



DEVELOPMENT PERMIT NO. DP000788

ELDORADO DEVELOPMENT CORP LTD
Name of Owner(s) of Land (Permittee)

1925 BOWEN ROAD
Civic Address

1. This development permit is issued subject to compliance with all of the bylaws of the municipality applicable thereto, except as specifically varied or supplemented by this permit.
2. This development permit applies to and only to those lands within the municipality described below, and any and all building structures and other developments thereon:

Legal Description:

LOT 1, SECTION 16, RANGE 8, MOUNTAIN, PLAN 7045

PID No. 002-634-350

3. The land described herein shall be developed strictly in accordance with the following terms and conditions and provisions of this permit and any plans and specifications hereto which shall form a part thereof.


Schedule A Location A
Schedule B Site Plan
Schedule C Roof Plan
Schedule D Elevation Plan, Building A
Schedule E Landscape Plan, South
Schedule F Landscape Plan, North
Landscape Specifications

- a) If the applicant does not substantially commence the development permitted by this permit within two years of the date of this permit, the permit shall lapse.

4. This permit is not a building permit nor does it constitute approval of any signage. Separate applications must be made for a building permit and sign permit.

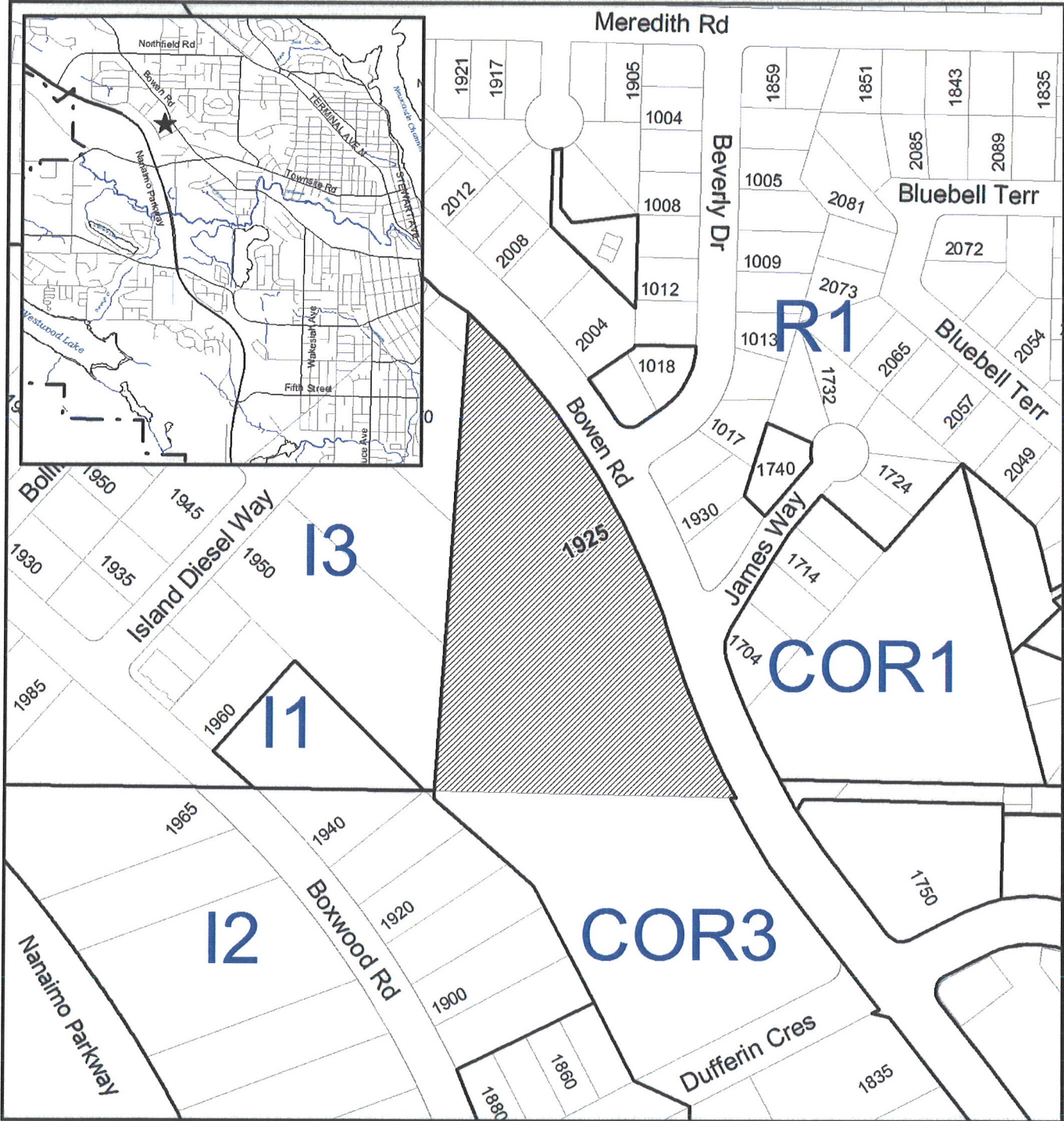
REVIEWED AND APPROVED ON

2012 - SEPT - 26
Date

for 

E.C. Swabey
General Manager
Community Safety & Development
Pursuant to Section 154 (1)(b) of the Community Charter

GN/lb
Prospero attachment: DP000788



DEVELOPMENT PERMIT NO. DP000788

LOCATION PLAN

Civic: 1925 Bowen Road
Lot 1, Section 16, Range 8,
Mountain District, Plan 7045

 **Subject Property**



This is Schedule A referred to in the Development Permit.


Acting General Manager
Community Safety & Development

2012-SEPT-26

Date

Development Permit No. DP000788
1925 Bowen Road

Schedule B
Site Plan



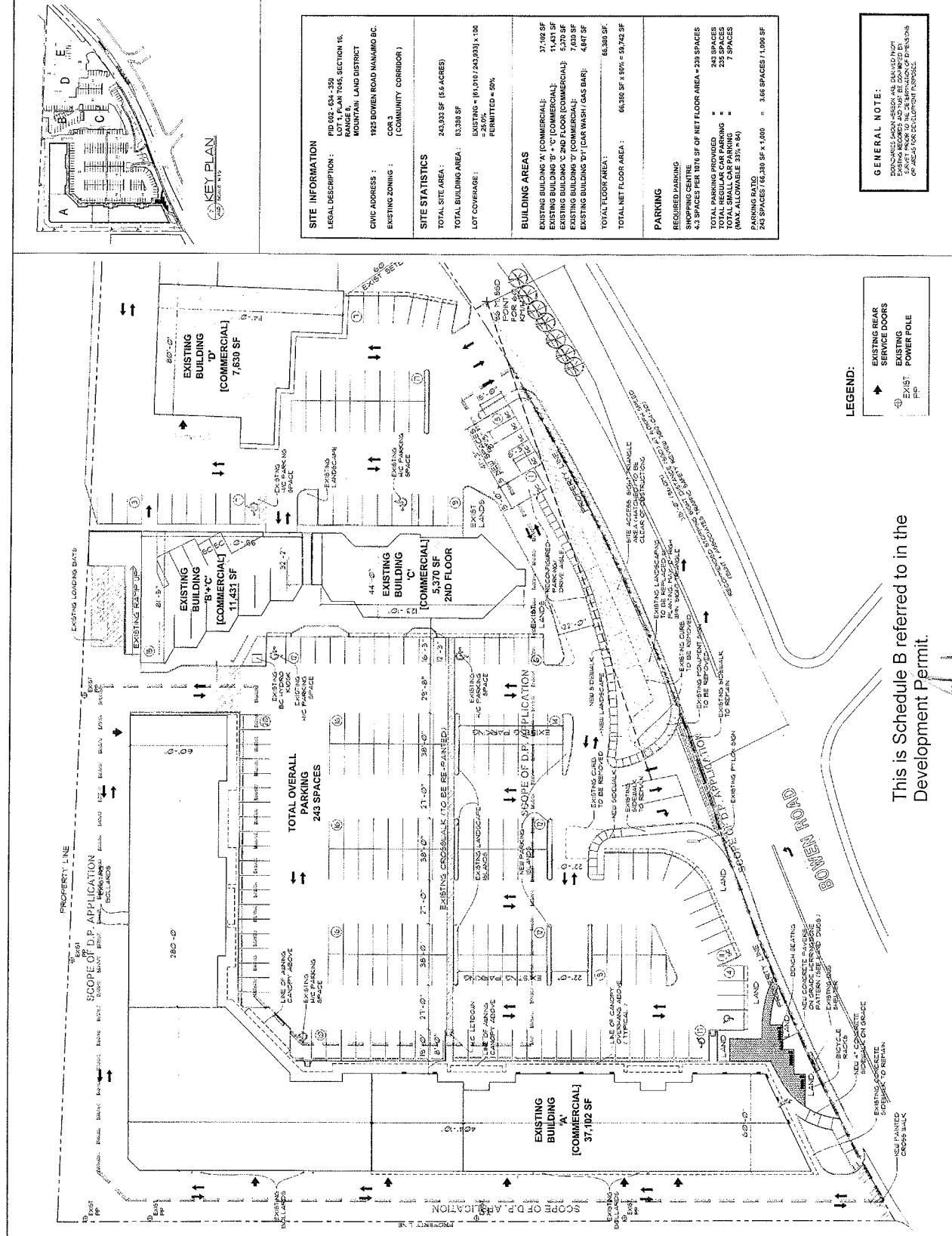
PROJECT: BOWEN CENTER RENOVATION
1925 BOWEN ROAD, NANAIMO BC
DATE: 2017-08-26
DRAWN BY: [REDACTED]

BOWEN CENTER RENOVATION
for ELBORADO CORPORATION LTD.
1925 BOWEN ROAD, NANAIMO BC



SITE PLAN

DATE	2017-08-26
SCALE	AS SHOWN



SITE INFORMATION	LEGAL DESCRIPTION: PRD 002-034-330 LOT 1, PLAN 1948 SECTION 16, MOUNTAIN LAND DISTRICT CIVIC ADDRESS: 1925 BOWEN ROAD NANAIMO BC EXISTING ZONING: COR 3 (COMMUNITY CORRIDOR)
SITE STATISTICS	TOTAL SITE AREA: 243,933 SF (6.8 ACRES) TOTAL BUILDING AREA: 63,339 SF LOT COVERAGE: EXISTING = (61,019/243,933) x 100 = 25.0% PERMITTED = 50%
BUILDING AREAS	EXISTING BUILDING 'A' (COMMERCIAL): 37,102 SF EXISTING BUILDING 'B' + 'C' (COMMERCIAL): 11,431 SF EXISTING BUILDING 'C' 2ND FLOOR (COMMERCIAL): 5,370 SF EXISTING BUILDING 'D' (CAR WASH / GAS BAR): 4,837 SF TOTAL FLOOR AREA: 63,339 SF TOTAL NET FLOOR AREA: 66,390 SF x 85% = 59,742 SF
PARKING	REQUIRED PARKING: SHOPPING CENTRE 4.3 SPACES PER 100 SF OF NET FLOOR AREA = 291 SPACES TOTAL PARKING PROVIDED: 243 SPACES TOTAL REQUIRED CAR PARKING: 233 SPACES TOTAL ALLOWABLE (31% x 85): 7 SPACES PARKING RATIO: 243 SPACES / 66,390 SF x 1,000 = 3.66 SPACES / 1,000 SF

GENERAL NOTE:
BUSHINGS, GRASS AND ASPHALT SHALL BE LAYED PRIOR TO THE INSTALLATION OF REVISIONS OR BEGINS CONSTRUCTION PERMITS.

LEGEND:

- EXISTING REAR SERVICE DOORS
- ⊕ EXISTING POWER POLE

This is Schedule B referred to in the
Development Permit.

Acting General Manager
Community Safety & Development
2017-08-26
Date

**Schedule C
Roof Plan**

Development Permit No. DP00788
1925 Bowen Road

1. PROJECT NO.	1925 BOWEN RD
2. PROJECT NAME	BOWEN CENTER RENOVATION
3. CLIENT	ELBORADO CORPORATION LTD.
4. ARCHITECT	ad architects inc.
5. DATE	2012-SEP-26
6. SHEET NO.	3/10
7. SCALE	3/4" = 1' - 0"
8. DRAWN BY	
9. CHECKED BY	
10. APPROVED BY	

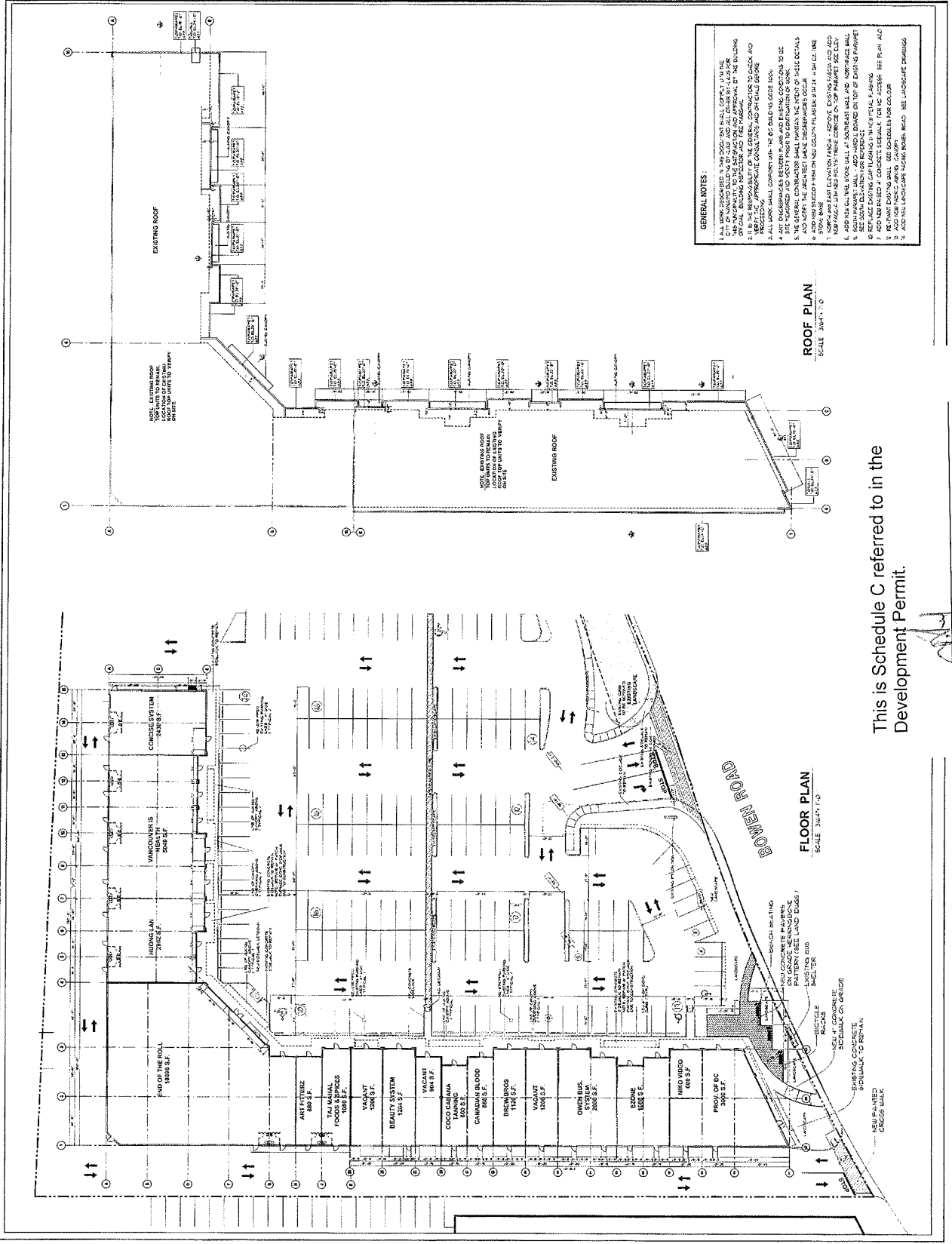


NOTES:
1. ALL WORK DESCRIBED IN THIS DOCUMENT SHALL BE IN ACCORDANCE WITH THE BUILDING ACT AND THE BUILDING REGULATIONS.
2. THE CONTRACTOR SHALL VERIFY THE EXISTING CONDITIONS AND LOCATIONS OF ALL UTILITIES BEFORE COMMENCING WORK.
3. ALL MATERIALS AND METHODS SHALL BE APPROVED BY THE ARCHITECT AND THE LOCAL AUTHORITY BEFORE INSTALLATION.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AT ALL TIMES.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDING OF ALL WORK DONE.
8. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS OF THE LOCAL AUTHORITY.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
10. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

BOWEN CENTER RENOVATION
1925 BOWEN ROAD, NANAIMO
for ELBORADO CORPORATION LTD.

ad architects inc.
1000 BOWEN ROAD
NANAIMO, BC V9R 5G6
TEL: 250.753.3333
WWW.ADARCHITECTS.COM

BUILDING A
ROOF PLAN
SCALE: 3/4" = 1' - 0"



This is Schedule C referred to in the
Development Permit.

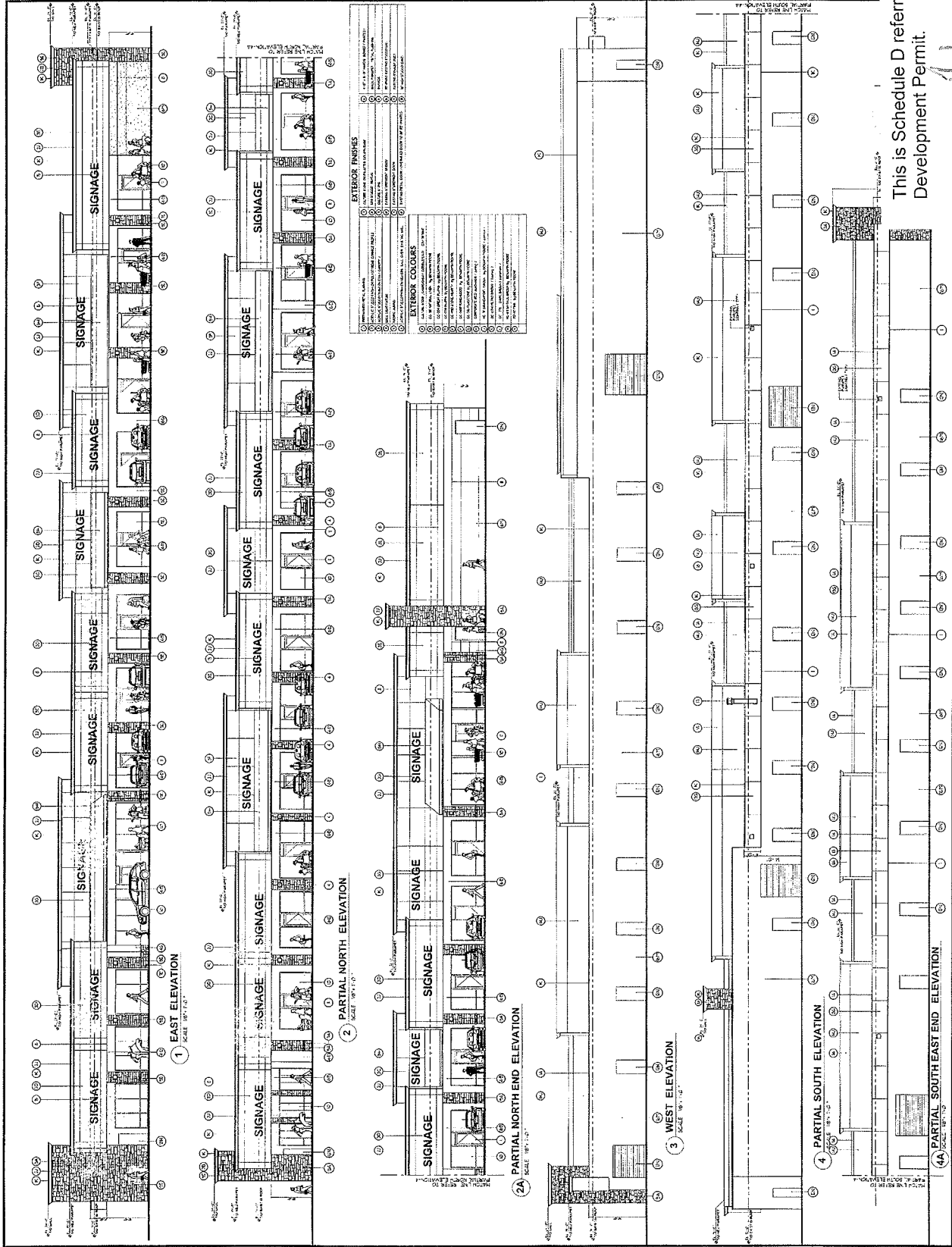
Acting General Manager
Community Safety & Development

2012-SEP-26

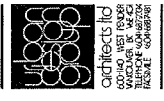
Date

Schedule D
Elevation Plan, Building A

Development Permit No. DP000788
1925 Bowen Road



BOWEN CENTER RENOVATION
1925 BOWEN ROAD, NANAIMO
for ELDORADO CORPORATION LTD.



This is Schedule D referred to in the Development Permit.

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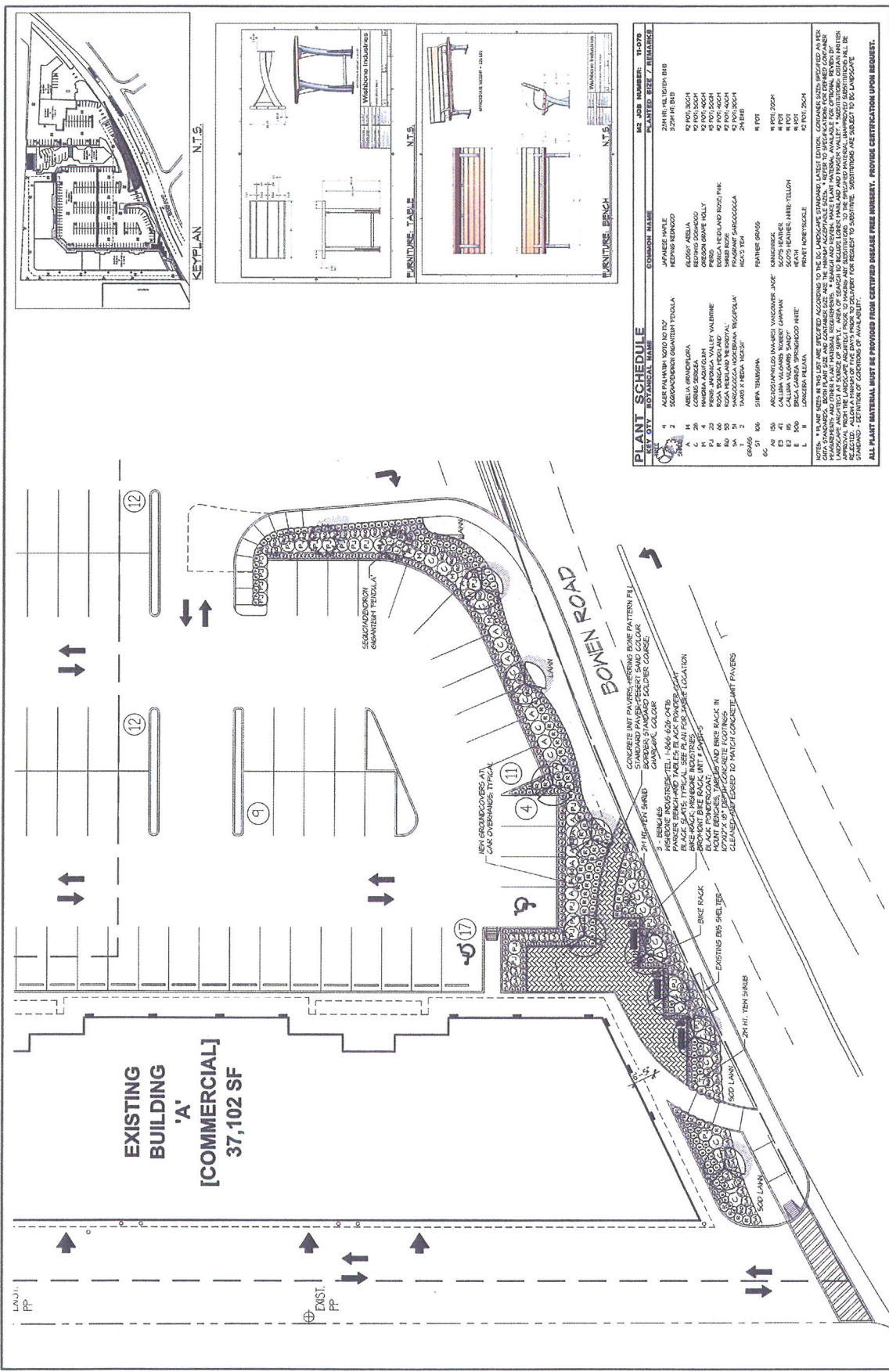
Acting General Manager
Community Safety & Development

2012-SEP-20

Date

Schedule E
Landscape Plan, South

Development Permit No. DP000788
1925 Bowen Road



PLANT SCHEDULE

PLANT	COMMON NAME	MC JOB NUMBER
1	10' TALL SPINDLE	10' TALL SPINDLE
2	2' TALL SPINDLE	2' TALL SPINDLE
3	3' TALL SPINDLE	3' TALL SPINDLE
4	4' TALL SPINDLE	4' TALL SPINDLE
5	5' TALL SPINDLE	5' TALL SPINDLE
6	6' TALL SPINDLE	6' TALL SPINDLE
7	7' TALL SPINDLE	7' TALL SPINDLE
8	8' TALL SPINDLE	8' TALL SPINDLE
9	9' TALL SPINDLE	9' TALL SPINDLE
10	10' TALL SPINDLE	10' TALL SPINDLE
11	11' TALL SPINDLE	11' TALL SPINDLE
12	12' TALL SPINDLE	12' TALL SPINDLE
13	13' TALL SPINDLE	13' TALL SPINDLE
14	14' TALL SPINDLE	14' TALL SPINDLE
15	15' TALL SPINDLE	15' TALL SPINDLE
16	16' TALL SPINDLE	16' TALL SPINDLE
17	17' TALL SPINDLE	17' TALL SPINDLE
18	18' TALL SPINDLE	18' TALL SPINDLE
19	19' TALL SPINDLE	19' TALL SPINDLE
20	20' TALL SPINDLE	20' TALL SPINDLE
21	21' TALL SPINDLE	21' TALL SPINDLE
22	22' TALL SPINDLE	22' TALL SPINDLE
23	23' TALL SPINDLE	23' TALL SPINDLE
24	24' TALL SPINDLE	24' TALL SPINDLE
25	25' TALL SPINDLE	25' TALL SPINDLE
26	26' TALL SPINDLE	26' TALL SPINDLE
27	27' TALL SPINDLE	27' TALL SPINDLE
28	28' TALL SPINDLE	28' TALL SPINDLE
29	29' TALL SPINDLE	29' TALL SPINDLE
30	30' TALL SPINDLE	30' TALL SPINDLE
31	31' TALL SPINDLE	31' TALL SPINDLE
32	32' TALL SPINDLE	32' TALL SPINDLE
33	33' TALL SPINDLE	33' TALL SPINDLE
34	34' TALL SPINDLE	34' TALL SPINDLE
35	35' TALL SPINDLE	35' TALL SPINDLE
36	36' TALL SPINDLE	36' TALL SPINDLE
37	37' TALL SPINDLE	37' TALL SPINDLE
38	38' TALL SPINDLE	38' TALL SPINDLE
39	39' TALL SPINDLE	39' TALL SPINDLE
40	40' TALL SPINDLE	40' TALL SPINDLE
41	41' TALL SPINDLE	41' TALL SPINDLE
42	42' TALL SPINDLE	42' TALL SPINDLE
43	43' TALL SPINDLE	43' TALL SPINDLE
44	44' TALL SPINDLE	44' TALL SPINDLE
45	45' TALL SPINDLE	45' TALL SPINDLE
46	46' TALL SPINDLE	46' TALL SPINDLE
47	47' TALL SPINDLE	47' TALL SPINDLE
48	48' TALL SPINDLE	48' TALL SPINDLE
49	49' TALL SPINDLE	49' TALL SPINDLE
50	50' TALL SPINDLE	50' TALL SPINDLE
51	51' TALL SPINDLE	51' TALL SPINDLE
52	52' TALL SPINDLE	52' TALL SPINDLE
53	53' TALL SPINDLE	53' TALL SPINDLE
54	54' TALL SPINDLE	54' TALL SPINDLE
55	55' TALL SPINDLE	55' TALL SPINDLE
56	56' TALL SPINDLE	56' TALL SPINDLE
57	57' TALL SPINDLE	57' TALL SPINDLE
58	58' TALL SPINDLE	58' TALL SPINDLE
59	59' TALL SPINDLE	59' TALL SPINDLE
60	60' TALL SPINDLE	60' TALL SPINDLE
61	61' TALL SPINDLE	61' TALL SPINDLE
62	62' TALL SPINDLE	62' TALL SPINDLE
63	63' TALL SPINDLE	63' TALL SPINDLE
64	64' TALL SPINDLE	64' TALL SPINDLE
65	65' TALL SPINDLE	65' TALL SPINDLE
66	66' TALL SPINDLE	66' TALL SPINDLE
67	67' TALL SPINDLE	67' TALL SPINDLE
68	68' TALL SPINDLE	68' TALL SPINDLE
69	69' TALL SPINDLE	69' TALL SPINDLE
70	70' TALL SPINDLE	70' TALL SPINDLE
71	71' TALL SPINDLE	71' TALL SPINDLE
72	72' TALL SPINDLE	72' TALL SPINDLE
73	73' TALL SPINDLE	73' TALL SPINDLE
74	74' TALL SPINDLE	74' TALL SPINDLE
75	75' TALL SPINDLE	75' TALL SPINDLE
76	76' TALL SPINDLE	76' TALL SPINDLE
77	77' TALL SPINDLE	77' TALL SPINDLE
78	78' TALL SPINDLE	78' TALL SPINDLE
79	79' TALL SPINDLE	79' TALL SPINDLE
80	80' TALL SPINDLE	80' TALL SPINDLE
81	81' TALL SPINDLE	81' TALL SPINDLE
82	82' TALL SPINDLE	82' TALL SPINDLE
83	83' TALL SPINDLE	83' TALL SPINDLE
84	84' TALL SPINDLE	84' TALL SPINDLE
85	85' TALL SPINDLE	85' TALL SPINDLE
86	86' TALL SPINDLE	86' TALL SPINDLE
87	87' TALL SPINDLE	87' TALL SPINDLE
88	88' TALL SPINDLE	88' TALL SPINDLE
89	89' TALL SPINDLE	89' TALL SPINDLE
90	90' TALL SPINDLE	90' TALL SPINDLE
91	91' TALL SPINDLE	91' TALL SPINDLE
92	92' TALL SPINDLE	92' TALL SPINDLE
93	93' TALL SPINDLE	93' TALL SPINDLE
94	94' TALL SPINDLE	94' TALL SPINDLE
95	95' TALL SPINDLE	95' TALL SPINDLE
96	96' TALL SPINDLE	96' TALL SPINDLE
97	97' TALL SPINDLE	97' TALL SPINDLE
98	98' TALL SPINDLE	98' TALL SPINDLE
99	99' TALL SPINDLE	99' TALL SPINDLE
100	100' TALL SPINDLE	100' TALL SPINDLE

PROJECT: COMMERCIAL RENOVATION, 1925 BOWEN ROAD, HAWAII, H.I.

DATE: 2012-SEP-16

SCALE: AS SHOWN

THIS IS SCHEDULE E REFERRED TO IN THE DEVELOPMENT PERMIT.

Acting General Manager
Community Safety & Development

Date

ARCHITECT: [Firm Name]

PROJECT NUMBER: [Number]

DATE OF ISSUE: [Date]

DATE OF REVISION: [Date]

REVISIONS: [List of revisions]

APPROVED: [Signature]

DATE: [Date]

PROJECT NUMBER: [Number]

DATE OF ISSUE: [Date]

DATE OF REVISION: [Date]

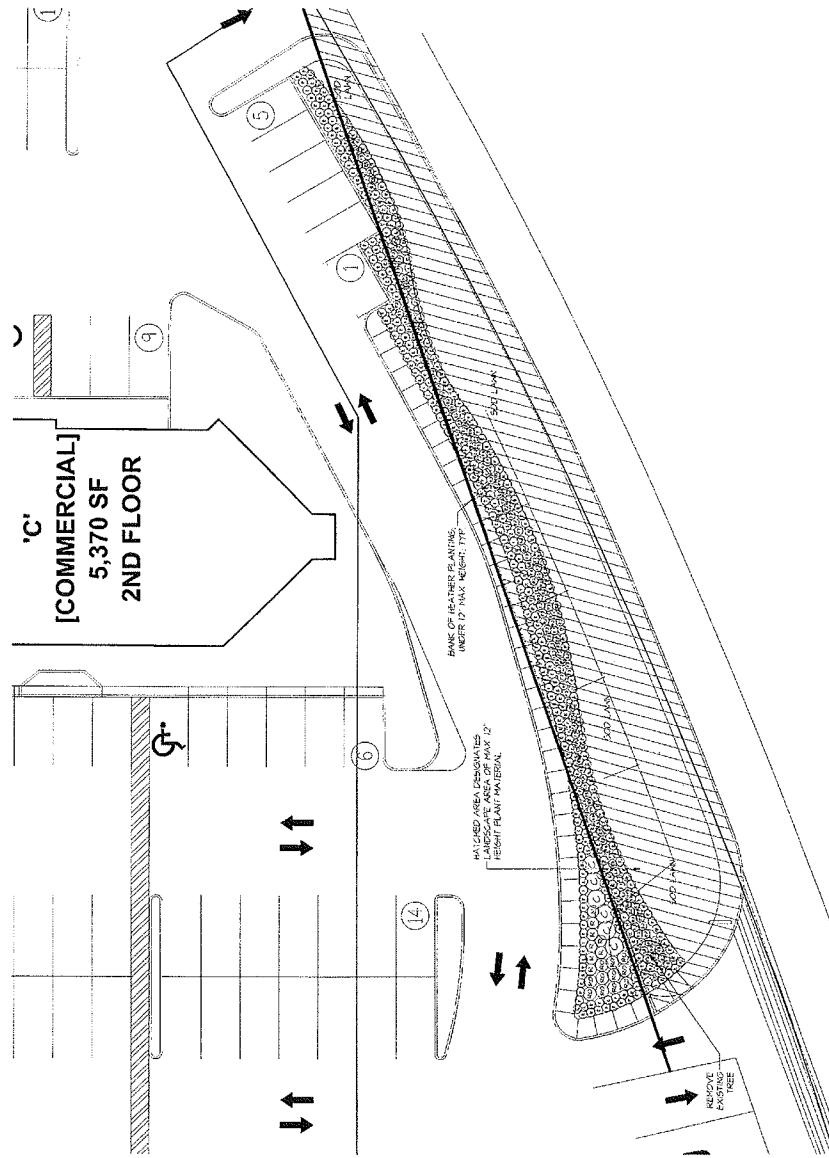
REVISIONS: [List of revisions]

APPROVED: [Signature]

DATE: [Date]

Development Permit No. DP000788
 1925 Bowen Road

Schedule F
 Landscape Plan, North



This is Schedule F referred to in the Development Permit.

[Signature]
 Acting General Manager
 Community Safety & Development

2012-SEP-26
 Date

PROJECT TITLE		LANDSCAPE PLAN - NORTH		DRAWING NUMBER	
M2		M2		L2	
CLIENT		COMMERCIAL RENOVATION 1925 BOWEN ROAD NANAIMO, B.C.		DATE	
DESIGNER		M2		SCALE	
CHECKED		M2		DATE	
APPROVED		M2		DATE	
DATE		2012-SEP-26		DATE	
PROJECT NO.		DP000788		PROJECT NO.	
SHEET NO.		L2		SHEET NO.	
TOTAL SHEETS		2		TOTAL SHEETS	
DATE		2012-SEP-26		DATE	
DRAWN BY		M2		DRAWN BY	
CHECKED BY		M2		CHECKED BY	
APPROVED BY		M2		APPROVED BY	
DATE		2012-SEP-26		DATE	
PROJECT NO.		DP000788		PROJECT NO.	
SHEET NO.		L2		SHEET NO.	
TOTAL SHEETS		2		TOTAL SHEETS	
DATE		2012-SEP-26		DATE	
DRAWN BY		M2		DRAWN BY	
CHECKED BY		M2		CHECKED BY	
APPROVED BY		M2		APPROVED BY	
DATE		2012-SEP-26		DATE	

Schedule F
Landscape Specifications

PART ONE: GENERAL REQUIREMENTS

1. The applicant shall provide a landscape plan for the proposed development, including all details required by the City of Vancouver, including but not limited to:
 - a. Planting schedule
 - b. Planting details
 - c. Planting specifications
 - d. Planting quantities
 - e. Planting locations
 - f. Planting materials
 - g. Planting methods
 - h. Planting maintenance
 - i. Planting irrigation
 - j. Planting drainage
 - k. Planting protection
 - l. Planting removal
 - m. Planting replacement
 - n. Planting preservation
 - o. Planting relocation
 - p. Planting transplantation
 - q. Planting propagation
 - r. Planting cultivation
 - s. Planting pruning
 - t. Planting fertilization
 - u. Planting watering
 - v. Planting mulching
 - w. Planting weeding
 - x. Planting mowing
 - y. Planting trimming
 - z. Planting other maintenance
2. The applicant shall provide a landscape plan for the proposed development, including all details required by the City of Vancouver, including but not limited to:
 - a. Planting schedule
 - b. Planting details
 - c. Planting specifications
 - d. Planting quantities
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 - w. Planting weeding
 - x. Planting mowing
 - y. Planting trimming
 - z. Planting other maintenance

PART TWO: SCORE OF WORK

Item	Score	Total
1. Planting schedule	10	10
2. Planting details	10	20
3. Planting specifications	10	30
4. Planting quantities	10	40
5. Planting locations	10	50
6. Planting materials	10	60
7. Planting methods	10	70
8. Planting maintenance	10	80
9. Planting irrigation	10	90
10. Planting drainage	10	100
11. Planting protection	10	110
12. Planting removal	10	120
13. Planting replacement	10	130
14. Planting preservation	10	140
15. Planting relocation	10	150
16. Planting transplantation	10	160
17. Planting propagation	10	170
18. Planting cultivation	10	180
19. Planting pruning	10	190
20. Planting fertilization	10	200
21. Planting watering	10	210
22. Planting mulching	10	220
23. Planting weeding	10	230
24. Planting mowing	10	240
25. Planting trimming	10	250
26. Planting other maintenance	10	260

PART THREE: SOFT LANDSCAPE DEVELOPMENT - CONT.

1. The applicant shall provide a landscape plan for the proposed development, including all details required by the City of Vancouver, including but not limited to:
 - a. Planting schedule
 - b. Planting details
 - c. Planting specifications
 - d. Planting quantities
 - e. Planting locations
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 - y. Planting trimming
 - z. Planting other maintenance

1925 BOWEN ROAD

COMMERCIAL RENOVATION
1925 BOWEN ROAD
VANCOUVER, BC

PROJECT

SCALE

M2
MURPHY PARTNERS

LANDSCAPE SPECIFICATIONS

DATE ISSUED: 01/15/2018

DATE: 01/15/2018

PROJECT NO: 1925 BOWEN ROAD

PROJECT NAME: COMMERCIAL RENOVATION

PROJECT ADDRESS: 1925 BOWEN ROAD, VANCOUVER, BC

PROJECT CONTACT: MURPHY PARTNERS

PROJECT PHONE: (604) 681-1111

PROJECT FAX: (604) 681-1112

PROJECT EMAIL: info@murphy.com

PROJECT WEBSITE: www.murphy.com

PROJECT DRAWING NO: L3

PROJECT SHEET NO: 1 OF 2