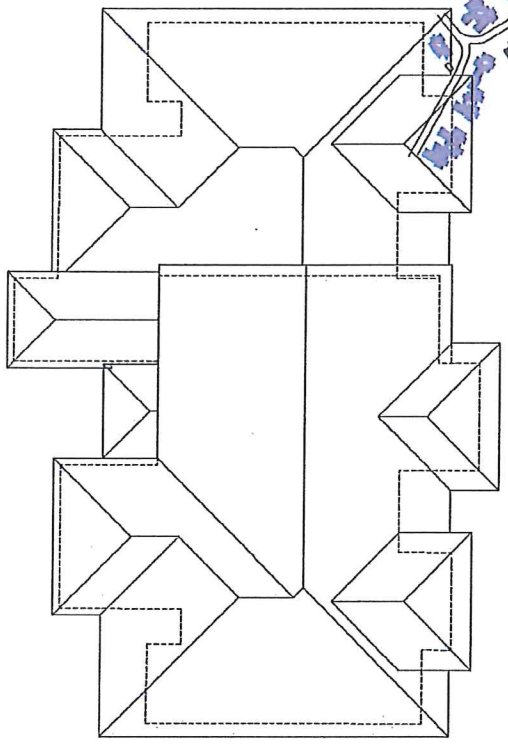
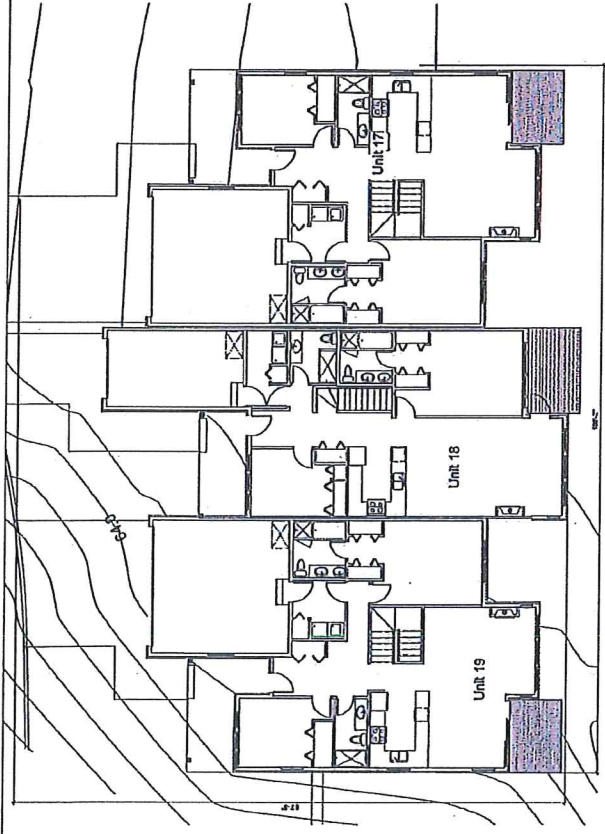
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Development Permit No. DP000947
4951 Denford Place
ELEVATIONS, Building Cluster 8
Schedule J

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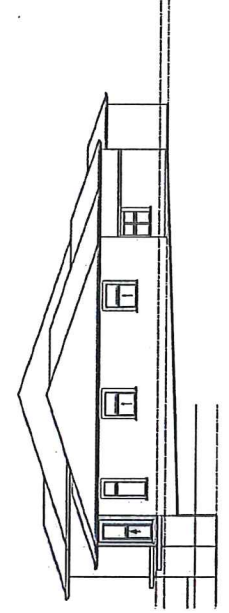
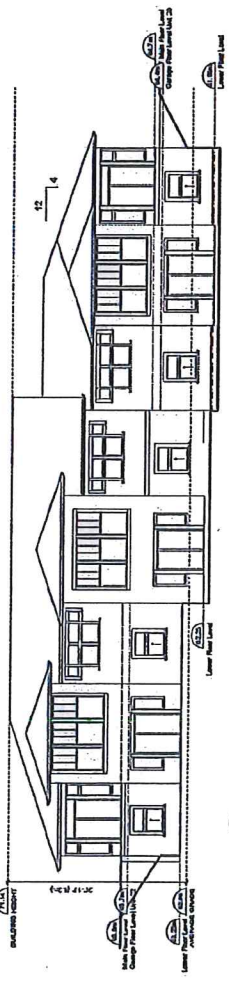
	<p>das Meer & Clarendon anbietet</p> <p>Neuware ab 1,99 € ab 2,99 € ab 3,99 € ab 4,99 € ab 5,99 € ab 6,99 € ab 7,99 € ab 8,99 € ab 9,99 € ab 10,99 € ab 11,99 € ab 12,99 € ab 13,99 € ab 14,99 € ab 15,99 € ab 16,99 € ab 17,99 € ab 18,99 € ab 19,99 € ab 20,99 € ab 21,99 € ab 22,99 € ab 23,99 € ab 24,99 € ab 25,99 € ab 26,99 € ab 27,99 € ab 28,99 € ab 29,99 € ab 30,99 € ab 31,99 € ab 32,99 € ab 33,99 € ab 34,99 € ab 35,99 € ab 36,99 € ab 37,99 € ab 38,99 € ab 39,99 € ab 40,99 € ab 41,99 € ab 42,99 € ab 43,99 € ab 44,99 € ab 45,99 € ab 46,99 € ab 47,99 € ab 48,99 € ab 49,99 € ab 50,99 € ab 51,99 € ab 52,99 € ab 53,99 € ab 54,99 € ab 55,99 € ab 56,99 € ab 57,99 € ab 58,99 € ab 59,99 € ab 60,99 € ab 61,99 € ab 62,99 € ab 63,99 € ab 64,99 € ab 65,99 € ab 66,99 € ab 67,99 € ab 68,99 € ab 69,99 € ab 70,99 € ab 71,99 € ab 72,99 € ab 73,99 € ab 74,99 € ab 75,99 € ab 76,99 € ab 77,99 € ab 78,99 € ab 79,99 € ab 80,99 € ab 81,99 € ab 82,99 € ab 83,99 € ab 84,99 € ab 85,99 € ab 86,99 € ab 87,99 € ab 88,99 € ab 89,99 € ab 90,99 € ab 91,99 € ab 92,99 € ab 93,99 € ab 94,99 € ab 95,99 € ab 96,99 € ab 97,99 € ab 98,99 € ab 99,99 € ab 100,99 € ab 101,99 € ab 102,99 € ab 103,99 € ab 104,99 € ab 105,99 € ab 106,99 € ab 107,99 € ab 108,99 € ab 109,99 € ab 110,99 € ab 111,99 € ab 112,99 € ab 113,99 € ab 114,99 € ab 115,99 € ab 116,99 € ab 117,99 € ab 118,99 € ab 119,99 € ab 120,99 € ab 121,99 € ab 122,99 € ab 123,99 € ab 124,99 € ab 125,99 € ab 126,99 € ab 127,99 € ab 128,99 € ab 129,99 € ab 130,99 € ab 131,99 € ab 132,99 € ab 133,99 € ab 134,99 € ab 135,99 € ab 136,99 € ab 137,99 € ab 138,99 € ab 139,99 € ab 140,99 € ab 141,99 € ab 142,99 € ab 143,99 € ab 144,99 € ab 145,99 € ab 146,99 € ab 147,99 € ab 148,99 € ab 149,99 € ab 150,99 € ab 151,99 € ab 152,99 € ab 153,99 € ab 154,99 € ab 155,99 € ab 156,99 € ab 157,99 € ab 158,99 € ab 159,99 € ab 160,99 € ab 161,99 € ab 162,99 € ab 163,99 € ab 164,99 € ab 165,99 € ab 166,99 € ab 167,99 € ab 168,99 € ab 169,99 € ab 170,99 € ab 171,99 € ab 172,99 € ab 173,99 € ab 174,99 € ab 175,99 € ab 176,99 € ab 177,99 € ab 178,99 € ab 179,99 € ab 180,99 € ab 181,99 € ab 182,99 € ab 183,99 € ab 184,99 € ab 185,99 € ab 186,99 € ab 187,99 € ab 188,99 € ab 189,99 € ab 190,99 € ab 191,99 € ab 192,99 € ab 193,99 € ab 194,99 € ab 195,99 € ab 196,99 € ab 197,99 € ab 198,99 € ab 199,99 € ab 200,99 € ab 201,99 € ab 202,99 € ab 203,99 € ab 204,99 € ab 205,99 € ab 206,99 € ab 207,99 € ab 208,99 € ab 209,99 € ab 210,99 € ab 211,99 € ab 212,99 € ab 213,99 € ab 214,99 € ab 215,99 € ab 216,99 € ab 217,99 € ab 218,99 € ab 219,99 € ab 220,99 € ab 221,99 € ab 222,99 € ab 223,99 € ab 224,99 € ab 225,99 € ab 226,99 € ab 227,99 € ab 228,99 € ab 229,99 € ab 230,99 € ab 231,99 € ab 232,99 € ab 233,99 € ab 234,99 € ab 235,99 € ab 236,99 € ab 237,99 € ab 238,99 € ab 239,99 € ab 240,99 € </p>
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Development Permit No. DP000947 Schedule K
 4951 Denford Place
ELEVATIONS, Building Cluster 9



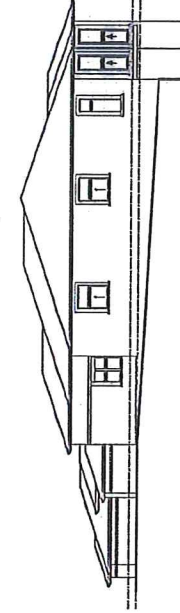
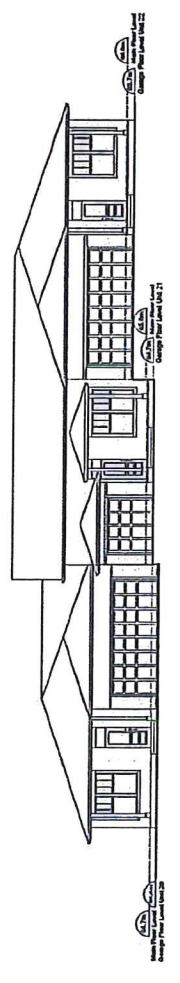
1 Main Floor Plan
 A309 Scale: 1/8" = 1'-0"

2 Roof Plan
 A309 Scale: 1/8" = 1'-0"



3 West Elevation
 A309 Scale: 1/8" = 1'-0"

4 South Elevation
 A309 Scale: 1/8" = 1'-0"



5 East Elevation
 A309 Scale: 1/8" = 1'-0"

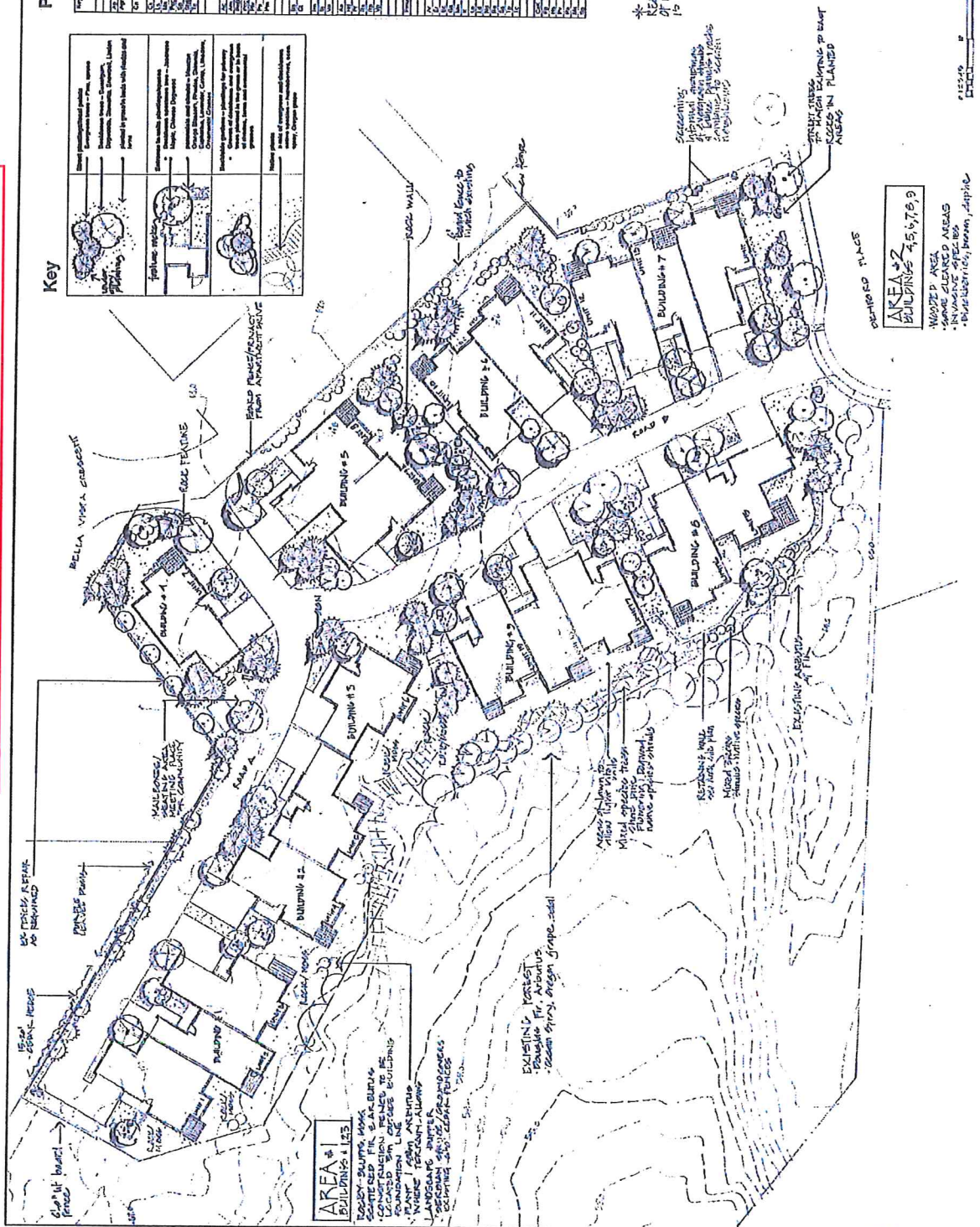
6 North Elevation
 A309 Scale: 1/8" = 1'-0"



REVISIONS	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	REVISIONS
3	REVISIONS
4	REVISIONS
5	REVISIONS
6	REVISIONS
7	REVISIONS
8	REVISIONS
9	REVISIONS
10	REVISIONS

de Hong & Associates
 11111 Denford Place
 4951 Denford Place
 Building 9 Plans & Elevations
 A309 2
 RECEIVED
 By Planning & Design Section on 7-20-04, Per #1, 2004

PLANT PALETTE

[illegible][illegible]

* REQUIRED NUMBER OF REPLACEMENT TREES IS 20.

[illegible]

LANDSCAPE PLAN

1/3

Rationale and Replacement for steep slope area



VICTORIA DRAKEFORD LANDSCAPE ARCHITECT

236 Pine Street, Nanaimo, B.C. Canada V9R 2B6 Phone/Fax (250) 754-4335

Design Rationale

The Plateau 2

July 31 2015/October 6 2015

Revised November 30, 2015

Revised December 7, 2015

General:

The site of Plateau 2 consists of level to hummocky wooded terrain with partially moss covered rock bluffs. The existing trees consist mostly of second growth fir, with some cedar and arbutus and sparse groundcover of Oregon grape and ocean spray. Some areas have been cleared and invasive plants have colonized.

The overall concept is to build on the landscape design of The Plateau (the abutting TH project) where some of the mature stands of trees were able to be saved to create open parkland scheme, with rock walls, feature rocks and lawns. Shrubs are grown under the trees.

In Plateau 2 there are fewer potential stands of trees that are able to be saved, in part because of the quality and size of the trees, and in part because the regrading for roads and housing will impact the existing root zones. In order to achieve the parkland concept, clusters of coniferous and deciduous trees will be replanted throughout the project as the main focus of the design.

These groves of trees will form the streetscape and together with shrub plantings form informal privacy screens between the units and the neighbours. Strategic placement of evergreen plants, with rock placement will screen houses from headlights.

Each unit will have an entrance garden by their front doors. Shrubs, rocks and a specimen tree will enclose a small area of grass to form an informal courtyard adjacent to the front door and raised patio. The plantings will be colourful year-round.

The existing landscapes on the west boundaries of the property will be protected during the construction process. The intent is to reduce the construction zone and therefore minimize the impact to the existing vegetation. Native grasses will be seeded along with native plants where feasible.

Lighting:

Light bollard to match the fixtures in Phase 1

Stormwater:

All runoff will be directed into the gardens. Due to the rocky nature of the site rain gardens and bioswales are not feasible. See Civil report for stormwater management strategies.

Plant selection:

Plant selection has taken into account water regimes, long term vegetation management and resistance to deer browse.

Response to the Comprehensive Letter from the City of Nanaimo, October 4, 2015 and November 30, 2015

Refer to Conceptual Landscape Plan, revised November 30 2015 for location of Areas 1 and 2.

Minimum Landscape Treatment Levels

The following section includes descriptions of the site conditions on the project and how these site conditions influence the landscape scheme.

Area 1

NW Ridge

- **Terrain:** Open rocky hill top/ridge with some exposed rock
- **Tree cover:** Scattered arbutus and fir.
- **Understory:** exposed rock, moss, and a group Oregon grape and wild rose in seepage area
- **Views:** to the south look into the small valley

Landscape scheme:

North Buffer: meets Minimum Landscape Treatment 2d

Existing fences to the North of Road A will be repaired or replaced.

Addition of 11 columnar conifers and groundcovers

Tree planting:

Due to limitations imposed by the rocky terrain we are proposing the following strategy:

- Plant 1 gallon Arbutus in rock fractures that will retain water.
- Expose the bedrock where it is attractive
- Where the underlying conditions will support shallow growth and where the bedrock cannot be exposed, spread topsoil and seed with native grasses (Roemer's Fescue and California Oat grass)

Area 2

Central area

- **Terrain:** A level area bisected by a small rock bluff
North of bluff:
- **Tree cover:** sparsely regenerating fir.
- **Understory:** grass and blackberries
South of bluff:
- **Tree cover:** second growth forest of fir and arbutus, Fir, Cedar and Arbutus.
There is one small area of willow and alder.
- **Understory:** Typical of second growth forest, sparsely vegetated with Oregon grape, woodland rose, and Daphne Spurge (an invasive). There is one area of broom and blackberry just off Denford Place.

- **Views:** internal views

Landscape scheme:

North Buffer: meets Minimum Landscape Treatment 2c

Existing fences to the North West of Building 4 will be repaired as necessary
Addition of 4 deciduous trees along the fence line.

West Buffer: a 6' high board fence exists to the North East of Building 5 and 6. A screen of lattice fence panels and shrub plantings will form the screen east of Building 7.

Tree planting:

Groups of deciduous and coniferous trees planted with shrubs and groundcovers.

Landscape Plan

Construction Fences will be installed along the West and south property lines at a distance of 5m from the building foundations.

Existing vegetation/salvage: We will participate in the City of Nanaimo volunteer native plant recovery system.

Environmental:

Tree planting /Replacement trees

Twenty trees will need to be removed from the steep slope area of the site (as per Terrain Analysis provided earlier). The Landscape Plan will provide at least 58 deciduous trees, 114 coniferous trees, 500 evergreen and deciduous shrubs and 2000 groundcover plants.

The following constraints limit the total number and species of trees that can be replanted on the site:

- **Native tree species.** One of the issues with replanting with native tree species is one of mature size and on-going maintenance. The mature size of native trees eventually present safety problems for the home-owners by growing out of scale with the housing. We are proposing a mix of the smaller growing native tree species, for example Shore Pine, and exotic tree species (see plant list)
- **Light conditions:** Large trees adjacent to the buildings will result in dark rooms in the houses. We have left some areas of lawn around the houses to allow natural light into the units. This in turn leads to lower energy use.
- **Rocky terrain:** Much of the site is very rocky making the planting of nursery stock with large rootballs impossible. We are proposing planting small sizes to enable more trees to be planted in the rocky areas.

The attached landscape scheme proposes replanting as many trees as possible that will create a desirable, safe and comfortable outdoor living space that provides environmental and aesthetic benefits. While the replanted landscape cannot achieve true forest and all the associated ecosystem benefits, the intent is to create botanical diversity with trees, shrubs and groundcovers that will attract insects and birds, while providing an outdoor environment that people value and will therefore look after.