



DEVELOPMENT PERMIT NO. DP000833

P3 INTERNATIONAL TRADE AND INVESTMENT INC.

Name of Owner(s) of Land (Permittee)

20 BARSBY AVENUE

Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

**LOT A, SECTION 1, NANAIMO DISTRICT, PLAN 5106 EXCEPT VIP82971,
PID No. 006-036-619**

**LOT B, SECTION 1, NANAIMO DISTRICT, PLAN 5106
PID No. 006-036-635**

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.

Schedule A Location Plan
Schedule B Site Plan
Schedule C Concept Landscape Plan
Schedule D Elevations, South & West
Schedule E Elevations, North & East
Schedule F Trail Location & Area for Park Dedication
Schedule G Barsby Avenue Lane Design
Schedule H Height Survey
Schedule I Development Permit Conditions
Schedule J Development Permit Conditions (DP000697)

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.
4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.
5. The City of Nanaimo "ZONING BYLAW 2011 NO. 4500" is varied as follows:

Required Variances

Section 6.3.1.4 (Location & Siting of Buildings and Structures to Watercourses)

- *Aquatic Setback (Millstone River)*
The required setback from top of bank is 30 m. The setback will be reduced from 30 m to 10 m, a variance of 20 m.

Section 7.5.1

- *Required Front Yard Setback*
The required front yard setback is 1.8 m. The setback is 0 m, a variance of 1.8 m.

Section 7.6.1

- *Building Height*
The maximum allowed building height is 14 m. The proposed height variance is 16 m for the main roof structure and 16.5 m for a small flat roofed architectural bay, a height variance of 2.5 m.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THE
11TH DAY OF MARCH, 2013.


Corporate Officer

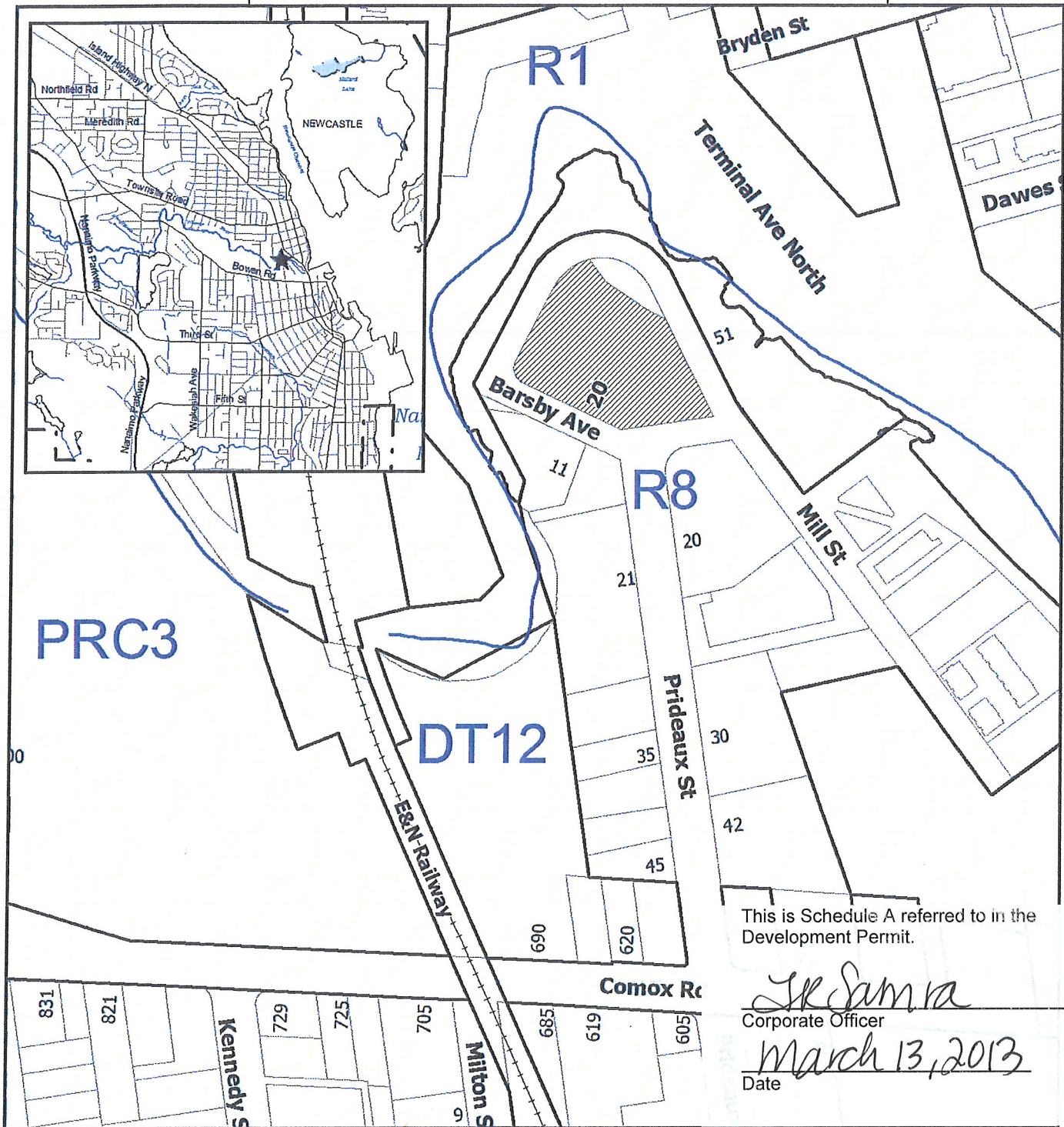

Date

GN/lb

Prospero attachment: DP000833

Development Permit No. DP000833
20 Barsby Avenue

Schedule A
LOCATION PLAN



DEVELOPMENT PERMIT NO. DP000833

LOCATION PLAN

Civic: 20 Barsby Avenue

Lot A and B, Section 1, Nanaimo District, Plan 5106,
Except that part in Plan VIP82971



**Subject
Property**



This is Schedule B referred to in the Development Permit.

Development Permit No. DP000833
20 Barsby Avenue

Schedule B
SITE PLAN

Corporate Officer

Date

JK Sumra

March 13, 2013

MILLSTONE RIVER



102 - 10 Dalniece
Nanaimo, B.C.
V9T 4J7
Tel 250/753 3333 Fax 250/753 3428
and / info@dsai.com

*NO./DATE/ISSUED:
1 15 NOV 2006 ISSUED FOR DEVELOPMENT PERMIT APPLICATION

*NO./DATE/REVISION:

*PROJECT TITLE:
BARSBY AVENUE
RESIDENTIAL
PROJECT
NANAIMO, BC

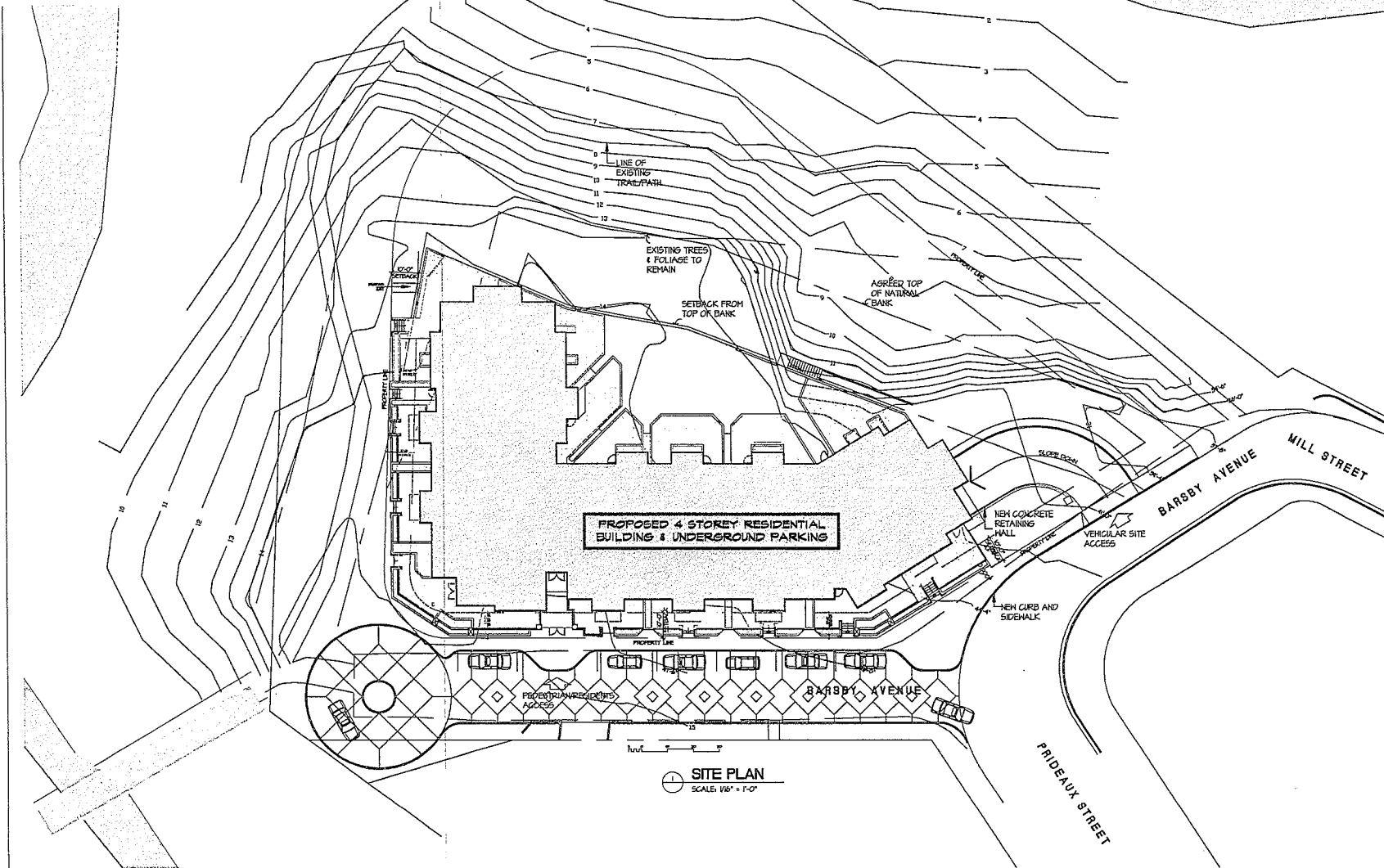
*DRAWING TITLE:
SITE PLAN

*DATE: 15 NOV 2006
*SCALE: 1/16" = 1'-0"
*DESIGNER: ND/TY/TJ
*APPROVED: SJH/MH
*PROJECT NUMBER: N206001

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*DRAWING NUMBER:

*A11



LR Samra
Corporate Officer

Date March 13, 2013

20 Barsby Avenue

CONCEPT LANDSCAPE PLAN

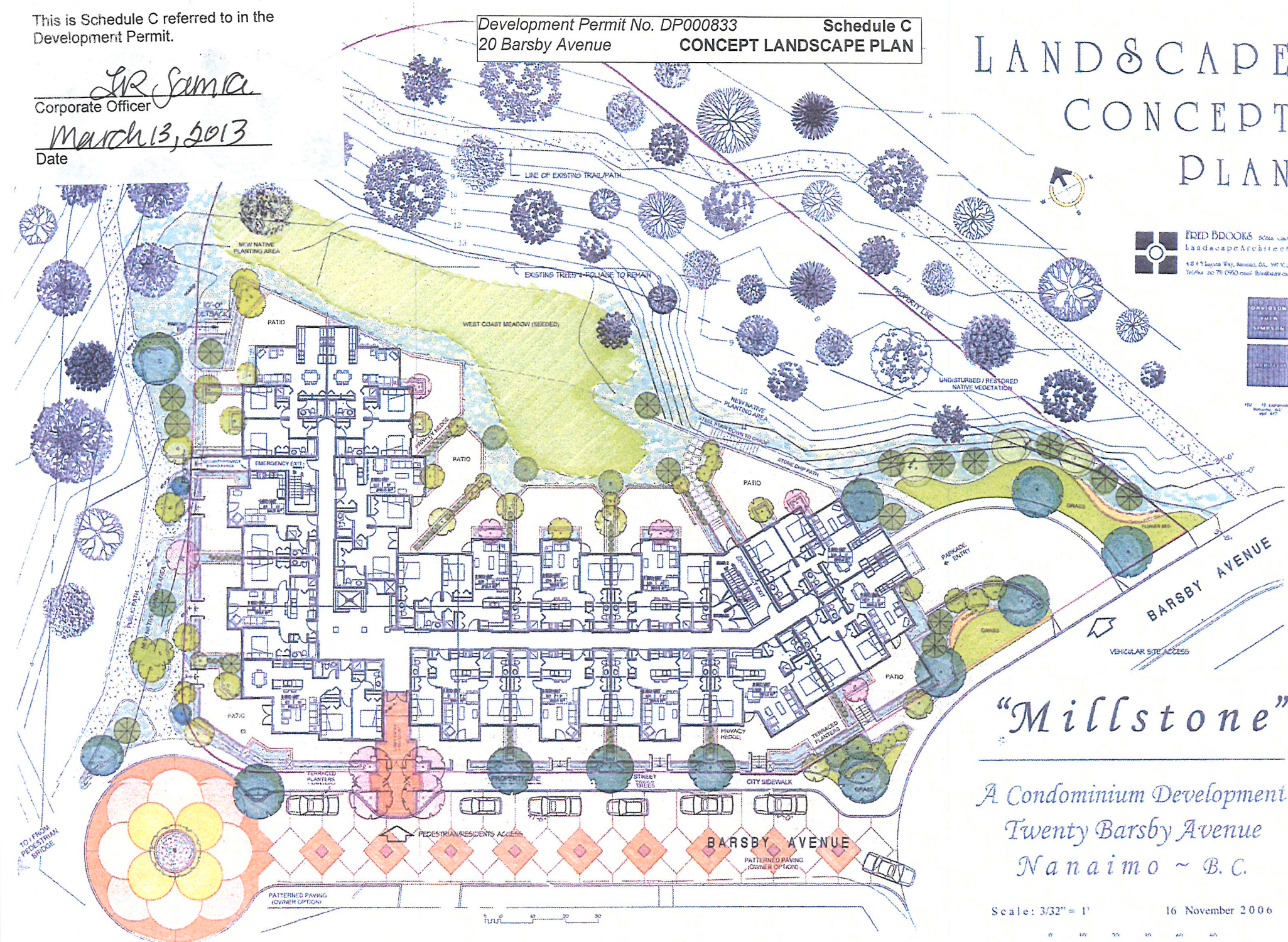
LANDSCAPE CONCEPT PLAN



FRED BROOKS *SCPA, AIA*
Landscape Architect
4849 Laguna Way, Norman, OK, 73069
Tel./Fax: 207/939-0950 email: fbrooks@oknet.net



100 - 12 (approx)
Mortgage, etc.



"Millstone"

A Condominium Development
Twenty Barsby Avenue
Nanaimo ~ B.C.

Scale: $3/32" = 1'$

16 November 2006

Development Permit No. DP000833 Schedule D
20 Barsby Avenue ELEVATIONS, South & West



102 - 10 Eastside
Vancouver, BC
Tel: 250/753-3500 Fax: 250/753-3500
www.dysa.com

* NO./DATE/ISSUE:

1	16 NOV 2009	ISSUED FOR DEVELOPMENT PERMIT APPLICATION
2	12 JUL 2001	ISSUED FOR RP REVISED ROOF PLAN

* NO./DATE/REVISION:

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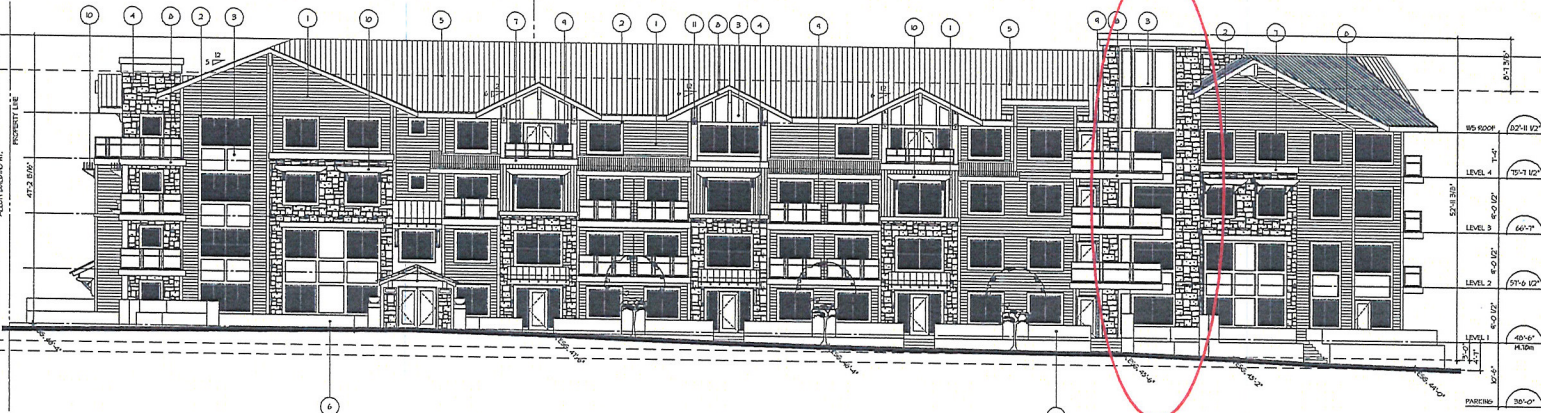
* PROJECT TITLE:
BARSBY AVENUE
RESIDENTIAL
PROJECT
NANAIMO, BC

* DRAWING TITLE:
ELEVATIONS

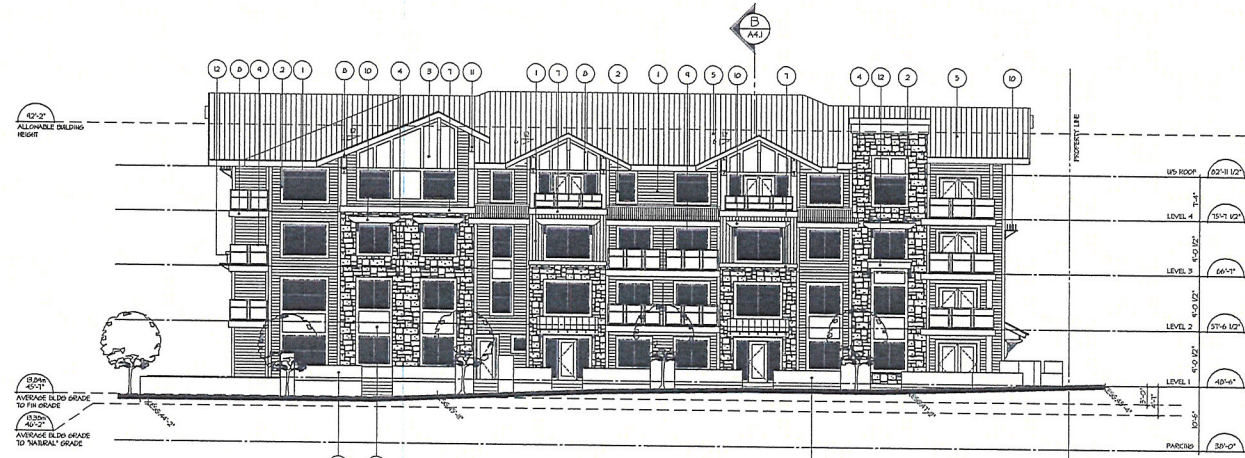
* DATE: 16 NOV 2009
* SCALE: 1/8" = 1'-0"
* DRAWN: NC/TY/TJ
* APPROVED: MH/SJH
* PROJECT NUMBER: N206001

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* DRAWING NUMBER:
A3.1



1 SOUTH ELEVATION - BARSBY AVENUE
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"

FINISH LISTED

1	HARDY CEMENTITIOUS BOARD SIDING
2	HARDY BOARDED TRIM
3	CEMENTITIOUS BOARD PANEL
4	LOCAL STONE VENEER
5	STANDING SEAM METAL ROOF
6	SHAPED/SLATED CONCRETE GUTTER/VALS
7	PRE CAST CONCRETE CAP
8	HOOD FAGGIA
9	PRE FINISHED ALUMINUM GLAZED GUARDRAIL
10	ARTICULATED HOOD SHOE
11	ARTICULATED HOOD DOWNSIDE
12	PLANTER BOX

This is Schedule D referred to in the Development Permit.

Shirley Samra
Corporate Officer

March 13, 2013
Date

Development Permit No. DP000833 Schedule E
20 Barsby Avenue ELEVATIONS, North & East



102 - 10 DeSnoye
Nanaimo, BC
V9T 4T2
604/753 3333 fax 604/753 5620
www.dysa.com

*REV./DATE/ISSUES	
1	16 NOV 2006 EGGS FOR DEVELOPMENT PERMIT APPLICATION
2	10 JAN 2007 PAVED FOR DP REVISED ROOF PITCH

*REV./DATE/REVISIONS	

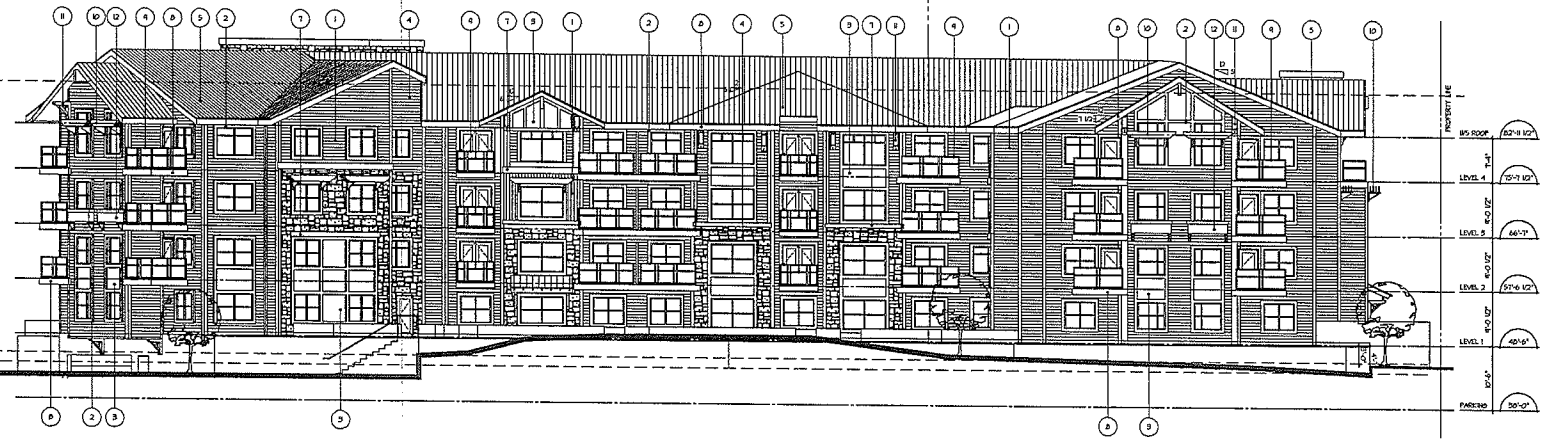
PROJECT TITLE:
**BARSBY AVENUE
RESIDENTIAL
PROJECT
NANAIMO, BC**

DESIGN TITLE:
ELEVATIONS

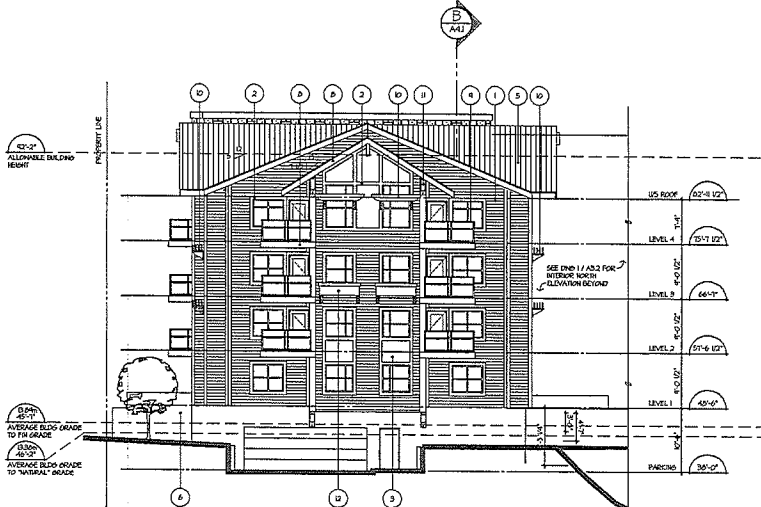
*DATE: 16 NOV 2006
*SCALE: 1/8" = 1'-0"
*DRAWN: NC/TY/TJ
*APPROVED: MH/SJH
*PROJECT NUMBER: N205001

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*SHEET NUMBER:
A3.2



1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"

FINISH LEGEND	
1	WASH CEILING/ROOF BOARD SIDING
2	WASH BOARD TRIM
3	CHESTNUT BOARD PANEL
4	LOCAL STONE VENEER
5	STANDARD SEAM METAL ROOF
6	SANDBLASTED CONCRETE CAN REVEALS
7	PRE CAST CONCRETE CAP
8	WOOD FASIA
9	PRE FINISHED ALUMINUM PLATED SHARDONAL
10	ARTICULATED WOOD SHINGLES
11	ARTICULATED WOOD BRACKET
12	PLASTER BOX

This is Schedule E referred to in the Development Permit.

SR Samra
Corporate Officer

March 13, 2013
Date

Development Permit No. DP000833
20 Barsby Avenue

Schedule F
TRAIL LOCATION & AREA
FOR PARK DEDICATION

NORTH
↑

Existing Path

AREA
OF
DEDICATION

Area 334.5m²

CURRENT AREA
4606.5

CURRENT LESS DEDICATION =
4272.2m²

ALLOWABLE (1.5FSR) = 6408.3m²
PROPOSED DEVELOPMENT = 5309.0m²

BARSBY AVENUE

This is Schedule F referred to in the
Development Permit.

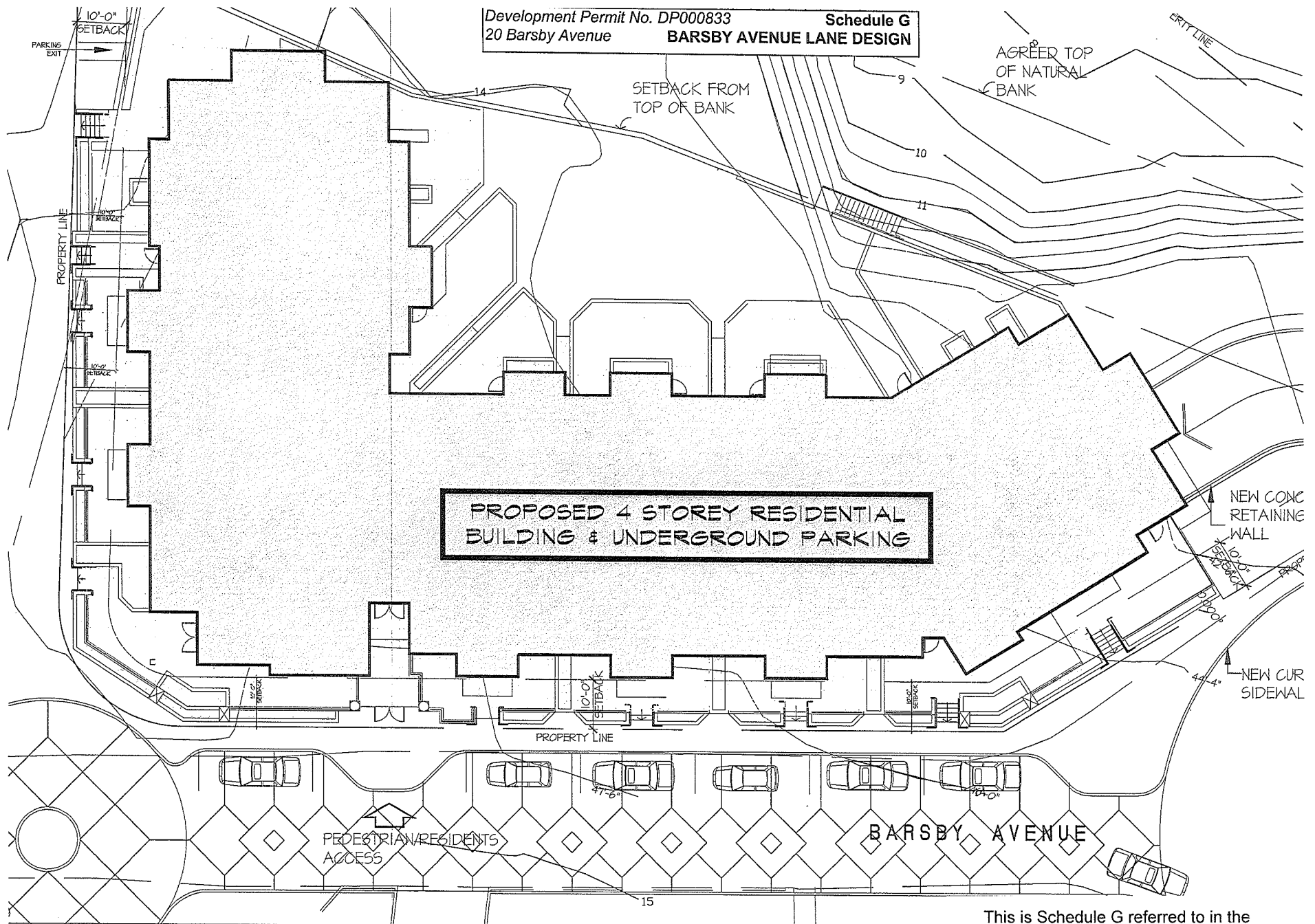
[Signature]
Manager of Legislative Services

2011-JAN-26
Date

This is Schedule F referred to in the
Development Permit.

[Signature]
Corporate Officer

March 13, 2013
Date



SITE PLAN

SCALE: 1/16" = 1'-0"

This is Schedule G referred to in the Development Permit.

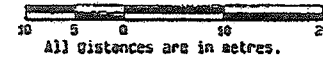
SR Samra
Corporate Officer

March 13, 2013
Date

Plan of proposed building on:

Lot A, Section 1, Nanaimo District,
Plan 5106.

SCALE 1 : 500

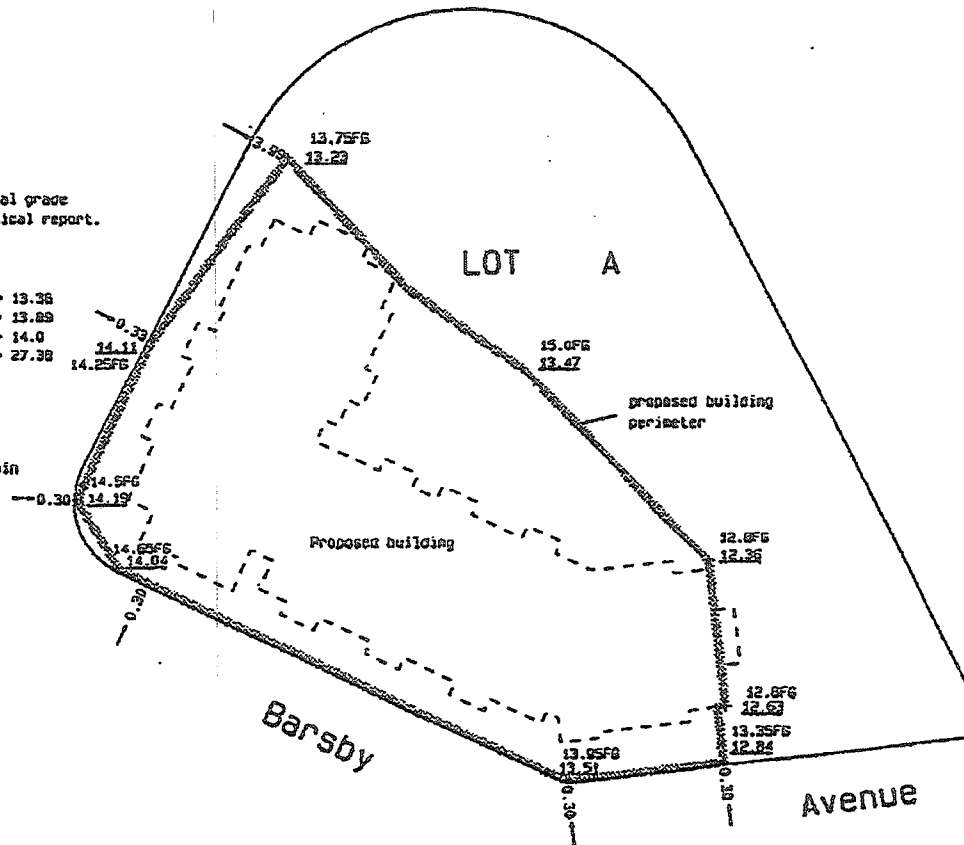


Underlined elevations are natural grade
derived from Lemkowich Geotechnical report.
Elevations are geodetic.

The average of the 8
underlined elevations = 13.36
the average finished grade = 13.89
allowable building height = 14.0
maximum building elevation = 27.38

Proposed main floor = 14.78
Proposed roof = 29.14
Variance required = 1.76

B.C.L.S. has been retained to pin
foundation location.



This is Schedule H referred to in the
Development Permit

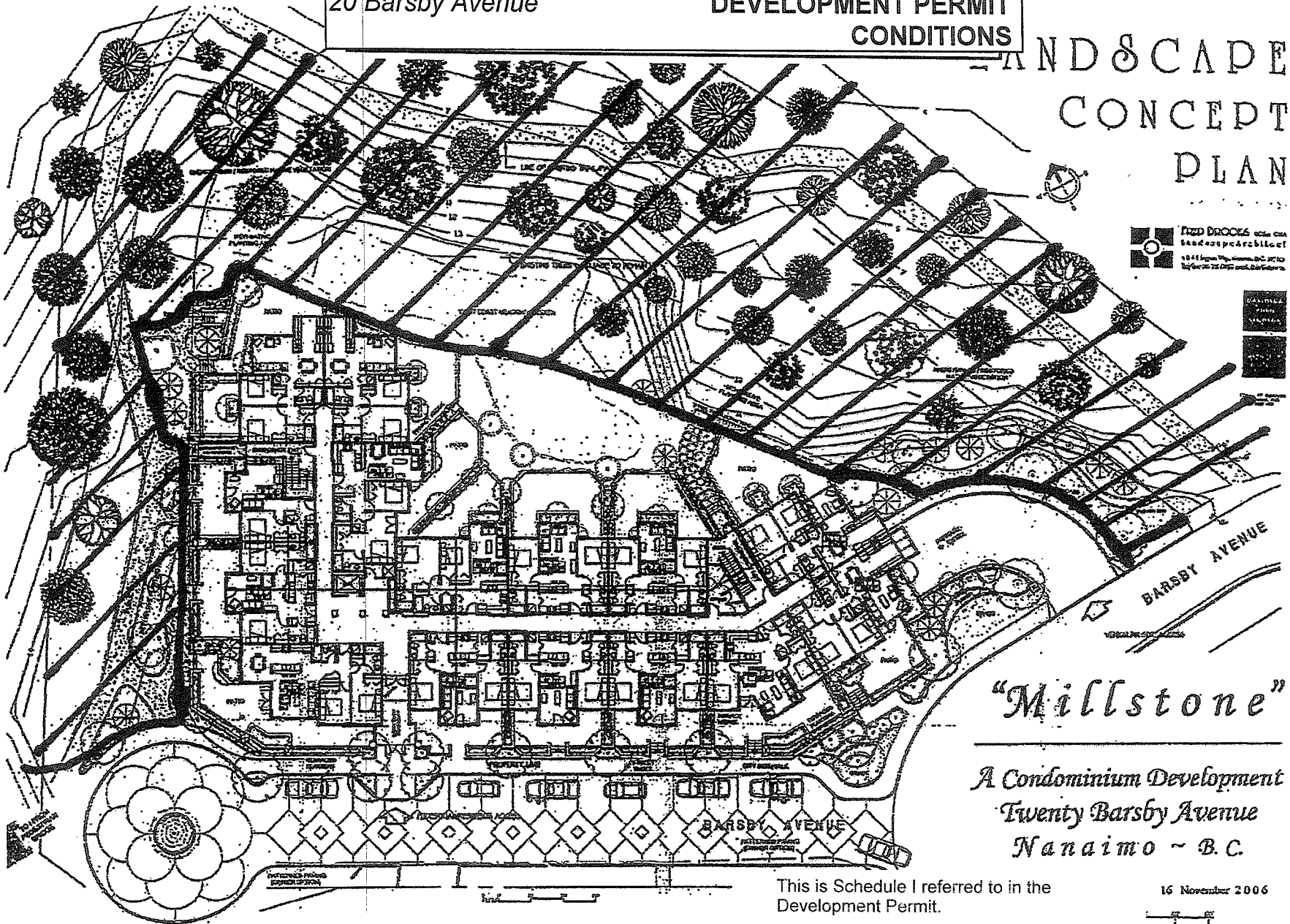
SR Samra
Corporate Officer

March 13, 2013
Date

Development Permit No. DP000833
20 Barsby Avenue

Schedule I
DEVELOPMENT PERMIT
CONDITIONS

LANDSCAPE
CONCEPT
PLAN



Area of Native Plantings

J.R. Samra
Corporate Officer

March 13, 2013
Date

SCHEDULE J

DEVELOPMENT PERMIT NO. DP000697 CONDITIONS

1. The standards for sediment and erosion control outlined in the jointly published BC Environment/Fisheries and Oceans Canada, *Land Development Guidelines for the Protection of Aquatic Habitat* and the City of Nanaimo, *Erosion and Sediment Control Guidelines* must be adhered to.
2. Prior to commencement of construction activities, a snow fence (1.2 m high and orange in color) will be erected along the setback line from the top of the bank of the Millstone River. The fence is to ensure that there are no construction activities within the setback area.
3. Cedar posts (6" x 6") are to be installed every 20 m along the aquatic setback line from the Millstone River, to which signs (provided by the City) identifying the area beyond as environmentally sensitive are to be attached.
4. The area within the setback, as shown on Schedule I, will be replanted with native vegetation at the densities recommended by the Ministry of Environment (approximately one (1) plant per m²).
5. The planting medium for the riparian restoration is to be tested and will meet the parameters defined in the MMCD Red Book, Section 02921. The planting medium will be a minimum depth of 250 mm or a combination of high quality top soil and blown composted wood mulch.
6. The drive isle access to the underground parking is to be constructed of pervious material.
7. The two trail way staircases are to be reconstructed.
8. A construction agreement and security for the completion and maintenance for 3 years of the landscape restoration and Revegetation Management Plan (Chatwin Engineering February 2007) is required to be submitted before the building permit is issued.

This is Schedule J referred to in the
Development Permit.

SR Sumra
Corporate Officer

March 13, 2013
Date