



DEVELOPMENT PERMIT NO. DP000845

506675 BC LTD INC
Name of Owner(s) of Land (Permittee)

2052 BOXWOOD ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT A, SECTION 16, RANGE 7, MOUNTAIN DISTRICT, PLAN VIP87892

PID No. 028-211-880

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Landscape Plan
Schedule D Building Elevations
Schedule E Building Elevations of Future Expansion
Schedule F Building Perspectives
Schedule G Maximum Retail of 25% Located

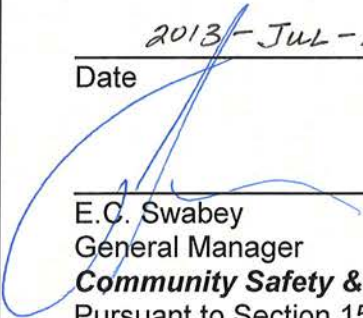
- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

Section 13.4.4 – Siting of Buildings

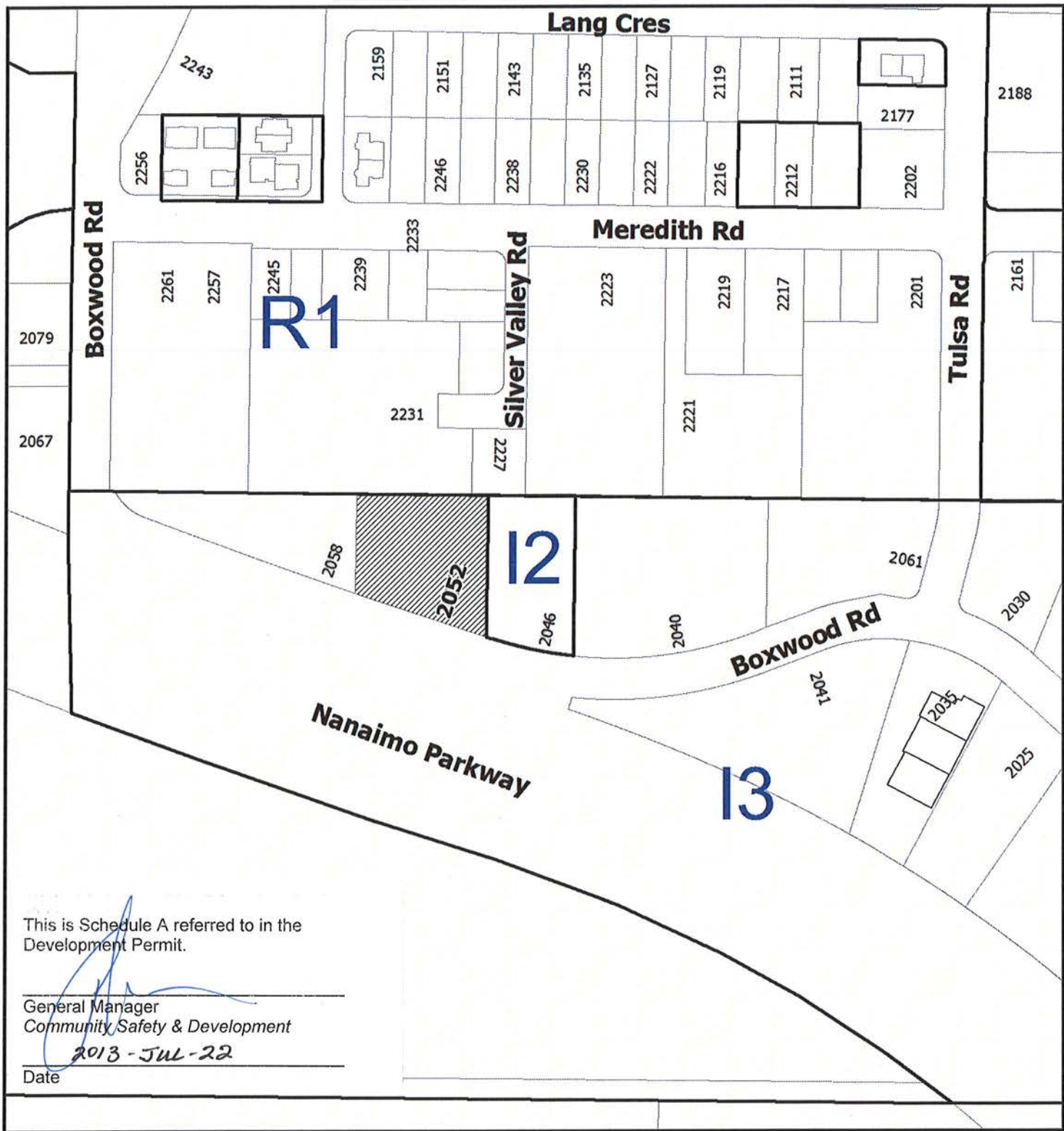
The subject property abuts a major roadway where the front yard setback shall be 7.5 m. The building is sited 4.5 m from the front property line, a variance of 3 m.

REVIEWED AND APPROVED ON

2013 - Jul - 22
Date


E.C. Swabey
General Manager
Community Safety & Development
Pursuant to Section 154 (1)(b) of the Community Charter

GN/lb
Prospero attachment: DP000845



This is Schedule A referred to in the Development Permit.

General Manager
Community Safety & Development

2013-JUL-22
Date

DEVELOPMENT PERMIT NO. DP000845

LOCATION PLAN

 Subject Property

Civic: 2052 Boxwood Drive
Lot A, Section 16, Range 7,
Mountain District, Plan VIP87892



Development Permit No. DP00845
2052 Boxwood Drive

**Schedule B
Site Plan**

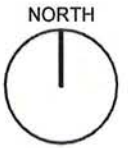
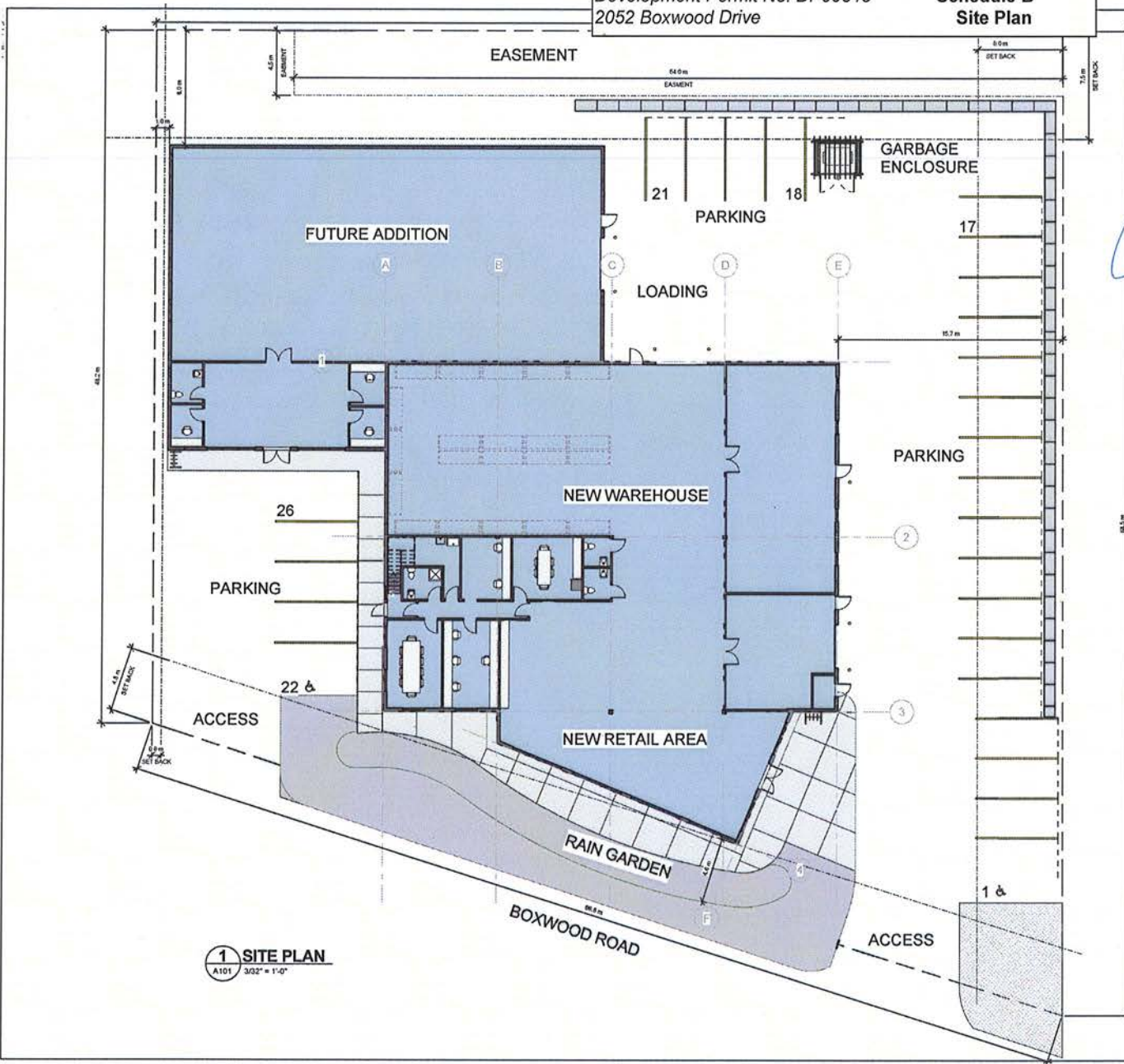
| ISSUES | |
|--------|------------|
| NO. | DATE |
| 1 | 2013.05.14 |
| 2 | 2013.05.30 |
| 3 | 2013.06.20 |

This is Schedule B referred to in the Development Permit.

General Manager
Community Safety & Development

2013-JUL-22

Date



INDUSTRIAL PLASTICS AND PAINTS
2052 BOXWOOD ROAD
NANAIMO BC

PROPERTY DATA
LEGAL DESCRIPTION:
LOT A SECTION 16 RANGE 7 MOUNTAIN DISTRICT
PLAN V1P7892
PARCEL IDENTIFIER: 028-211-880
ADDRESS: 2052 BOXWOOD ROAD
ZONING: I2
MAJOR OCCUPANCY: F2
SITE AREA: 3720 m²
BUILDING AREA: 1421 m²
GROSS FLOOR AREA: 1551 m²
NET FLOOR AREA: 1550 m²
OFFICE AREA: 100 m²
SALES AREA: 260 m²
LOT COVERAGE: 38%
PARKING REQUIREMENTS: 26 STALLS PROVIDED (25 REQ'D)
NUMBER OF UNITS: 2
HEIGHT OF BUILDING: 6.7m
FINISHED GRADE: 94m ± GEODETIC DATUM

HEROLD ENGINEERING LIMITED
Consulting Engineers
3713 Lakeshore Ave. Nanaimo, B.C. V9Y 2B1
T: 250.751.8338 | F: 250.751.8338
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1 SITE PLAN
A101 3/32" = 1'-0"

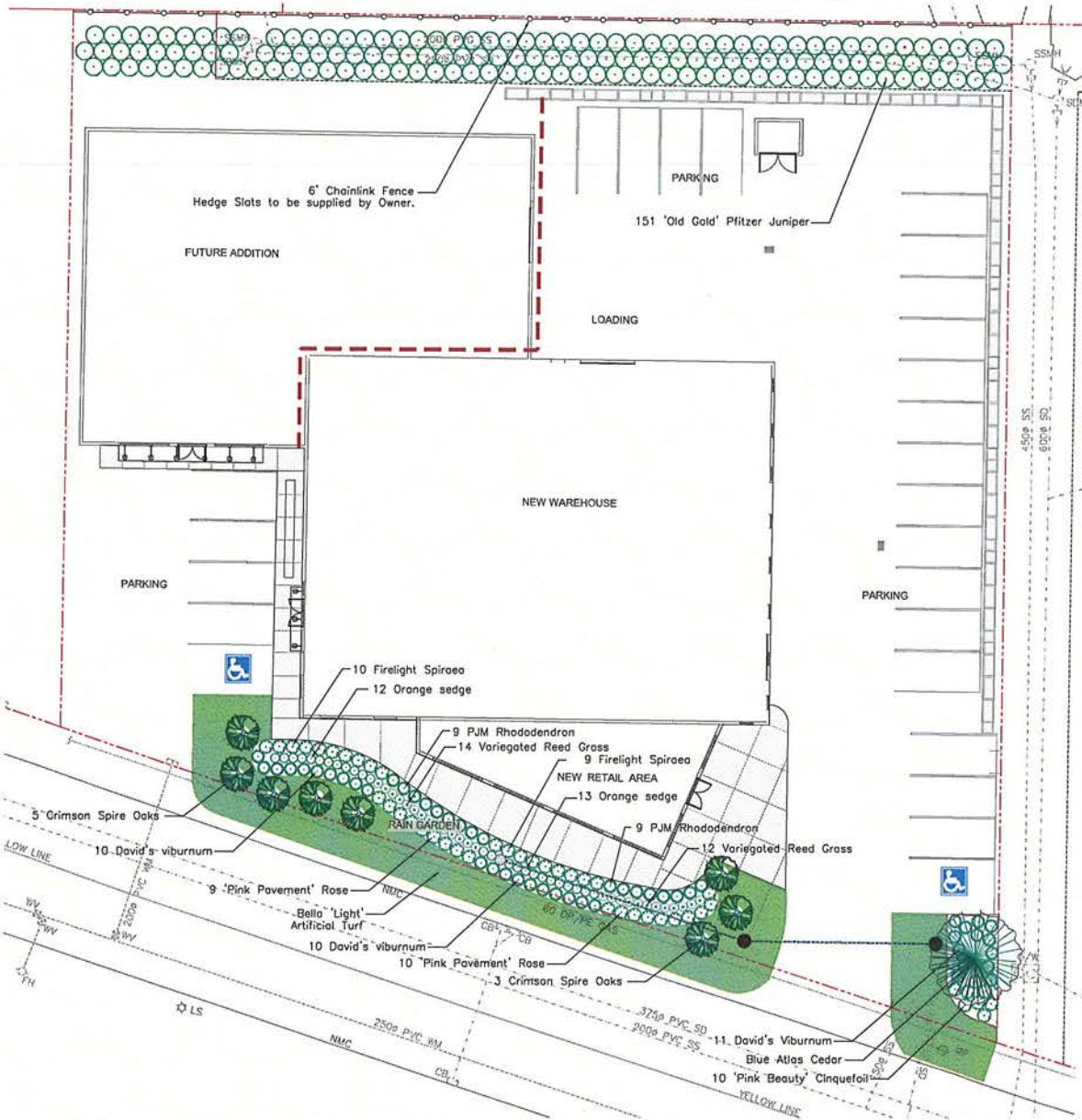
| SITE PLAN | |
|---------------------------------|----------------------|
| DESIGNED BY ES | SCALE |
| CHECKED BY JB | |
| DRAWN BY JB | |
| DATE 2013-07-22 | |
| PROJECT NO. 2016-001 | CLIENT / ADDRESS NO. |
| SCALE 3/32" = 1'-0" | PERMIT NO. |
| REV. DRAWING NO. A101 | REVISION 3 |

VERIFY ALL DRAWING DIMENSIONS BEFORE BEGINNING CONSTRUCTION

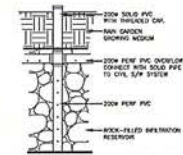
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| Revisions | | |
|-----------|---------|------|
| Date | Details | Int. |
| | | |
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| | | |

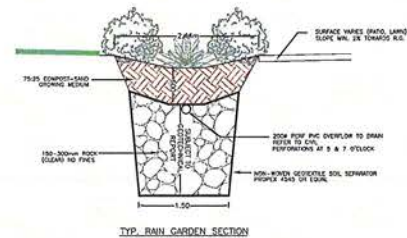
04/05/13 Development Permit Application JPH



| PLANT LIST | | | | |
|---------------------------------|--|-----------------------|------------|------------|
| NO. | BOTANICAL NAME | COMMON NAME | SIZE | SPACING |
| TREES | | | | |
| 1 | Cedrus atlantica glauca | Atlas cedar | #15 (2.5m) | 3m O.C. |
| 8 | Quercus robur 'Crimson Spire' | Crimson Spire oak | 6cm cal. | |
| SHRUBS | | | | |
| 27 | Juniperus chinensis 'Pfitzer Old Gold' | Old Gold Juniper | #2 pot | 1.22m O.C. |
| 10 | Pinus strobus 'Pink Beauty' | Cinquefoil (P&A) | #2 pot | 91cm O.C. |
| 18 | Rhododendron 'PJM' | PJM rhodo | #2 pot | 91cm O.C. |
| 19 | Rosa 'Pink Pavement' | PFP rose | #2 pot | 91cm O.C. |
| 19 | Spirea x bumalda 'Firelight' | GF spirea | #2 pot | 91cm O.C. |
| 21 | Viburnum davidii | David's viburnum | #2 pot | 91cm O.C. |
| PERENNIALS & GRASSES | | | | |
| 26 | Callamagrostis acutiflora 'Overdam' | Variegated reed grass | #1 pot | 61cm O.C. |
| 25 | Carex testacea | Orange sedge | #1 pot | 61cm O.C. |



INSPECTION PIPE



TYP. RAIN GARDEN SECTION

**Industrial Paint and Plastics
 2052 Boxwood Road, Nanaimo
 Development Permit Application - Landscape Plan**



This is Schedule C referred to in the Development Permit.

DP

General Manager
Community Safety & Development

2013-JUL-22

Date

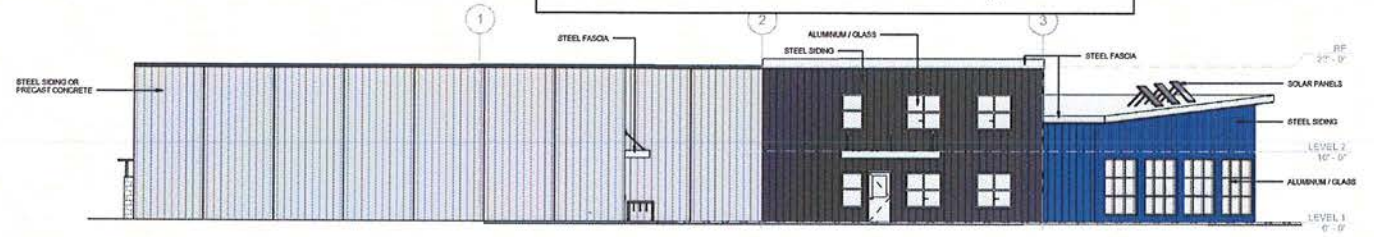
JPH Consultants Inc.
434 Nelson Street, Nanaimo BC V9R 2L1
Phone: 250-754-0587 Cell: 250-716-2556

Project: 13-Industrial plastics
Date: 30/05/13
Drawn: JPH Checked: TS
Scale: 1:125

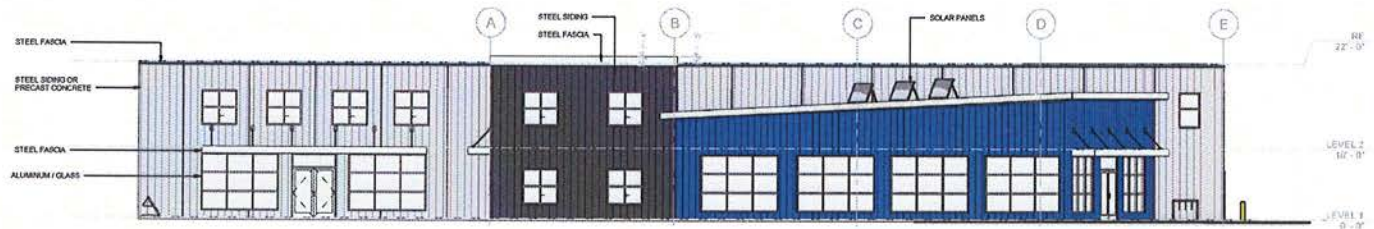
Sheet: L1 of 1

Development Permit No. DP00845
 2052 Boxwood Drive

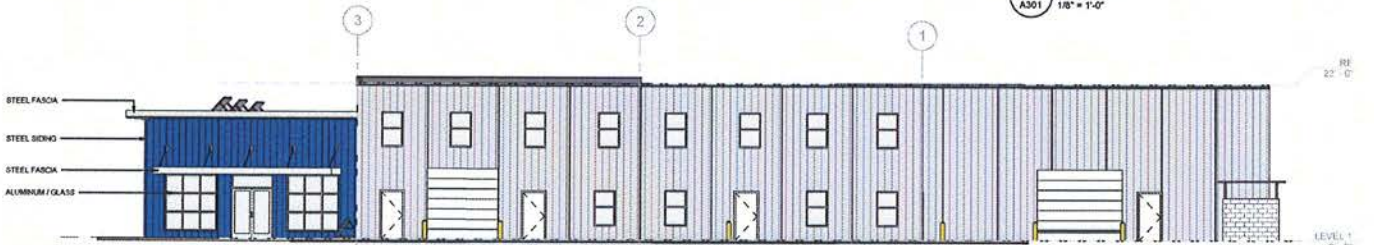
Schedule D
 Building Elevations



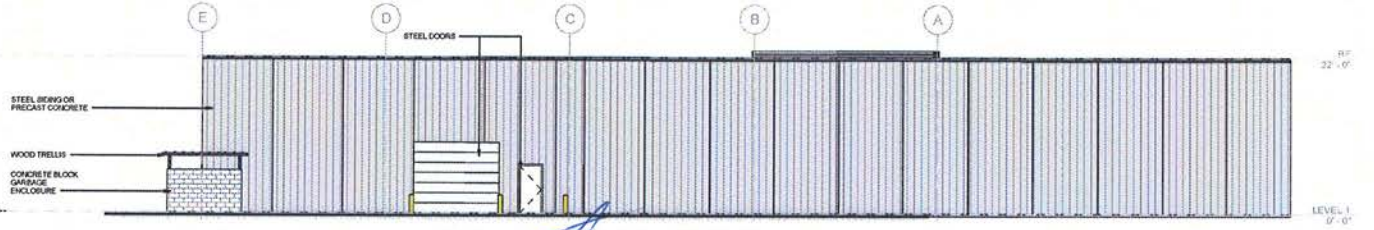
1 SIDE 2 (WEST)
 A301 1/8" = 1'-0"



2 STREET (SOUTH)
 A301 1/8" = 1'-0"



3 SIDE 1 (EAST)
 A301 1/8" = 1'-0"



4 REAR (NORTH)
 A301 1/8" = 1'-0"

| ISSUES | |
|--------|------------------------------------|
| NO. | DESCRIPTION |
| 1 | 2013.06.14 CLIENT REVIEW |
| 2 | 2013.06.20 REVIEW MEETING |
| 3 | 2013.06.20 DEVELOPMENT PERMIT (DP) |

INDUSTRIAL PLASTICS AND PAINTS
 2052 BOXWOOD ROAD
 NANAIMO BC

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 Consulting Engineers
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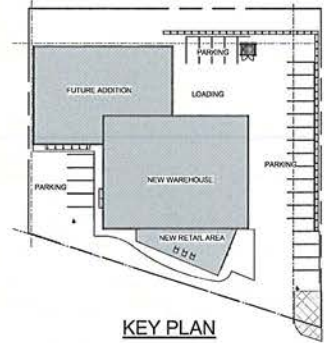
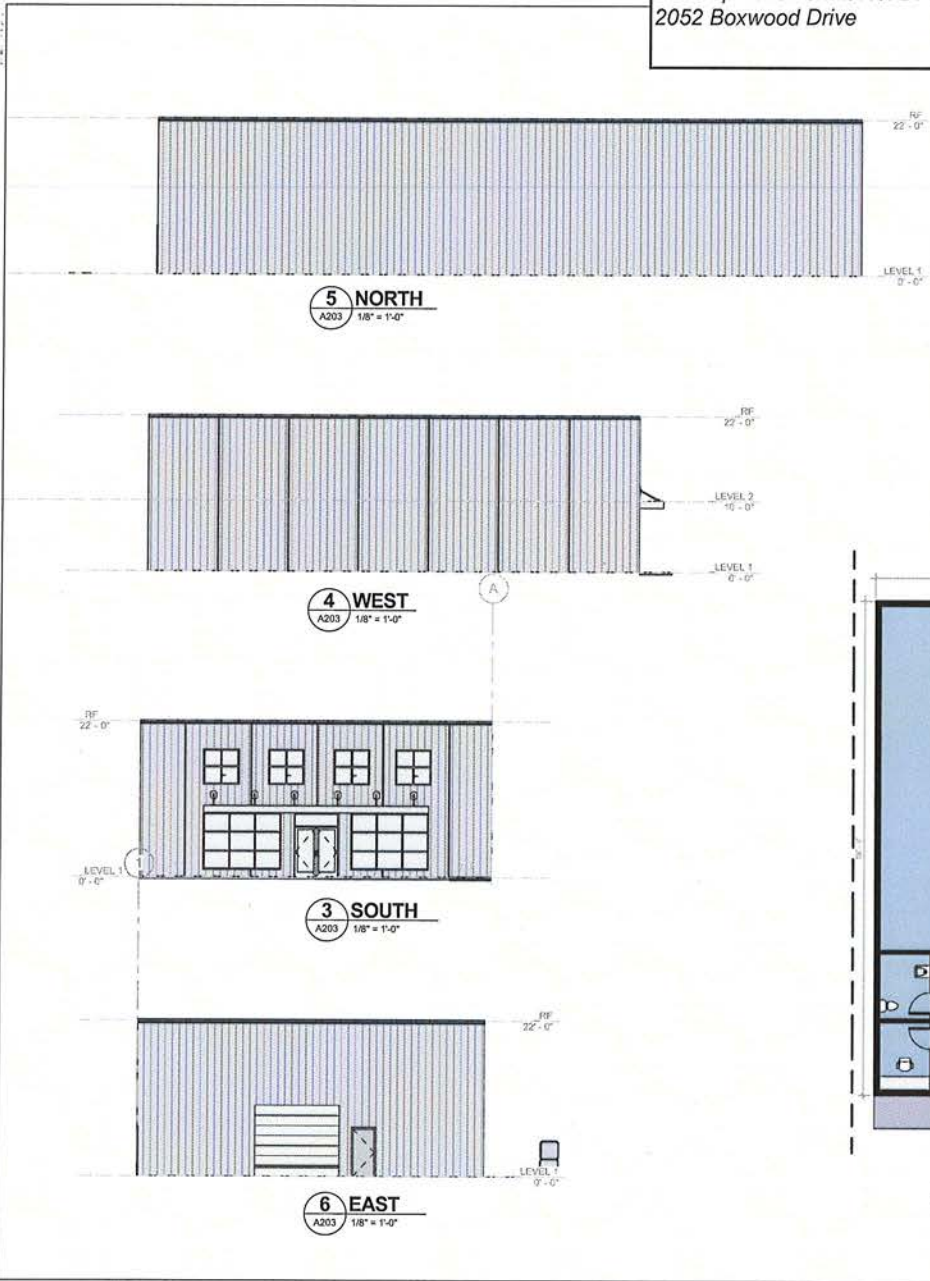
| ELEVATIONS | |
|--------------------------------|--------------------|
| REVISION | SCALE |
| ES | |
| DESIGN REVIEW | |
| QUOTED | |
| JOB | |
| DRAWING REVIEW | |
| PROJECT NO. 3018-001 | CLIENT DRAWING NO. |
| TITLE 1/8" = 1'-0" | PERMIT NO. |
| NET DRAWING NO. A301 | REVISION 3 |

This is Schedule D referred to in the Development Permit.

[Signature]
 General Manager
 Community Safety & Development
 2013-JUL-22
 Date

DESIGN ALL DIMENSIONS SHOWN PRELIMINARY

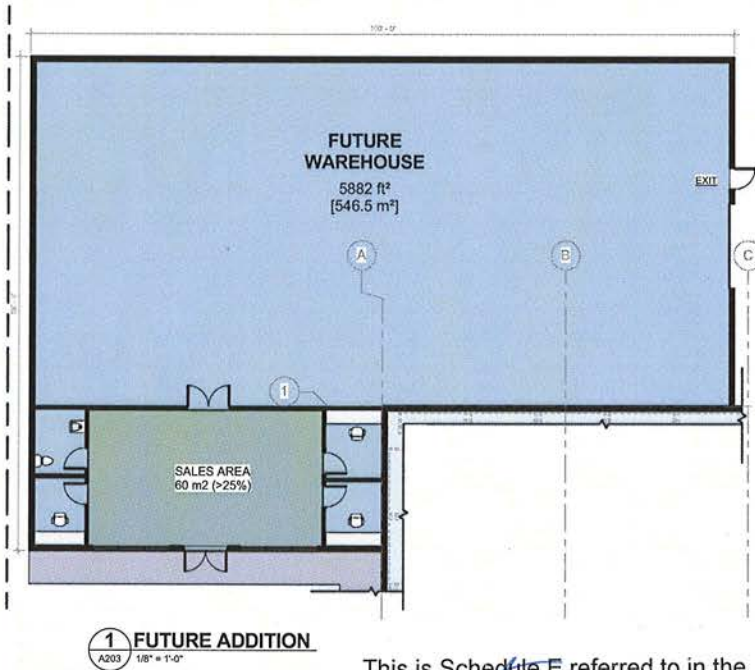
Development Permit No. DP00845
 2052 Boxwood Drive
Schedule E
Building Elevations of
Future Expansion



| ISSUES | |
|--------|-------------------------------|
| NO. | REVISION |
| 1 | 2013.04.24 CLIENT REVIEW |
| 2 | 2013.05.30 REVIEW MEETING |
| 3 | 2013.06.03 DEVELOPMENT PERMIT |

NORTH

INDUSTRIAL PLASTICS AND PAINTS
 2052 BOXWOOD ROAD
 NAWMICO BC



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 Consulting Engineers
 3181 Steeles Ave. E., Unit 104
 Scarborough, Ontario M1V 4T5
 Tel: 416-751-8554 Fax: 416-751-8554
 Email: info@heroldengineering.com

| DESIGNED | |
|-------------------|---------------------|
| ES | TSL |
| DESIGN REVIEW | |
| + | |
| DESIGNED | |
| JB | |
| DESIGN REVIEW | |
| + | |
| PROJECT NO. | TENDER GROUPING NO. |
| 3016-001 | |
| SCALE | PERMET NO. |
| As Indicated | |
| CELL GROUPING NO. | PERMET NO. |
| A203 | |
| OF | |

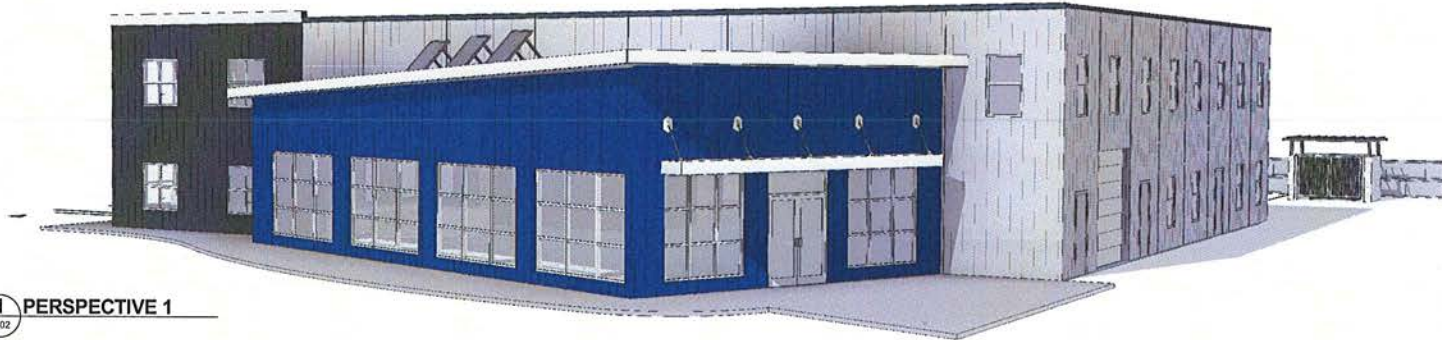
This is Schedule E referred to in the Development Permit.

[Signature]
 General Manager
 Community Safety & Development
 2013-JUL-22
 Date

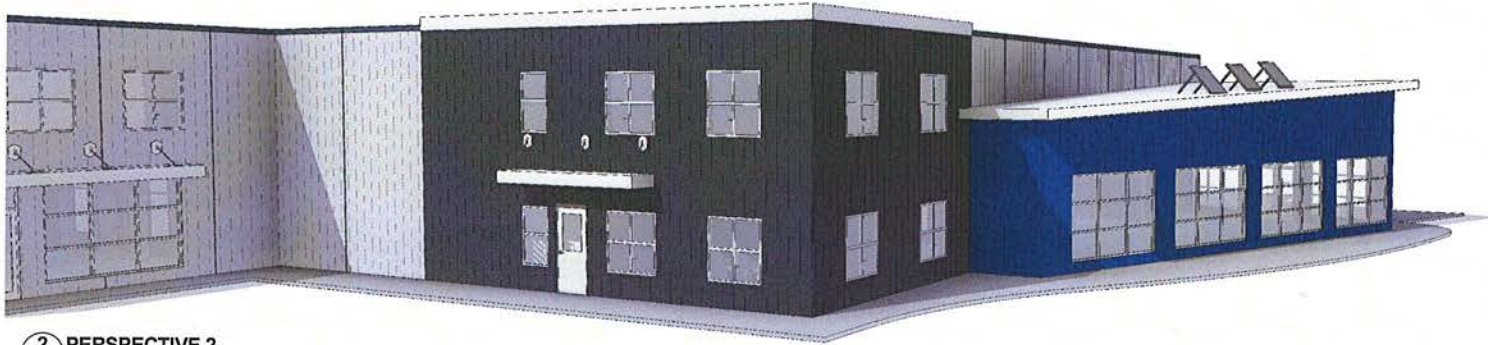
3/20/13 ALL DRAWINGS SHOWN PREVIOUS 11/4/2013

Development Permit No. DP00845
2052 Boxwood Drive

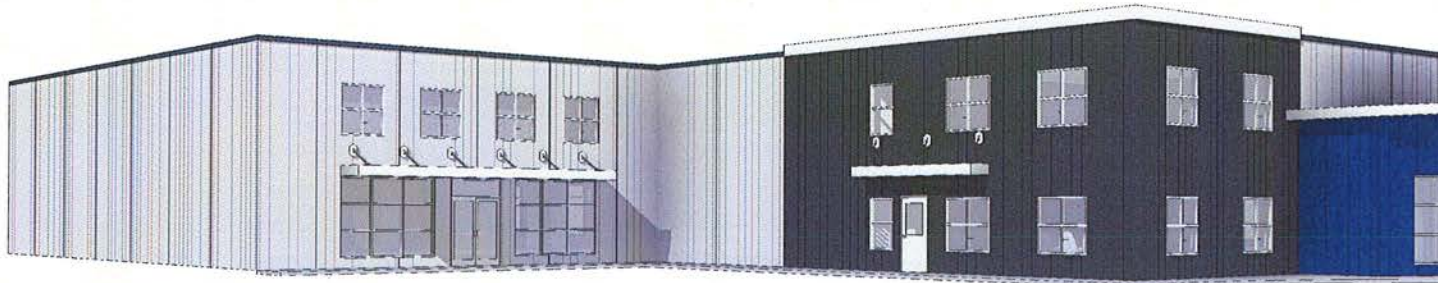
Schedule F
Building Perspectives



1 PERSPECTIVE 1
A302



2 PERSPECTIVE 2
A302



3 PERSPECTIVE 3
A302

| ISSUES | |
|--------|-------------------------------|
| NO. | ISSUE FOR |
| 1. | 2013.06.14 CLIENT REVIEW |
| 2. | 2013.06.30 REVIEW MEETING |
| 3. | 2013.06.01 DEVELOPMENT PERMIT |
| | |
| | |

SEE CONSULTANT

INDUSTRIAL PLASTICS AND PAINTS

2052 BOXWOOD ROAD
NANAIMO BC

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Consulting Engineers
3713 Union St, Nanaimo, BC V9T 2H1
T: 250.751.8550 F: 250.751.8517
E: herold@heroldengineering.com

PERSPECTIVES

| DESIGNED | TITLE |
|----------------|---------------------|
| ES | |
| DESIGN REVIEW | |
| | |
| DRAWN | |
| JIB | |
| DRAWING REVIEW | |
| | |
| PROJECT NO. | CURRENT DRAWING NO. |
| 3016-001 | |
| SCALE | PERMIT NO. |
| | |
| SHEET NUMBER | REVISION |
| A302 | |

VERIFY ALL DIMENSIONS SHOWING PREVIOUS REVISION

This is Schedule F referred to in the
Development Permit.

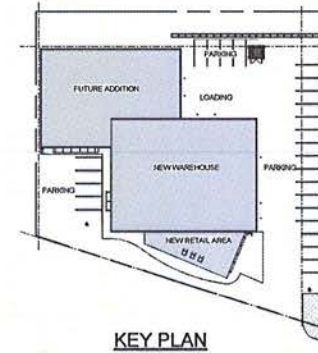
General Manager
Community Safety & Development

2013-JUL-22

Date

Development Permit No. DP00845
2052 Boxwood Drive

Schedule G
Maximum Retail
of 25% Located



| ISSUES | |
|--------|------------------------------------|
| NO. | DESCRIPTION |
| 1 | 2013.06.14 CLIENT REVIEW |
| 2 | 2013.06.20 REVIEW MEETING |
| 3 | 2013.06.20 DEVELOPMENT PERMIT (2D) |

NORTH

INDUSTRIAL PLASTICS AND PAINTS
2052 BOXWOOD ROAD
NANAIMO BC

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Consulting Engineers
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E: herold@heroldengineering.com

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| FLOOR PLAN | |
|-----------------------------|--------------------|
| DESIGNED ES | SCALE |
| DESIGN REVIEW " | |
| DRAWN BY JB | |
| GROUPING REVIEW | |
| PROJECT NO. 2016-001 | CLIENT DRAWING NO. |
| SCALE As indicated | PERMIT NO. |
| REV. CHANGES A201 | REVISION 3 |

This is Schedule G referred to in the Development Permit.

General Manager
Community Safety & Development
2013-JUL-22
Date

1 LEVEL 1
A201 1/8" = 1'-0"