



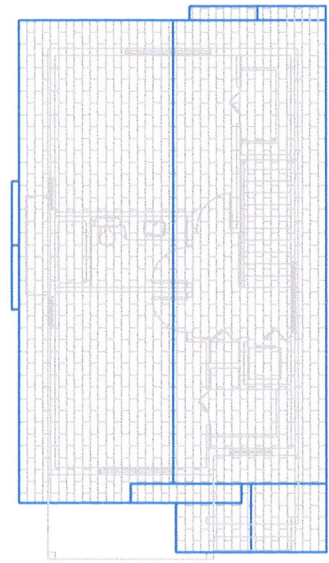
FRONT ELEVATION
1/4 = 1'



FRONT ELEVATION
1/4 = 1'



SIDE ELEVATION
1/4 = 1'



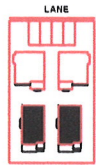
ROOF PLAN
1/8 = 1'



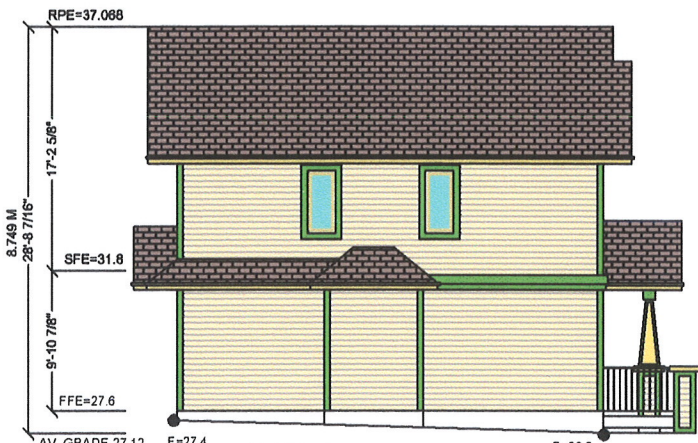
REAR ELEVATION
1/4 = 1'

MATERIAL KEY

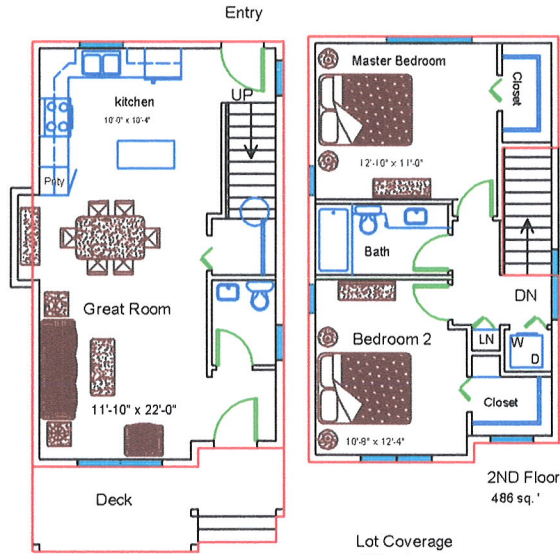
- 30 YEAR ASPHALT SHINGLES
- CEMENT BOARD SIDING PANELS
- CEMENT BOARD SIDING (4\"/> EXPOSURE)
- COLOUR 1
- COLOUR 2
- SHAKES



HALIBURTON ST.



SIDE ELEVATION
1/4 = 1'



Main Floor 522 sq. '
Total Unit 1,008 sq. '
X 2= 2,016 SQ. '

Lot Coverage 631 sq. '
X 2= 1,262 SQ. '

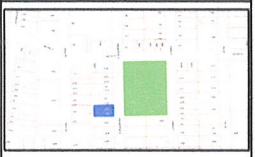
220 HALIBURTON

220 HALIBURTON STREET,
NANAIMO, BC
Folio: 80715.000
Plan: 584
Size: 66.50 122.00 WIDTH/DEPTH

Legal Description:
LOT 14, BLOCK 9, SECTION 1,
NANAIMO DISTRICT, PLAN 584
EXCEPT PART IN PLANS
VIP52118 AND VIP55909 (FOR
ROAD PURPOSES)

Zone
R5
THREE AND FOUR UNIT
RESIDENTIAL

NOTES: DATE:



DP-1 SITE PLAN
DP-2 UNIT TYPICAL A
DP-3 UNIT TYPICAL B



4 SITE DESIGN LTD.

Mark Garrett
563 THIRD ST. NANAIMO BC V9R 6G6
(250) 902-1027
email-garrettbydesign@yahoo.com

Copyright reserved. These plans and designs are the property of the design company, and are for the sole use for the project shown. No other use is permitted without the design company's permission. Call us for more details. Check, survey, dimensions, specifications, location of utilities, etc. and treatment of water prior to construction. We will be the first to advise you of B.C. building code, correction and all local building bylaws.

DESIGN BY: MARK GARRETT
DATE: 10/29/2018
SCALE: AS SHOWN

PROJECT NO: DRAWING NO:

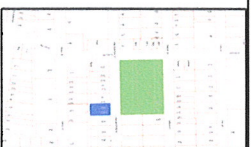
**UNIT TYPICAL
"A"
DP-2**

220 HALIBURTON

220 HALIBURTON STREET,
NANAIMO, BC
Folio: 80715.000
Plan: 584
Size: 66.50 122.00 WIDTH/DEPTH

Legal Description:
LOT 14, BLOCK 9, SECTION 1,
NANAIMO DISTRICT, PLAN 584
EXCEPT PART IN PLANS
VIP52118 AND VIP55809 (FOR
ROAD PURPOSES)
Zone
R5
THREE AND FOUR UNIT
RESIDENTIAL

NOTES:	DATE:



DP-1 SITE PLAN
DP-2 UNIT TYPICAL A
DP-3 UNIT TYPICAL B



4 SITE DESIGN LTD.

Mark Garrett
553 THIRD ST. NANAIMO BC V9R 6G6
(250) 802-1027
email-garrettbydesign@yahoo.com

Copyright reserved. All plans and drawings are the property of the design company, and are for the use only for the project shown. No part may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without permission in writing from the design company. All work to be done in accordance with the building code, zoning bylaws, and all local regulations.

PROJECT:	MARK GARRETT
DATE:	NOV 2018
SCALE:	AS SHOWN

PROJECT NO.	DRAWING NO.

UNIT TYPICAL "B" DP-3



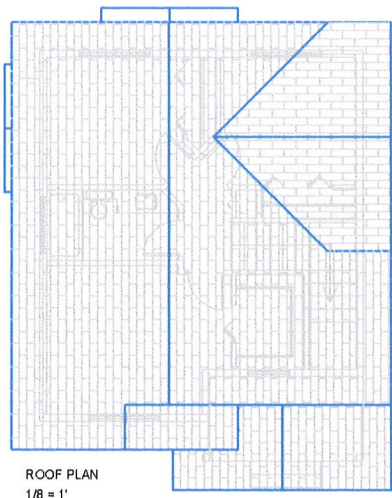
F=28.0 F=28.0 F=28.0
FRONT ELEVATION
1/4 = 1'



F=28.0 F=28.0 F=28.0
FRONT ELEVATION
1/4 = 1'



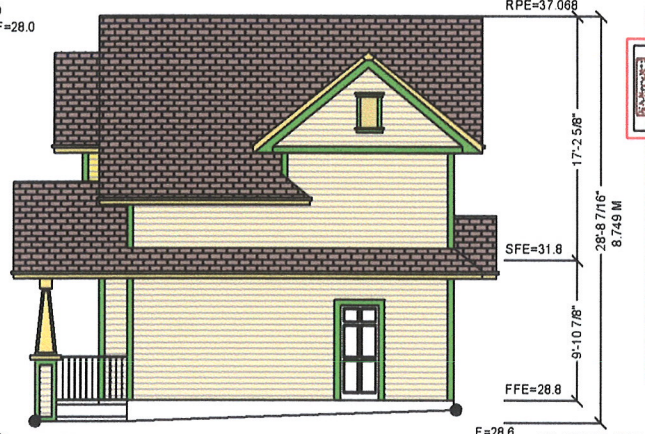
F=28.6
SIDE ELEVATION
1/4 = 1'



ROOF PLAN
1/8 = 1'



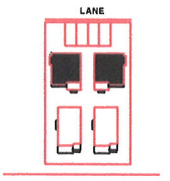
F=28.6 F=28.6
REAR ELEVATION
1/4 = 1'



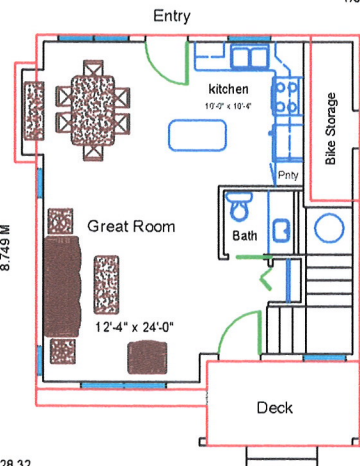
F=28.0
SIDE ELEVATION
1/4 = 1'

MATERIAL KEY

	30 YEAR ASPHALT SHINGLES		C:COLOUR 1
	CEMENT BOARD SIDING PANELS		C:COLOUR 2
	CEMENT BOARD SIDING (4\"/>		SHAKES

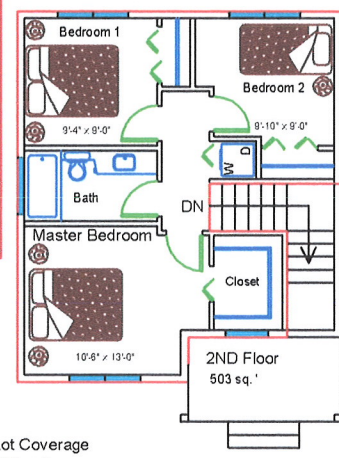


HALIBURTON ST.



Main Floor
508 sq. '
Total Unit
1011 sq. '
X 2 = 2,022 SQ. '

NOTE: BIKE STORAGE FOR 2 UNITS
AS COMMON AREA



2ND Floor
503 sq. '
Lot Coverage
639 sq. '
X 2 = 1,278 SQ. '

UNIT TYPICAL "B" DP-3