



DEVELOPMENT PERMIT NO. DP000863

0971315 BC LTD

Name of Owner(s) of Land (Permittee)

3 LEAM ROAD

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT 31, BLOCK 5, SECTION 19 AND 20, RANGE 7, MOUNTAIN DISTRICT, PLAN 526

PID No. 008-881-251

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.


Schedule A Location Plan
Schedule B Site Plan
Schedule C Elevations
Schedule D Landscape Plan

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.

4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

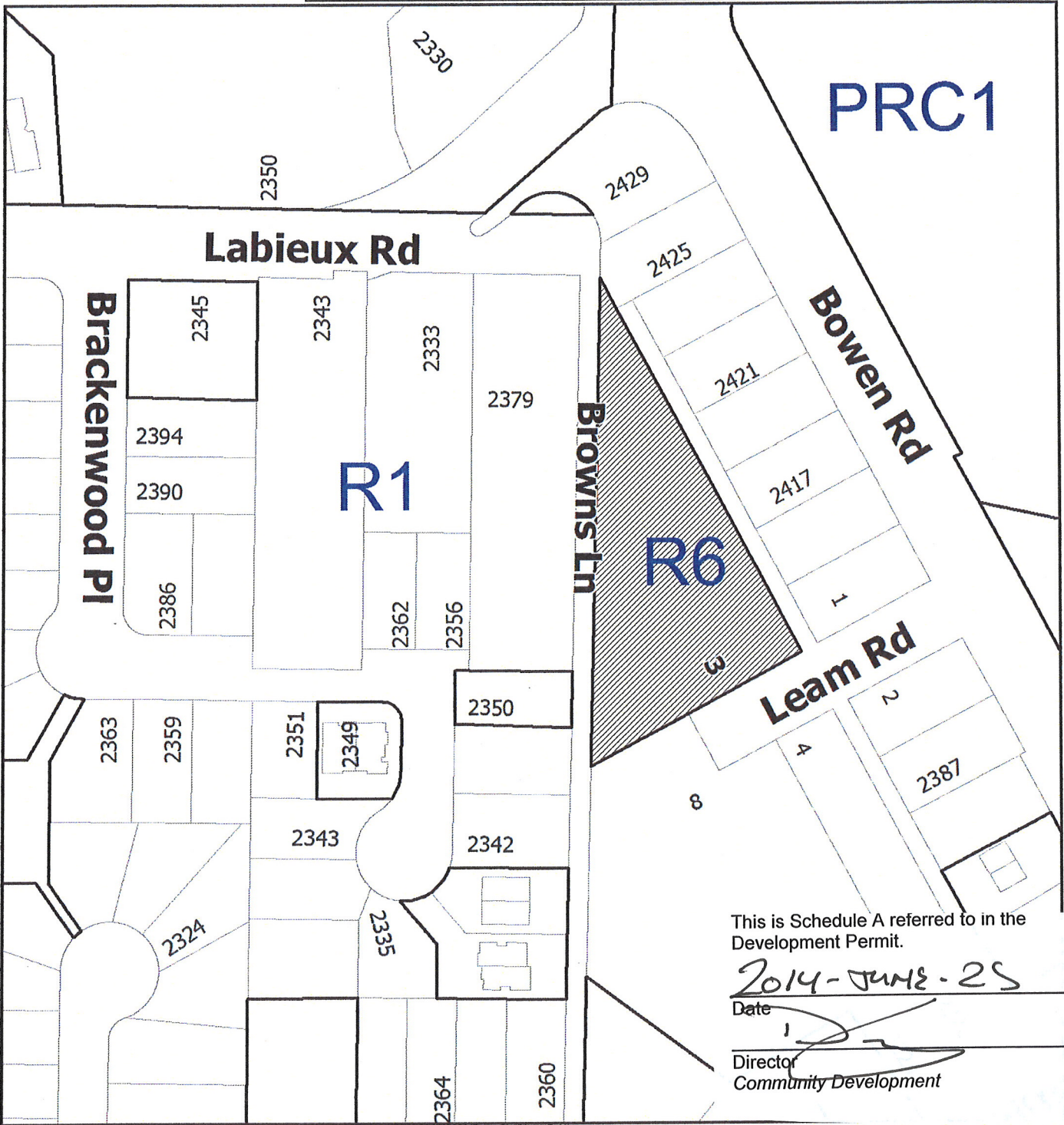
REVIEWED AND APPROVED ON

2014-JUN-25
Date


D. Lindsay
Director

Community Development
Pursuant to Section 154 (1)(b) of the Community Charter

GN/lb
Prospero attachment: DP000863 – 3 Leam Road



This is Schedule A referred to in the Development Permit.

2014-JUNE-25

Date

Director
Community Development

DEVELOPMENT PERMIT NO. DP000863

LOCATION PLAN

Civic: 3 Leam Road
Lot 31, Block 5, Sections 19 and 20, Range 7,
Mountain District, Plan 526



Subject Properties



Portion of Road to be Closed

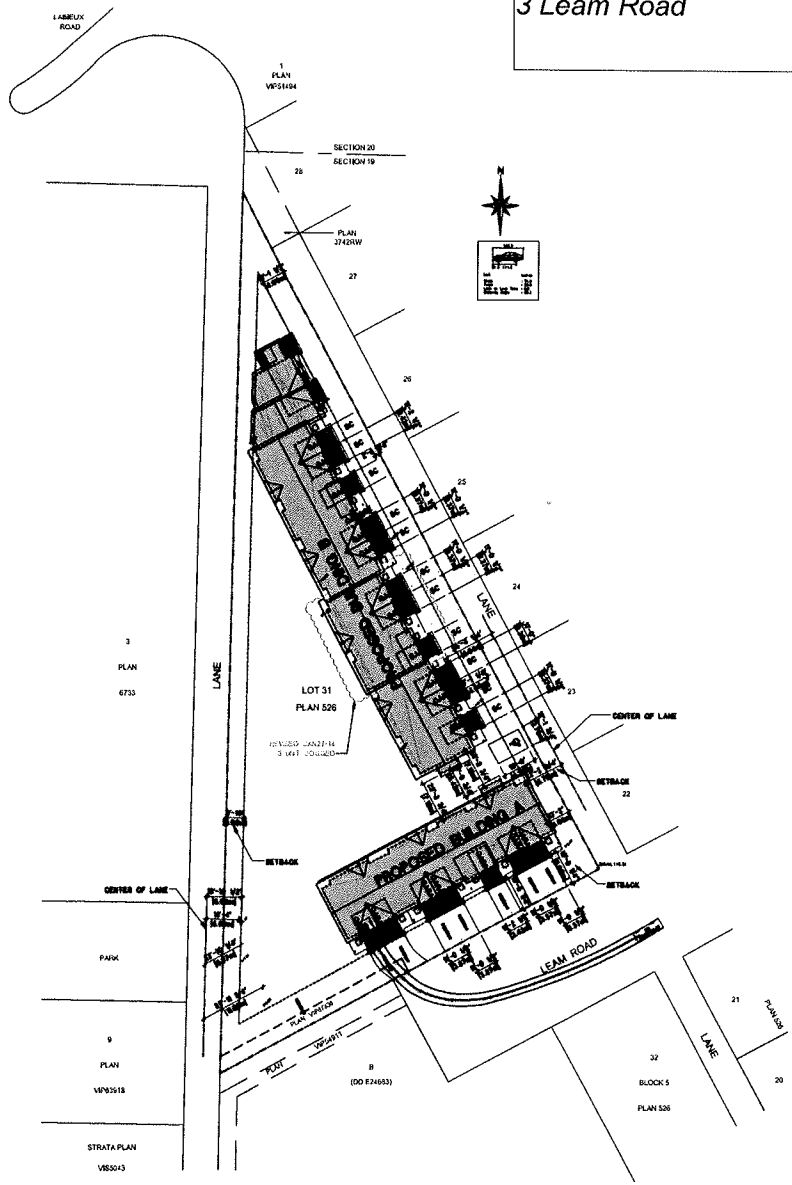
Development Permit No. DP000863 Schedule B
 3 Leam Road
 Site Plan

ATA
 ATA ARCHITECTURAL FIRM LTD
 200-1687 WEST BROADWAY
 VANCOUVER, B.C. V6J 1X2
 TEL. (604) 736-3730
 FAX. (604) 736-3771

OWNER'S NOTICE: All plans of this permit are the property of ATA Architectural Firm Ltd. and shall not be used without the owner's consent. The drawings shall show all items and matters to be provided and to meet all requirements of the BC Building Code and all other applicable laws.

REVISIONS:

rev.	date	description
1.	JUN 10/13	CLIENT REVIEW
2.	SEP 18/13	LANDSCAPE COORDINATION
3.	DEC 03/13	DEVELOPMENT PERMIT
4.	JAN 15/14	DEVELOPMENT PERMIT AMENDMENT
5.	FEB 04/14	DEVELOPMENT PERMIT AMENDMENT



CIVIC ADDRESS: 3 LEAM ROAD, NANAIMO, BC
 LEGAL DESCRIPTION: LOT 31, BLOCK 5, SECTION 19 AND 20, RANGE 7, MAIN TAIN DISTRICT, PLAN 526

ZONING: RS

DENSITY CALCULATION		
LOT AREA (ACRES)	1.20	
LOT AREA (SQ FT)	52,272	
MAX FAR	0.45	
MAX FA (SQ FT)	23,522 ALLOWED	

UNIT TYPE	MAIN FLOOR	2ND FLOOR	GFA
BUILDING A - 101	519	649	1,168
A-102	516	645	1,161
A-103	518	645	1,161
A-104	519	639	1,158
A-105	532	679	1,211
A-106	519	639	1,158
A-107	519	649	1,168
BUILDING B - 101	518	649	1,165
B-102	516	619	1,135
B-103	519	639	1,158
B-104	532	679	1,210
B-105	519	639	1,158
B-106	516	649	1,165
B-107	518	648	1,165
B-108	519	639	1,158
B-109	532	678	1,210
B-110	519	639	1,158
B-111	519	645	1,168
B-112	548	729	1,278
B-113	519	638	1,157
			23,456

LOT COVERAGE AND BUILDING HEIGHTS		
MAX COVERAGE	40%	
MAX SQ FT	20,908	
	GROSS	HEIGHT
BUILDING #	COVERAGE	HEIGHT
BUILDINGS A	59.7%	(F-1) NORTH BUILDING
BUILDINGS B	7.11%	27 1705
	8.551%	27 178
	17.379%	

PARKING		
STALLS/UNIT	REQUIRED	PROVIDED
# STALLS TOTAL	33	47
# ACCESSIBLE	1	2
# VISITOR	1.01	2

73% OF THIS MAY BE REDUCED TO SMALL CAR. ALL DRIVEWAYS COUNTED AS PARKING STALLS.
 ACCESSIBLE PARKING COUNTED TWICE.

DRAWING LIST	
A1.0	SITE PLAN / ZONING DATA
A2.0	BUILDING A - MAIN & 2ND FLOOR PLAN
A2.1	BUILDING A - ROOF PLAN
A2.2	BUILDING B - MAIN & 2ND FLOOR PLAN
A2.3	BUILDING B - ROOF PLAN
A3.0	BUILDING A - ELEVATIONS / SECTIONS
A3.1	BUILDING B - ELEVATIONS / SECTIONS

1 SITE PLAN
 SCALE 1/32" = 1'-0"

This is Schedule B referred to in the Development Permit.

2014-JUNE-25
 Date

Director
 Community Development

SEAL:

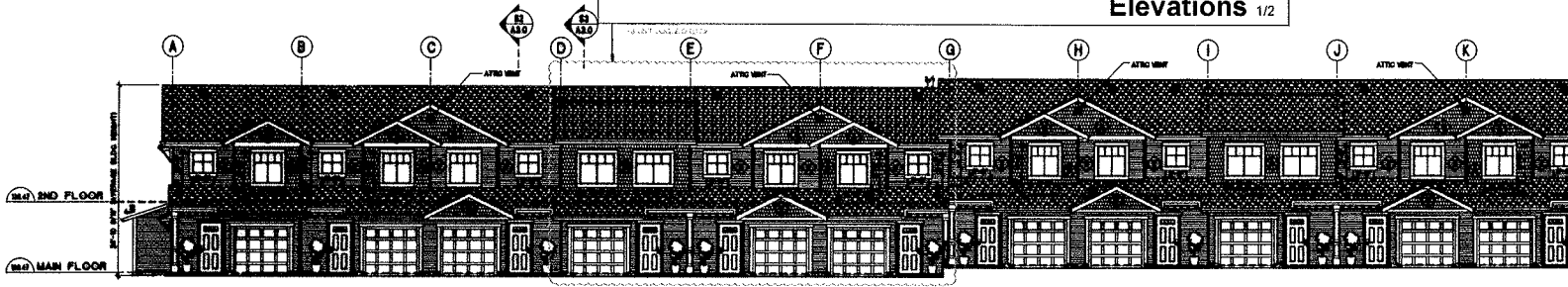
PROJECT:
 THREE LEAM ROAD
 NANAIMO, BC

SHEET TITLE:
 SITE PLAN
 ZONING DATA

CHECKED BY: AT
 DRAWN BY: CV
 DATE: MAY 06/13
 SCALE: AS NOTED
 PROJECT NO. DRAWING NO.
A1.0

Development Permit No. DP000863
3 Leam Road

Schedule C
Elevations 1/2



E1a Bldg B - PARTIAL FRONT ELEVATION
SCALE 1/8"=1'-0"

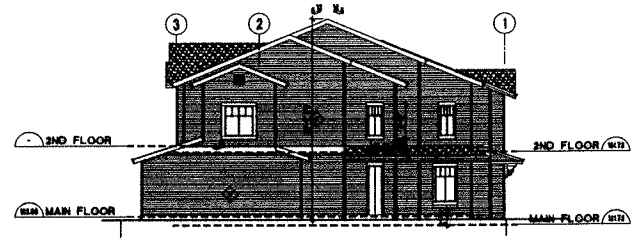


E1b Bldg B - PARTIAL FRONT ELEVATION
SCALE 1/8"=1'-0"

WALLS	
◊	VINYL SIDING
◊	VINYL SHAKES



E2 Bldg B - SIDE ELEVATION
SCALE 1/8"=1'-0"



E3 Bldg B - SIDE ELEVATION
SCALE 1/8"=1'-0"

This is Schedule C referred to in the Development Permit.

2014-July-25
Date

[Signature]
Director
Community Development

ATA
ATA ARCHITECTURAL DESIGN LTD

200-1687 WEST BROADWAY
VANCOUVER, B.C. V6J 1X2
TEL. (604) 736-3730
FAX. (604) 736-3771

GENERAL NOTE: ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE BC BUILDING ACT AND THE BC BUILDING REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.

REVISIONS:

rev.	date	description
1.	JUN 10/13	CLIENT REVIEW
2.	SEP 18/13	LANDSCAPE COORDINATION
3.	DEC 03/13	DEVELOPMENT PERMIT
4.	JAN 15/14	DEVELOPMENT PERMIT AMENDMENT
5.	FEB 04/14	DEVELOPMENT PERMIT AMENDMENT

PROJECT:
THREE LEAM ROAD
NANAIMO, BC

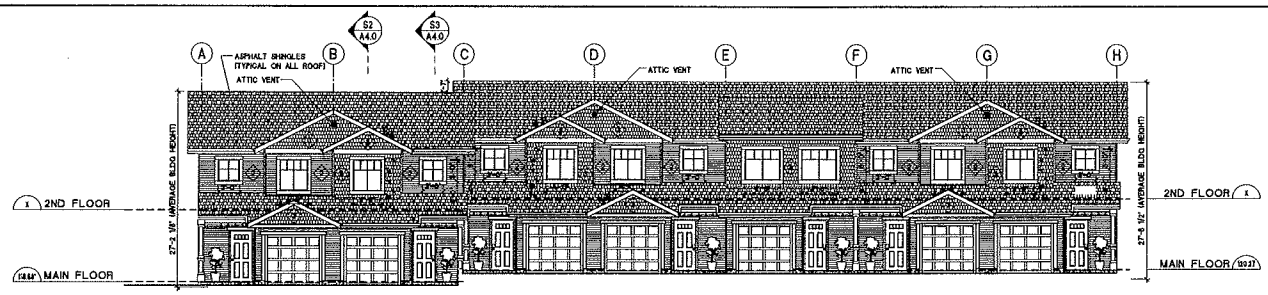
SHEET TITLE:
**BUILDING B
ELEVATIONS**

CHECKED BY:	AT	CV
DRAWN BY:	CV	
DATE:	MAY 08/13	
SCALE:	AS NOTED	
PROJECT NO.	DRAWING NO.	
	A3.1	

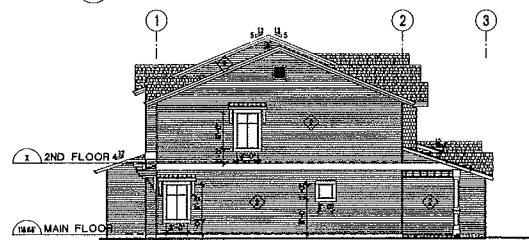
SUPPLIER PROVIDES ALL PARTS OF HIS DRAWING AND THE EXISTING PROPERTY OF MAIN FLOOR AND 2ND FLOOR AND SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE CONSTRUCTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS TO BE PROVIDED AND NOTIFY AS SOON AS POSSIBLE OF ANY DISCREPANCIES FOR THE WORK OF HIS OWNERS.

REVISIONS:

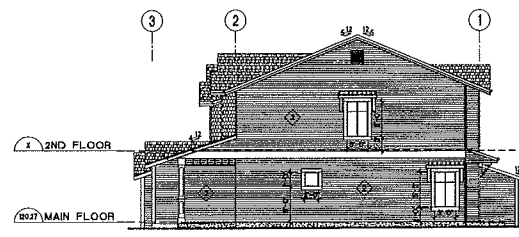
REV.	DATE	DESCRIPTION
1.	JUN 10/13	CLIENT REVIEW
2.	SEP 18/13	LANDSCAPE COORDINATION
3.	DEC 03/13	DEVELOPMENT PERMIT
4.	JAN 15/14	DEVELOPMENT PERMIT AMENDMENT
5.	FEB 04/14	DEVELOPMENT PERMIT AMENDMENT



E1 BLDG A - FRONT ELEVATION
SCALE: 1/8"=1'-0"



E2 BLDG A - SIDE ELEVATION
SCALE: 1/8"=1'-0"

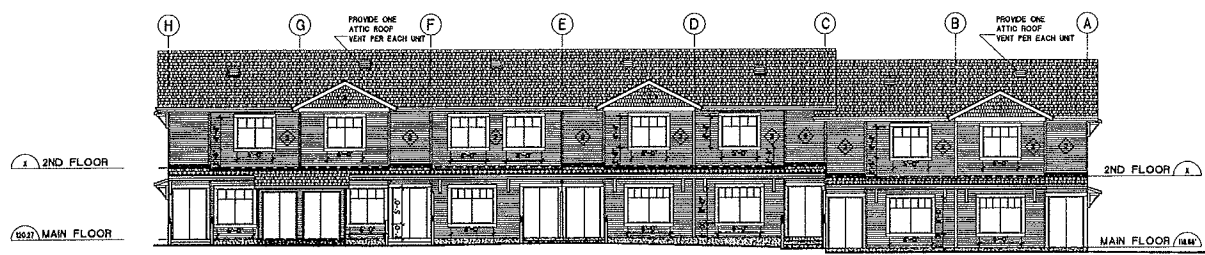


E3 BLDG A - SIDE ELEVATION
SCALE: 1/8"=1'-0"

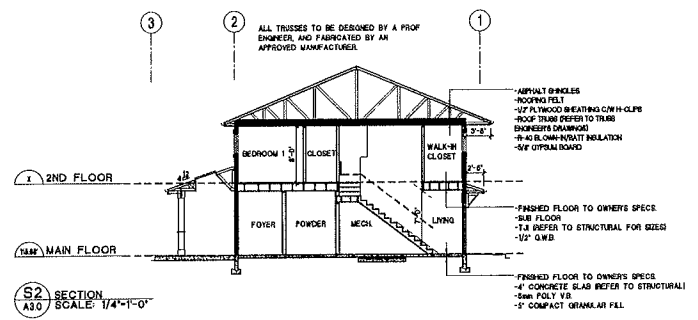
WALLS

- ◆ VINYL SIDING
- ◆ VINYL SHAKES

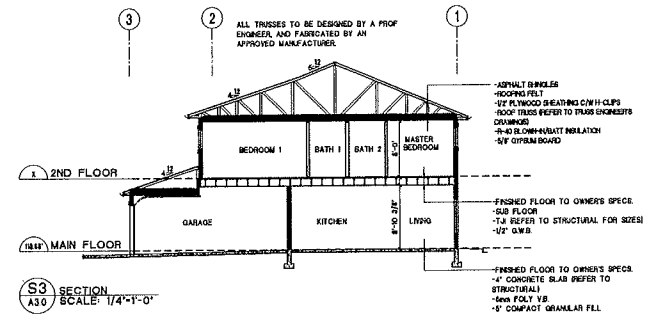
Development Permit No. DP000863 **Schedule C**
3 Leam Road **Elevations 2/2**



E4 BLDG A - REAR ELEVATION
SCALE: 1/8"=1'-0"



S2 SECTION A30
SCALE: 1/4"=1'-0"



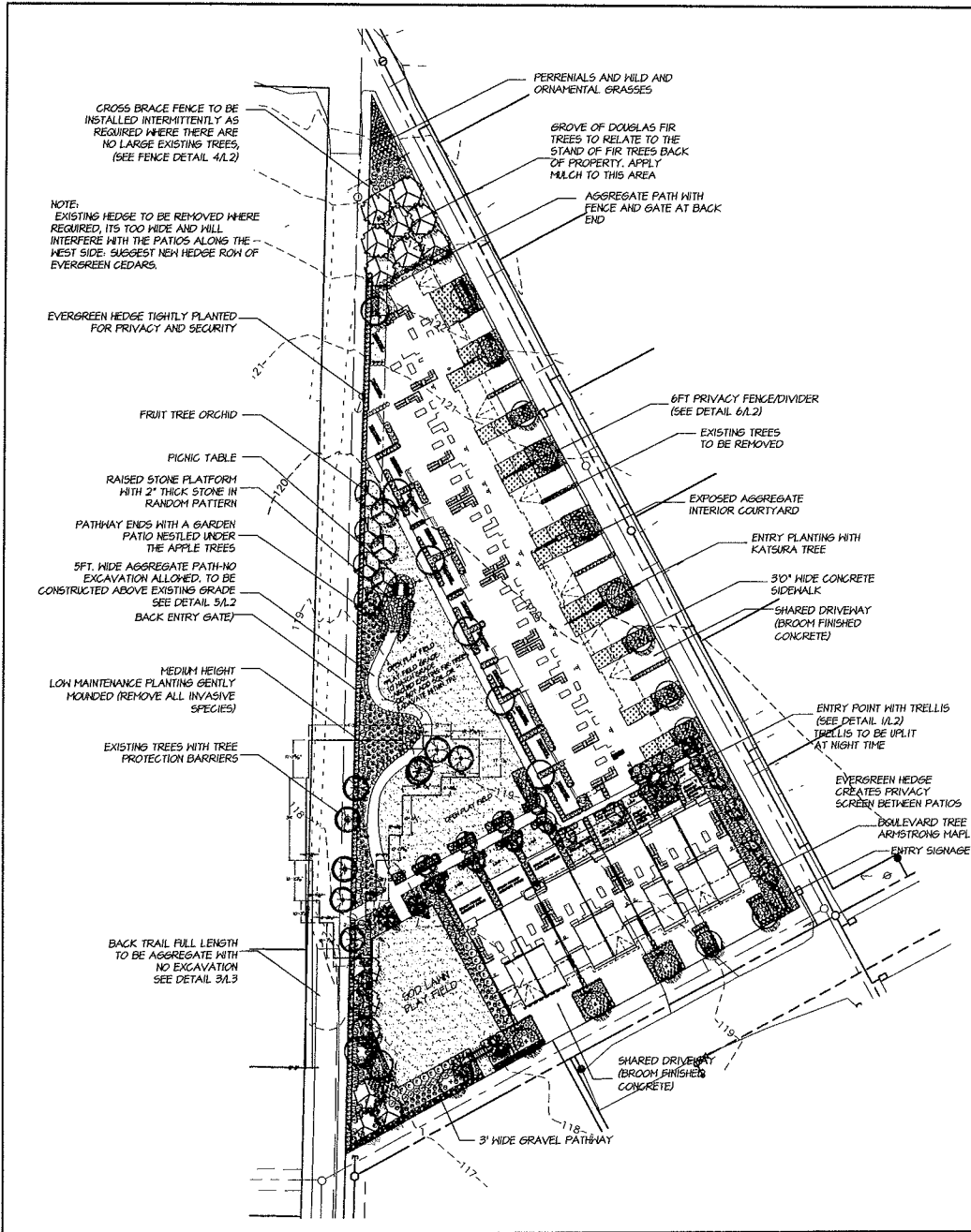
S3 SECTION A30
SCALE: 1/4"=1'-0"

PROJECT:
THREE LEAM ROAD
NANAIMO, BC

SHEET TITLE
BUILDING A
ELEVATIONS
SECTIONS

CHECKED BY: AT CV
DRAWN BY: CV
DATE: MAY 08/13
SCALE: AS NOTED
PROJECT NO. DRAWING NO.

A3.0



PLANT SCHEDULE M2 JOB NUMBER: 13 046

KEY QTY	BOTANICAL NAME	COMMON NAME	PLANTED SIZE / REMARKS
TREE			
21	ACER RUBRUM 'ARMSTRONG'	COULMVAR RED MAPLE	60H GAL, 5TD, B1B
4	ACER RUBRUM 'RED SUNSET'	RED SUNSET MAPLE	60H GAL, 5TD, B1B
4	CERCIDIPHYLLUM JAPONICUM	KATSURA TREE	60H GAL, 5TD, B1B
4	PICEA OXORICA	SERBIAN SPRUCE	50 HT, B1B
3	PSUDOTSUGA HENZLII	DOUGLAS FIR	50 HT, B1B
SHRUB			
1	CHRISTIA X AZTEC PEARL	AZTEC PEARL HOGK ORANGE	10 POT, 50CM
27	BIGNONIAS ALATA	HINDED BURBANK BUSH	12 POT
3	HYDRANGEA PACHYRHYLLA 'NIGRA'	BLACK STEW HYDRANGEA	10 POT, 50CM
24	LIABSTRUM JAPONICA	HAK LEAF PRIVET	10 POT, 100CM
30	H2	PALM HAWKRIA	12 POT
6	HAEMERA AGROFOLM	OREGON GRAPE HOLLY	10 POT, 50CM
2	PHYSCALPUS ORLIFOLIS 'DIABOLO'	KINE BARK	10 POT
11	RHOXODENDRON 'ALICE'	RHOXODENDRON DEEP PINK E. MAY	10 POT, 50CM H B1B
24	ROSA 'BONGA HEDILANP'	BONGA HEDILAN ROSE, PINK	12 POT, 100CM
1	SIEMPIA REBELLA	JAPANESE SIEMPIA	10 POT, 50CM
456	TILIA OCCIDENTALIS 'SHARAGO'	EMERALD GREEN CEDAR	24 HT, B1B
11	VIBURNUM DAVIDII	DAVID'S VIBURNUM	12 POT
GRASS			
153	FESTUCA GLAUCA 'ELIJAH BLUE'	BLUE FESCUE	10 POT
14	HELICTOTRICHUM SEMPERVIRENS	BLUE OAT GRASS	10 POT
36	HISCANTIS SINENSIS 'MORNING LIGHT'	MORNING LIGHT JAP SILVER GRASS	10 POT
64	PENNSETUM ALPESTRIS 'MAGNIF'	SHARP FOUNTAIN GRASS	10 POT
PERENNIAL			
241	NEPETA	CATMINT DRIFT	10 POT
23	PENNSETUM MITAGEN 'TERRAM'	PURPLE FOUNTAIN GRASS	10 POT
92	RUDBECKIA FULGIDA VAR SALLVANTII	GOLDSTURM/GOLDSTURM BLACK-EYED SUSAN	10 POT
5	SEDUM ERYTHROGONUM 'FROSTY HORY'	SEDUM	10 POT
5	SEDUM TELEPHIUM 'MAYSONIA'	SEDUM	10 POT
GC			
71	ARCTOSTAPHYLOS UVA-URSI 'VANCOUVER JADE'	KINKERINICK	10 POT
231	GALENERIA SHALLOW	SHALAL	10 POT, 20CM, 60CM O.G.
341	OPHIOPOGON PLANISCAPUS 'INGRESSENS'	BLACK MONDO GRASS	10 POT, 20CM

NOTES: * PLANT SIZES IN THIS LIST ARE SPECIFIED ACCORDING TO THE BC LANDSCAPE STANDARDS LATEST EDITION. CONTAINER SIZES SPECIFIED AS PER CANIA STANDARDS. BOTH PLANT SIZE AND CONTAINER SIZE ARE THE MINIMUM ACCEPTABLE SIZES. * REFER TO SPECIFICATIONS FOR DEFINED CONTAINER REQUIREMENTS AND OTHER PLANT MATERIAL REQUIREMENTS. * BEGAIN AND REVIEW HAVE PLANT MATERIAL AVAILABLE FOR OPTIONAL REVIEW BY LANDSCAPE ARCHITECT AT SOURCE OF SUPPLY. AREA OF SEARCH TO INCLUDE LOWER HIGHLAND AND FRASER VALLEY. * SUBSTITUTIONS OBTAIN WRITTEN APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO MAKING ANY SUBSTITUTIONS TO THE SPECIFIED MATERIAL. UNAPPROVED SUBSTITUTIONS WILL BE REJECTED. ALLOW A MINIMUM OF FIVE DAYS PRIOR TO DELIVERY FOR REQUEST TO SUBSTITUTE. SUBSTITUTIONS ARE SUBJECT TO BC LANDSCAPE STANDARD - DEFINITION OF CONDITIONS OF AVAILABILITY.

ALL PLANT MATERIAL MUST BE PROVIDED FROM CERTIFIED DISEASE FREE NURSERY. PROVIDE CERTIFICATION UPON REQUEST.

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#220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3L7
Tel: 604.553.0044
Fax: 604.553.0045
Email: office@m2la.com

Development Permit No. DP000863 Schedule D
3 Leam Road
Landscape Plan 1/3

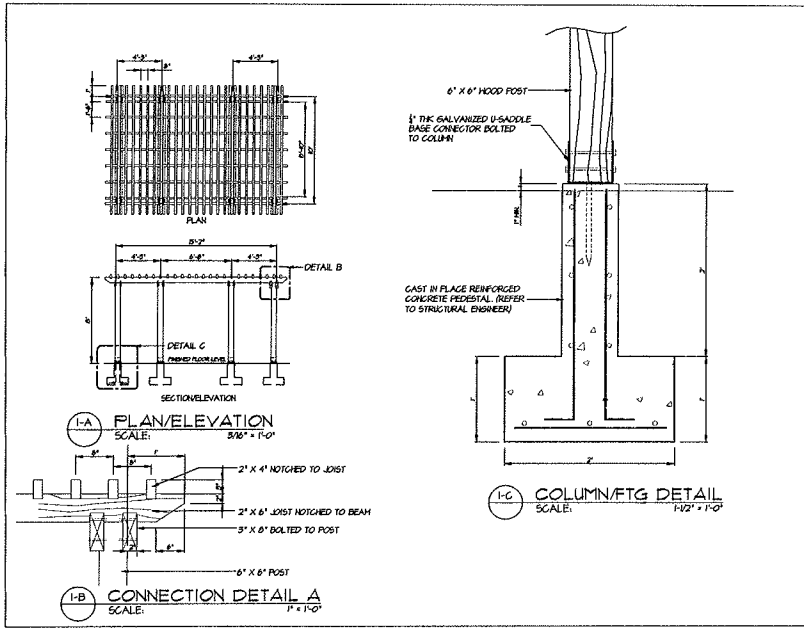
NO.	DATE	REVISION DESCRIPTION	DR.
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PROJECT: MULTI-FAMILY RESIDENTIAL
NO. 3 LEAM ROAD, HANAIMO, B.C.

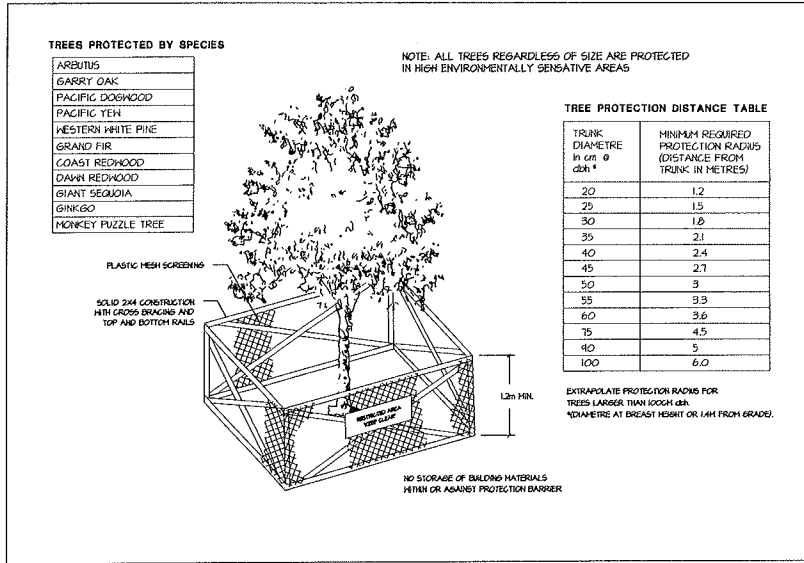
DRAWING TITLE: LANDSCAPE PLAN

DATE: 12/14/26 DRAWING NUMBER:
SCALE: 1/4"=1'-0"
DRAWN: TK
DESIGN: TK
CHECK: TK
MFLA PROJECT NUMBER: JOB NO 13 046

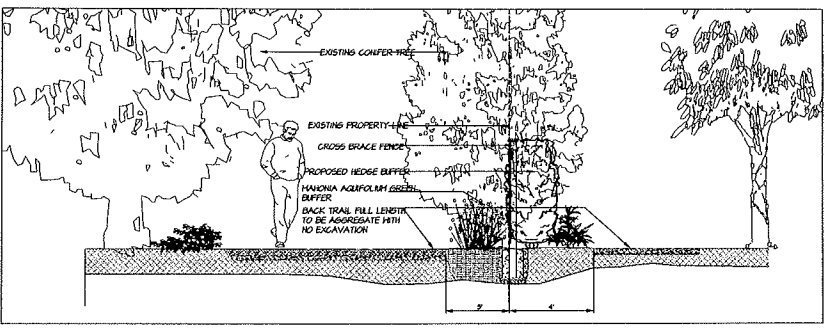
This is Schedule D referred to in the Development Permit.
2014-JUNE-25
Date
Director
Community Development



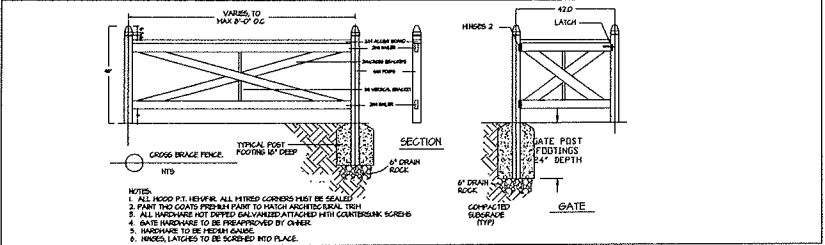
1 TRELLIS DETAILS
SCALE:



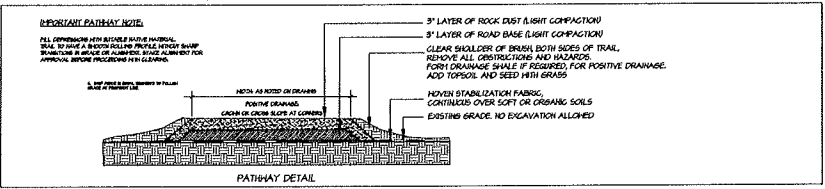
2 TREE PROTECTION BARRIER
SCALE:



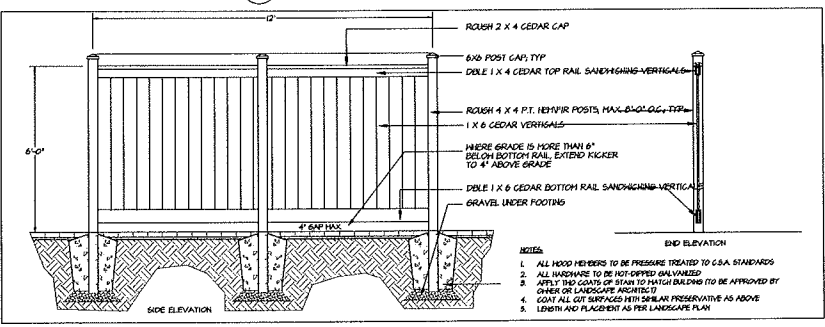
3 WEST TRAIL SECTION/ELEVATION
SCALE: 3/8" = 1'-0"



4 CROSS BRACE FENCE DETAIL
SCALE: 1/2" = 1'-0"



5 PATHWAY DETAIL
SCALE: 1/4" = 1'-0"



6 6FT PRIVACY FENCE DETAIL
SCALE: 1/2" = 1'-0"

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Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
1			
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PROJECT:
MULTI-FAMILY RESIDENTIAL
NO. 3 LEAM ROAD,
NANAIMO, B.C.

DRAWING TITLE:
LANDSCAPE DETAILS

DATE: 12/18/20	DRAWING NUMBER:
SCALE: PER DRAWING	L2
DRAWN: TK	
DESIGN: TK	
CHECK: TK	

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1220 - 26 Lorne Mews
New Westminster, British Columbia
V3M 3J7
Tel: 604.553.0044
Fax: 604.553.0003
Email: office@m2la.com

NO.	DATE	REVISION DESCRIPTION	DR.
6	IN PROG	REV. CLIENT COMMENT	MT
4	ISSUED	REV. PERMITS/REVISIONS	MT
3	ISSUED	REV. PERMITS/REVISIONS	MT
2	ISSUED	REV. PERMITS/REVISIONS	MT
1	ISSUED	REV. PERMITS/REVISIONS	MT

NO. DATE REVISION DESCRIPTION DR.

PROJECT
MULTI-FAMILY RESIDENTIAL
NO. 3 LEAM ROAD,
NANAIMO, B.C.

DRAWING TITLE

SPECIFICATIONS

DATE: NOV, 1 2019	DRAWING NUMBER:
SCALE: NTS	
DRAWN: TK	
DESIGN: TK	L2
CHECK: MTM	OF 3
MALA PROJECT NUMBER:	JOB NO B3 049

PART THREE GENERAL REQUIREMENTS

- 1.1 WORKS**
 - 1.1.1 These works shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 1.1.2 All work shall be completed in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 1.1.3 All work shall be completed in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 1.2 MATERIALS**
 - 1.2.1 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
 - 1.2.2 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
- 1.3 METHODS**
 - 1.3.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 1.3.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 1.4 TOLERANCES**
 - 1.4.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 1.4.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.

PART TWO SCOPE OF WORK

- 2.1 GENERAL**
 - 2.1.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 2.1.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 2.2 MATERIALS**
 - 2.2.1 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
 - 2.2.2 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
- 2.3 METHODS**
 - 2.3.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 2.3.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 2.4 TOLERANCES**
 - 2.4.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 2.4.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.

TABLE ONE: PROPERTIES OF COMMON GRADES		TABLE TWO: PROPERTIES OF COMMON GRADES	
Application	Low / High Traffic	Application	Low / High Traffic
Base	10	Sub	10
Sub	10	Sub	10
Sub	10	Sub	10

PART THREE SOFT LANDSCAPE DEVELOPMENT

- 3.1 INTRODUCTION**
 - 3.1.1 These works shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.1.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 3.2 MATERIALS**
 - 3.2.1 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
 - 3.2.2 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
- 3.3 METHODS**
 - 3.3.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.3.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 3.4 TOLERANCES**
 - 3.4.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.4.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.5 MATERIALS**
 - 3.5.1 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
 - 3.5.2 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
- 3.6 METHODS**
 - 3.6.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.6.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 3.7 TOLERANCES**
 - 3.7.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.7.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.8 MATERIALS**
 - 3.8.1 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
 - 3.8.2 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
- 3.9 METHODS**
 - 3.9.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.9.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 3.10 TOLERANCES**
 - 3.10.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.10.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.11 MATERIALS**
 - 3.11.1 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
 - 3.11.2 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
- 3.12 METHODS**
 - 3.12.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.12.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 3.13 TOLERANCES**
 - 3.13.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.13.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.14 MATERIALS**
 - 3.14.1 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
 - 3.14.2 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
- 3.15 METHODS**
 - 3.15.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.15.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 3.16 TOLERANCES**
 - 3.16.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.16.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.

PART THREE SOFT LANDSCAPE DEVELOPMENT - CONT

- 3.17 MATERIALS**
 - 3.17.1 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
 - 3.17.2 All materials shall be of the highest quality and shall conform to the specifications and drawings provided by M2 Landscape Architecture.
- 3.18 METHODS**
 - 3.18.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.18.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
- 3.19 TOLERANCES**
 - 3.19.1 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.
 - 3.19.2 All work shall be carried out in accordance with the specifications and drawings provided by M2 Landscape Architecture.