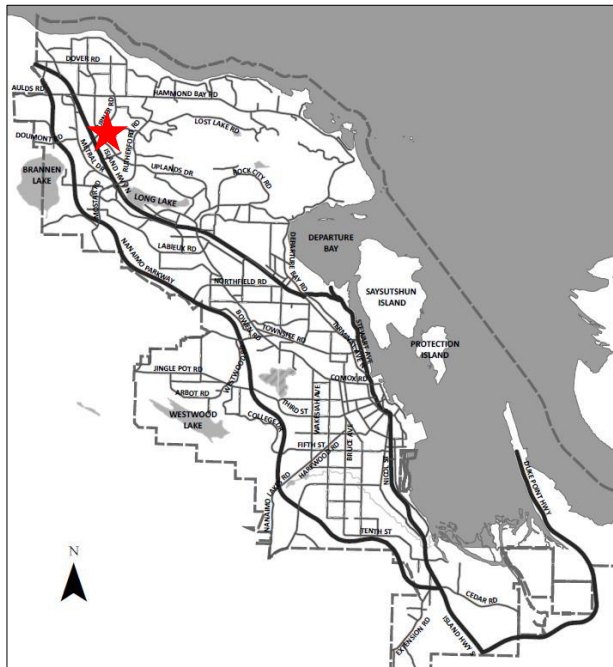


FOR: COUNCIL MEETING

MEETING DATE: May 25, 2026

DEPARTMENT: PLANNING AND DEVELOPMENT

SUBJECT: **COVENANT AMENDMENT NO. CA20 & DEVELOPMENT PERMIT NO. DP1373
– 6055 TURNER ROAD & 6045 LINLEY VALLEY DRIVE**



Proposal:

Amend a covenant and issue a development permit to facilitate a mixed use multi-family residential and commercial development

Zoning:

Lot 3: CC3 – City Commercial Centre
Lot 8: COR3 – Community Corridor

City Plan Land Use Designation:

Mixed-Use Corridor

Development Permit Areas:

DPA8 – Form & Character

Lot Area:

Lot 3: 0.82 ha
Lot 8: 0.35 ha



Covenant CA4430955 was registered in 2015 as a condition of rezoning for RA319, which rezoned Lot 3 for a high-rise development with site-specific building height and density. The intent of the covenant terms is to achieve a pedestrian oriented development as envisioned within a broader neighbourhood master plan. The proposed development includes two buildings (Phase 1) within two separate lots, zoned CC3 (Lot 3) and COR3 (Lot 8). The CC3 and COR3 zones permit multi-family use (with commercial use required on the same lot for multi-family in the CC3 zone). The applicant was able to demonstrate a development that complies with the permitted uses and density of the existing zoning without the need to rezone and consolidate the lands within the same zone. As such, the applicant is proposing to retain the existing zoning and fee simple parcels with a development that is designed to function as one cohesive development across both lots. A future Phase 2 development is anticipated within the remaining area of Lot 3 and would be considered through a separate application. To support the development as proposed, a covenant amendment and development permit are required.

Subject Property and Site Context

The subject properties are located between two private strata roads, southeast of the Turner Road and Linley Valley Drive roundabout, within the Pleasant Valley/Rutherford neighbourhood. Both irregularly shaped lots are currently vacant and treed with a private road within the westerly portion of Lot 3. The properties have a grade change of approximately 9m, sloping down to Linley Valley Drive.

Established multiple-family developments (including 4- to- 6-storey apartment buildings), single-family dwellings, commercial uses, an elementary school, and Oliver Woods Community Centre and park predominantly characterize the surrounding area. The properties are within walking distance to transit and commercial services in Longwood Station and are well connected to the Nanaimo North and Woodgrove Secondary Urban Centres.

DISCUSSION

Policy Context

Proposed Covenant Amendment

The applicant is proposing to amend the terms of covenant CA4430955 to reduce the minimum requirement for underground parking (for dwelling units) within Phase 1 from 90% to 45%. The underground parking requirement for Phase 2 would remain at 90% until the parking configuration can be confirmed at the time of future development.

Phase 1 of the development has been designed to provide the required parking onsite with a portion of underground parking (45% for dwelling units) and the remaining surface parking designed to prioritize pedestrian areas, surface permeability, and opportunities for tree retention, landscaping, and outdoor amenity space as intended by the covenant. Covenant CA4430955 also includes minimum requirements for indoor amenity space, the siting of parking to the side or rear of buildings, and active street frontages with pedestrian connections, all of which have been satisfied in the proposed development. Although the proportion of underground parking in Phase 1 is less than previously envisioned for a high-rise development, Staff support amending the covenant as proposed which includes a commitment to provide a minimum of 32% of the lands (Phase 1 and 2 combined) as green space (Attachment B). This amendment allows more flexibility to achieve a cost-effective build while ensuring an appropriate balance between surface parking and opportunities for tree retention, permeability, and open space, as intended by the covenant and applicable form and character design guidelines.

Proposed Development

The applicant is proposing to construct two buildings (one on each lot) with a total of 106 rental dwelling units. Building A is a six-storey mixed-use multi-family apartment building on Lot 3 and includes a 140m² commercial unit at the corner of Turner Road and Linley Valley Drive. Building B is a four-storey multi-family apartment building fronting Linley Valley Drive on Lot 8. The southern portion of Lot 3 is anticipated to be redeveloped as a multi-family development at a future time (Phase 2). Phase 1 is designed as a cohesive development across both lots with shared access, parking, and amenities. The proposed total gross floor area is 4,459m² (Building A) and 3,135m² (Building B), and the proposed total Floor Area Ratio (FAR) is 0.56 (Building A), below the allowable base FAR of 3.0 for Lot 3; and 0.89 (Building B), which includes a base FAR of 0.75 and a bonus FAR of 0.14 for underground parking within Lot 8.

The proposed dwelling unit composition is as follows:

Unit Type	No. of Units (Building A)	No. of Units (Building B)	Floor Area
Studio	12	4	42m ²
1-Bedroom	30	24	54m ² – 66m ²
2-Bedroom	21	15	78m ² – 81m ²
<i>Total:</i>	63	43	

Site Design

The proposed buildings are located in the northern portion of the lots to maximize street presence, with the commercial unit oriented toward the roundabout. Pedestrian connections are provided throughout the site, including soft surface pathways through the tree retention areas and open space. Vehicle access includes a dual-entry to a curved parking lot along the west side of Lot 3, and a single access on the east side of Lot 8 which provides entry to the underground parking ramp. Vehicle parking for Phase 1 includes 127 parking spaces (76 spaces on Lot 3 and 51 spaces on Lot 8), with one level of underground parking comprising 53 spaces and the remaining spaces provided as surface parking. Long-term bicycle storage (32 spaces for Lot 3, and 24 spaces for Lot 8) will be located within secure rooms in the underground parking garage, as well as 1 long-term bicycle space in the commercial unit and short-term bicycle racks (10 spaces for Lot 3 and 6 spaces for Lot 8) located close to the residential and commercial entrances to the buildings. Three-stream waste management containers for both buildings are located within a waste management enclosure on Lot 3.

Building Design

The buildings are rectilinear in shape and contemporary in design with low-sloped roofs. The exterior finishes of the buildings include a mix of fibre cement siding including panel, plank, and wood-look plank, as well as brick and concrete finishes. Balconies are provided for the units with glass railings. The ground floor commercial unit is distinguished with curtain wall glazing, a brick façade, wood elements, and exterior lighting. The residential entries are highlighted by brick facades and canopy elements and are accessed from the parking areas at the rear of the buildings and a shared plaza. Amenity rooms with adjacent patios are located on the ground floor of each building, including a lounge in Building A and a gym in Building B.

Landscape Design

Tree retention is proposed in strategic locations throughout the lot, complemented by new plantings of various deciduous and coniferous trees, shrubs, groundcover, vines, and perennials. A shared plaza between the buildings is furnished with decorative paving, raised planters, and benches. Wayfinding signage and address monuments are incorporated to guide residents and visitors through the site. Bollard lighting is provided along the shared plaza, pedestrian walkways, and the commercial unit, and down-facing pole-mounted lighting is proposed in the parking area.

The proposed development meets the intent of the applicable design guidelines, including buildings which are complementary to the streetscape; street-level commercial, a pedestrian network between the buildings with connections to the street; provision of private and common amenity areas; and robust landscaping throughout the site.

Design Advisory Panel

The Design Advisory Panel (DAP), at its meeting held on 2025-MAR-13, accepted DP1373 as presented and provided the following recommendations:

- Consider using glass rails for the balconies,
- Consider reducing the surface parking to provide more green space,
- Consider re-routing the pedestrian circulation around the parking lot,
- Consider the spacing and sizes of the surface parking stalls,
- Consider adding accent colours to give the buildings a more distinctive appearance,
- Consider adding more outdoor amenity space,
- Consider using decorative paving for the café patio,
- Consider connecting the ground floor units to the street,
- If there is the opportunity, add more Douglas fir trees to replace those being removed,
- Consider adding some seating on the walkway on the northwest side of Building A, near the café, and
- Consider another location for the underground parking ramp.

The applicant subsequently submitted revised plans in response to the DAP recommendations, including the following key design revisions:

- Incorporated glass rails for the balconies,
- Redesigned the parking area and accesses to provide more opportunities for tree retention and pedestrian circulation,
- Incorporated brick veneer cladding and lighting to highlight the commercial unit,
- Added Douglas fir trees to the planting plan; and
- Added seating near the café and throughout the site.

Proposed Variances

Maximum Fence Height

The maximum permitted height of a fence or retaining wall (or a combination fence and retaining wall) within the front yard setback of the CC3 zone (Lot 3) is 1.2m, with a maximum height of 1.8m permitted within a side yard setback in the COR3 zone (Lot 8). Where a fence is located outside of a required yard setback, the maximum permitted height is 3m. Five combined fence and retaining walls require variances as illustrated on Attachment E. Within the required front and side yard setbacks, proposed fence heights range from 2.1m to 3.9m, while fence heights outside of required yard setbacks range from 3.1m to 3.9m,

representing requested variances ranging from 0.1m up to 2.1m. The requested variances are necessary to facilitate site grading specifically for a retaining wall associated with the café, a pedestrian pathway to the main entrance of Building B, and a ramp providing access to the underground parkade. The variance request incorporates guardrails, which provide a safety barrier for pedestrians. The retaining walls and fencing are constructed using materials that complement the overall design of the development and contribute to a cohesive site design.

Siting of Buildings

The minimum side yard setback for a principal building in the CC3 zone is 3m. A variance is requested to reduce the east side yard setback of Building A from 3m to 1.5m, a requested variance of 1.5m. Staff support the proposed variance as the subject properties are designed to function as a cohesive development with a central plaza between Buildings A and B. While the setback to the property line is reduced, the central plaza provides generous separation between the buildings.

Landscape Buffer & Waste Management Enclosure

The minimum required landscape buffer width is 1.5m where a lot abuts a different zone. Variances are proposed to reduce the landscape buffer width along portions of the interior lot lines and the west side yard for Lot 8 to 0m, a requested variance of 1.5m. Additionally, waste management enclosures must be set back a minimum of 3m from a lot line zoned for residential use and the proposed waste management enclosure on Lot 3 is 0m from the side lot line. The reduced buffers are located along internal lot lines within the development and adequate buffering is provided on either side of the lot line between the buildings, parking areas, and pathways. Additionally, the waste management enclosure is located more than 3m from the buildings, which helps minimize any potential impacts associated with the siting of this structure.

Loading Space Dimensions

The minimum required length of a loading space for the proposed commercial use is 10m. The applicant is proposing to reduce the length of the required loading space from 10m to 6.5m. Staff support the proposed variance as the commercial unit is smaller in scale (140m²) and it is anticipated that smaller delivery vehicles will be used which can be accommodated in the proposed loading space to facilitate commercial loading onsite.

Staff support the requested variances.

COMMUNICATION AND COMMUNITY ENGAGEMENT

Covenant Amendment Process Policy

Council's [Covenant Amendment Process Policy](#) outlines the process for considering an amendment to a covenant previously secured through rezoning. Where a proposed covenant amendment does not pertain to land use, density, or community contributions, the notification process will be consistent with that of development variance permits, as is the case with CA20. Notification has taken place prior to Council's consideration of this covenant amendment.

The development permit application does not require a statutory notification or community engagement.

KEY MESSAGES

- Staff support covenant amendment application No. CA20 which proposes to amend an existing Section 219 covenant (CA4430955) to reduce the minimum required underground parking for dwelling units from 90% to 45% for Phase 1 of the development at 6055 Turner Road and 6045 Linley Valley Drive, and to secure a minimum of 32% the lands as green space over both lots.
- Development Permit application No. DP1373 proposes a cohesive mixed-use development over both lots including 106 multi-family rental dwelling units and 140m² of commercial floor area.
- Variances are requested to increase the permitted height of retaining walls, reduce the side yard setback for Building A, reduce the required landscape buffers and waste enclosure setback, and reduce the length of a loading space.
- The proposed development meets the intent of the applicable design guidelines and Staff support the proposed variances.

ATTACHMENTS

- ATTACHMENT A: Subject Property Map
- ATTACHMENT B: Proposed Development Phasing
- ATTACHMENT C: Permit Terms and Conditions
- ATTACHMENT D: Site, Parking and Amenity Area Plans
- ATTACHMENT E: Building and Fence Elevations and Details
- ATTACHMENT F: Building Renderings
- ATTACHMENT G: Landscape Plan and Details

Authored by:

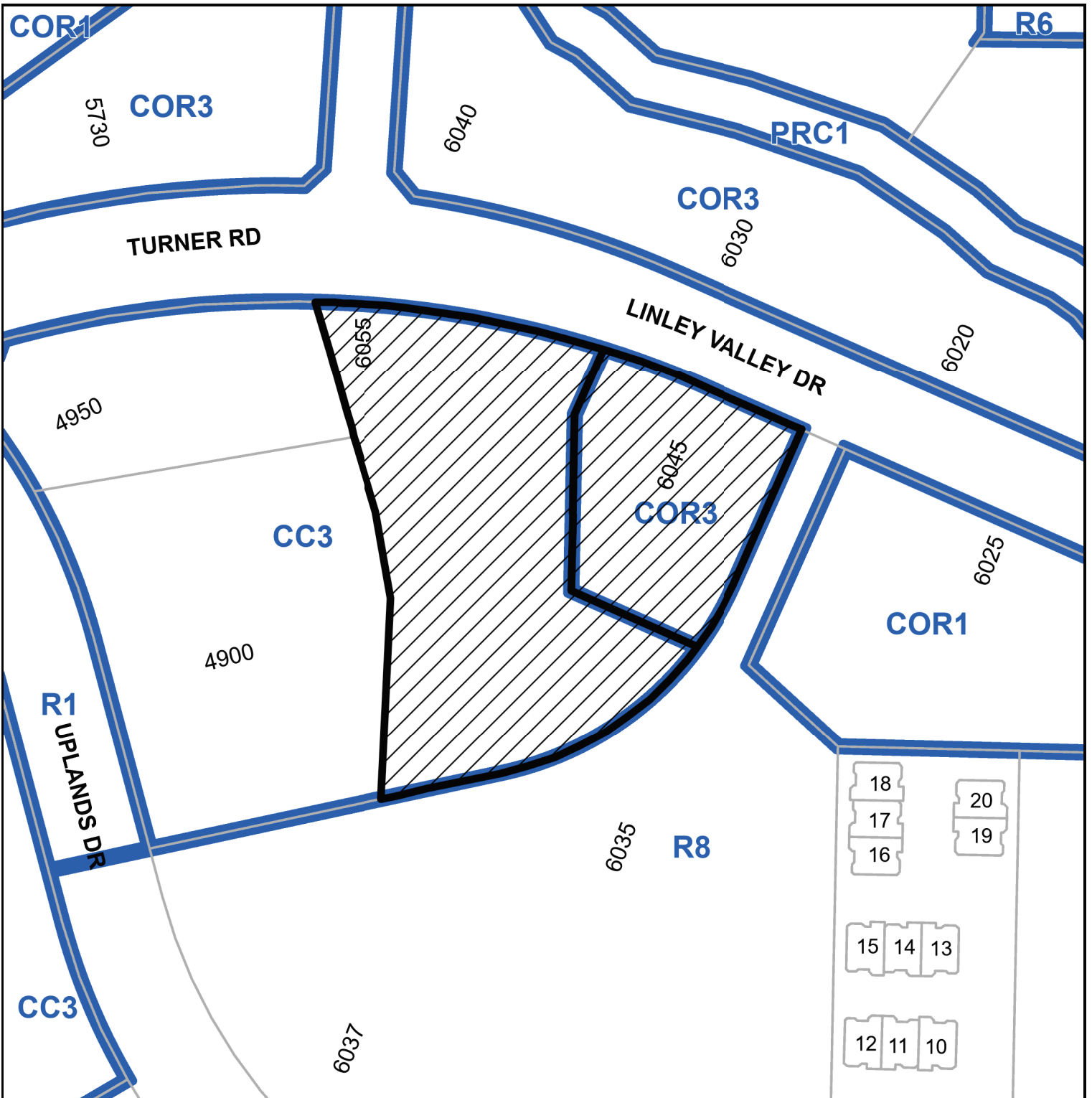
Kristine Mayes
Planner II, Community Planning

Concurrence by:

Lainya Rowett
Manager, Current Planning

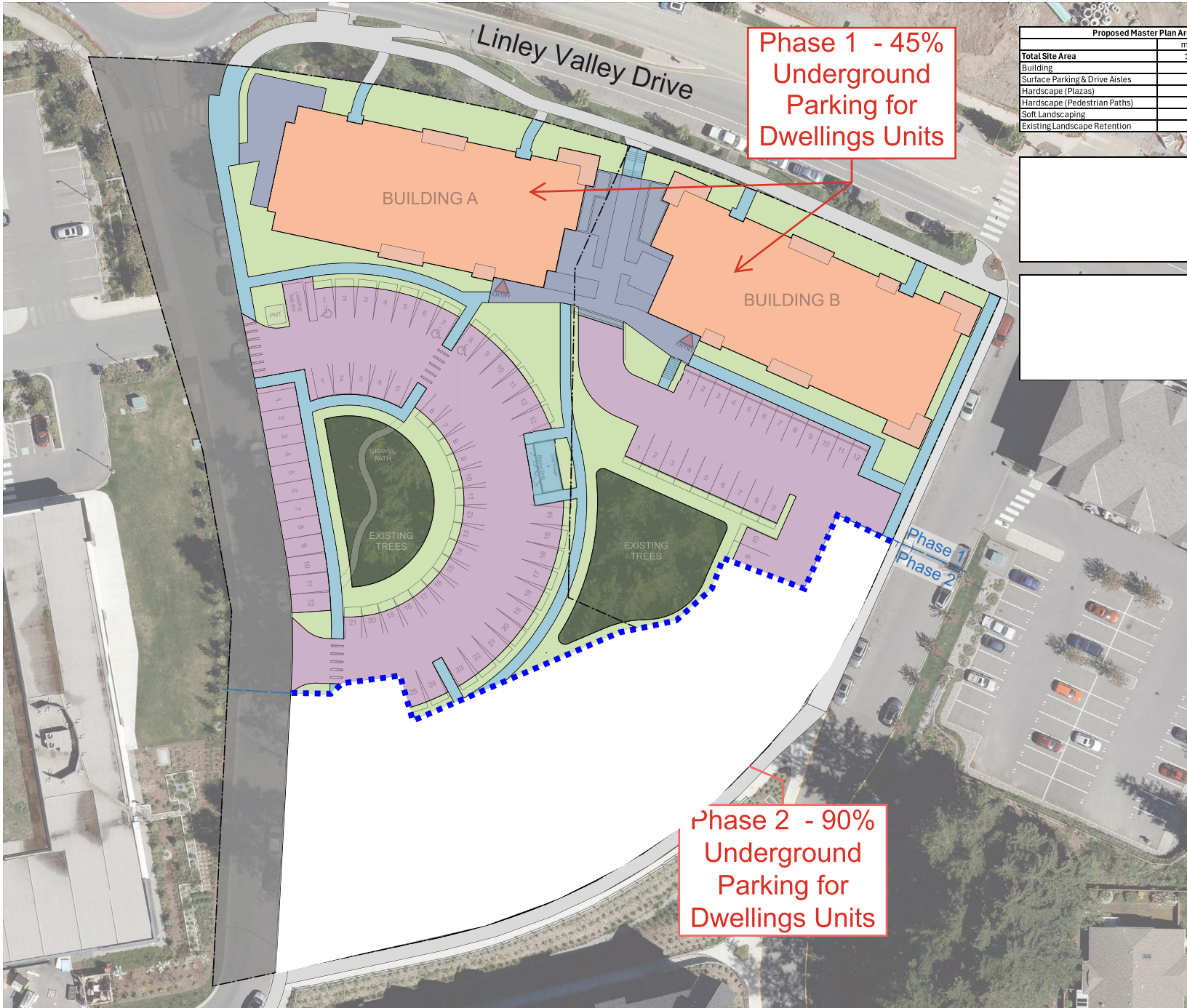
Jeremy Holm
Director, Planning and Development

ATTACHMENT A SUBJECT PROPERTY MAP



6045 LINLEY VALLEY DRIVE & 6055 TURNER ROAD

ATTACHMENT B PROPOSED DEVELOPMENT PHASING



**Phase 1 - 45%
Underground
Parking for
Dwellings Units**

**Phase 2 - 90%
Underground
Parking for
Dwellings Units**

Proposed Master Plan Areas		
	m2	%
Total Site Area	10,239	
Building	2,545	25%
Surface Parking & Drive Aisles	3,014	29%
Hardscape (Plazas)	474	5%
Hardscape (Pedestrian Paths)	853	8%
Soft Landscaping	2,285	22%
Existing Landscape Retention	1,064	10%

Minimum
Required
Green Space
32%
(Phases 1 and 2)

RECEIVED
CA20
2026-FEB-04
Current Planning

Issued for Review

Rev	Date	Description	Planning Director
1	26-02-02		
2	26-01-23		

Rev	Date	Description	Checked By	QTH
1	2026-01-23	Issued for Review	DHS	
2	26-01-23			2436

NOTE: All dimensions are shown in millimeters.

Linley Valley
6045 Linley Valley Drive &
6055 Turner Road
SITE AREAS

dHka **A.3**

dHka Architects
Victoria
577 East Street V8V 3K3 T 1-250-658-3367
Nanaimo
636-1180 Duizin Way V8T 2K6 T 1-250-565-5810

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ATTACHMENT C

PERMIT TERMS AND CONDITIONS

PERMIT TERMS

The “City of Nanaimo Zoning Bylaw 2011 No. 4500” is varied as follows:

1. *Section 6.10.2 Fence Height* – to increase the maximum permitted height of a fence:
 - within a front yard setback from 1.2m to 2.1m on Lot 3 as shown on Attachment E (Retaining Wall 6);
 - within a side yard setback from 1.8m to 3.9m on Lot 8 as shown on Attachment E (Retaining Wall 1); and
 - within a side yard setback from 1.8m to 2.1m on Lot 8 as shown on Attachment E (Retaining Wall 4).
2. *Section 6.10.5 Fence Height* – to increase the maximum permitted height of a fence outside a required yard setback:
 - from 3.0m to 3.9m on Lot 8 as shown on Attachment E (Retaining Wall 2); and
 - from 3.0m to 3.1m on Lot 8 as shown on Attachment E (Retaining Wall 3).
3. *Section 10.5.1 Siting of Buildings* – to reduce the minimum required east side yard setback for Building A from 3.0m to 1.5m on Lot 3 as shown on Attachment D.
4. *Section 17.1.2 Required Landscaping* – to reduce the minimum required landscape buffer width within Lot 3 and Lot 8 from 1.5m to 0.0m for portions of the development along the side lot lines as shown on Attachment G.
5. *Section 17.1.6 Required Landscaping* – to reduce the minimum required waste management enclosure on Lot 3 setback from 3.0m to 0.0m as shown on Attachment G.

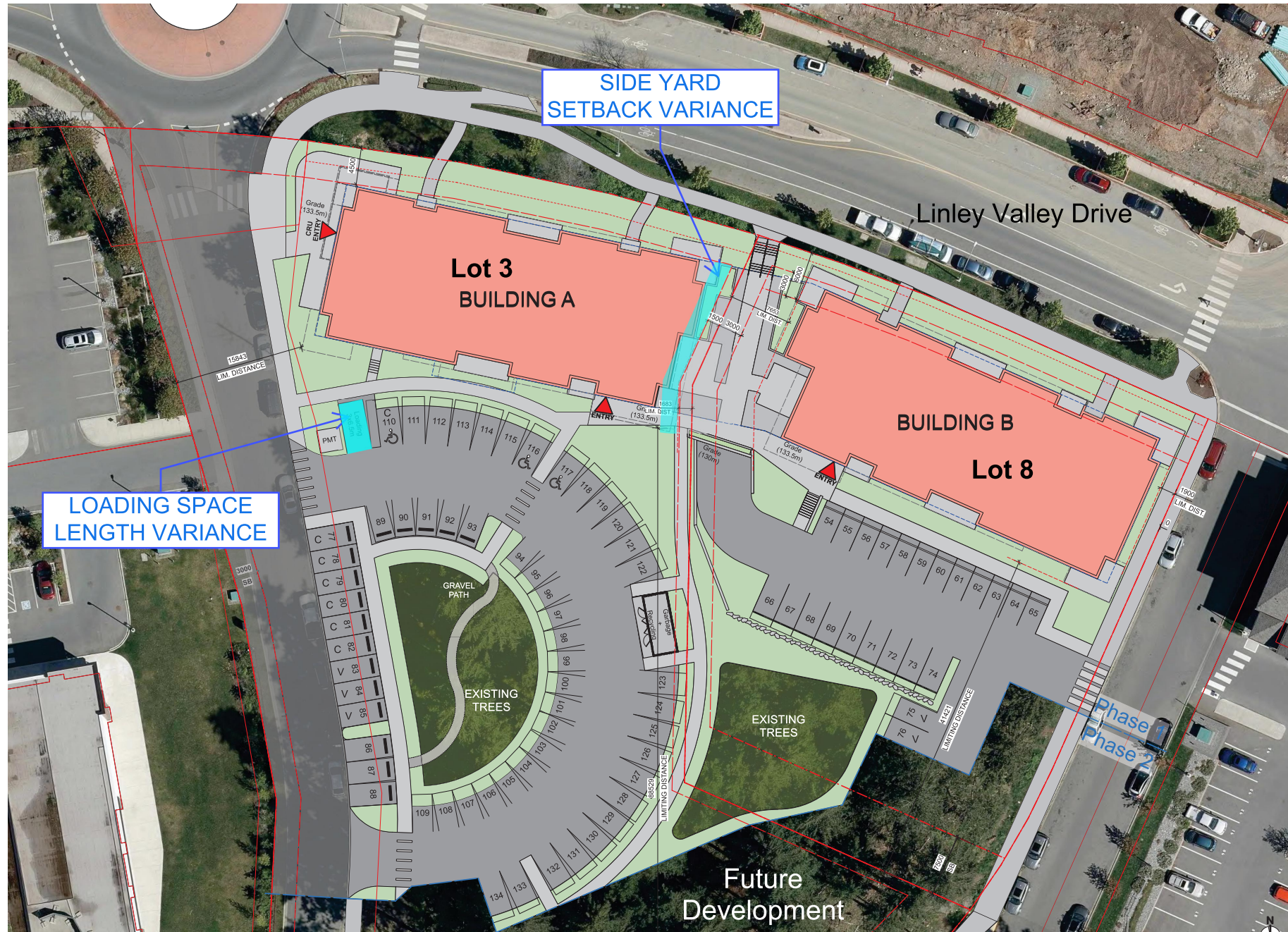
The City of Nanaimo “Off-Street Parking Regulations Bylaw 2018 No. 7266” is varied as follows:

1. *Section 6.3(i) Dimensions and Design of Loading Spaces* – to reduce the minimum required length of an off-street loading space from 10.0m to 6.5m on Lot 3 as shown on Attachment D.

CONDITIONS OF PERMIT

1. The subject property shall be developed generally in accordance with the Site, Parking and Amenity Area Plans prepared by dHK Architects, dated 2026-APR-07, as shown on Attachment D.
2. The subject property shall be developed in substantial compliance with the Building and Fence Elevations and Details, prepared by dHK Architects, dated 2026-APR-07, as shown on Attachment E.
3. The subject property shall be developed in substantial compliance with the Landscape Plan and Details prepared by Macdonald Gray, dated 2026-APR-07, as shown on Attachment G.
 - (a) An itemized landscape cost estimate prepared by a qualified landscape professional shall be submitted with the building permit application.
 - (b) A landscape security deposit equal to 100% of the landscape cost estimate, to a maximum of \$100,000, shall be provided prior to building permit issuance.
4. Amend Section 219 Covenant CA4430955 prior to Development Permit issuance to require a minimum 45% of the required parking spaces for the dwelling units as underground parking spaces for Phase 1 and 90% for Phase 2; and to require a minimum 32% of the lands as green space over Phases 1 and 2 as identified on Attachment B.
5. Registration of a Section 219 covenant securing access easements between Lots 3 and 8 prior to building occupancy to provide reciprocal access for pedestrian, vehicle, amenities, and waste management facilities.

ATTACHMENT D SITE, PARKING AND AMENITY AREA PLANS



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DP1373
2026-APR-07
Current Planning

28-04-07 ISSUED FOR DP RESUBMISSION 3
28-03-13 ISSUED FOR DP RESUBMISSION 2
25-09-12 ISSUED FOR DP RESUBMISSION 1
24-12-20 ISSUED FOR DP 1

Rev	Date	Description	Drawn By	Checked By	QTH
1			DRS		2436

NOTE: All dimensions are shown in millimeters.

Linley Valley
6045 Linley Valley Drive &
6055 Turner Road
SITE PLAN A & B



dHka A100

dHka Architects
Victoria
577 Fort Street V8V 3K3 T 1-250-658-3367
Nanaimo
1502-1180 DuRoi Way V9T 2K6 T 1-250-585-5810

Legend

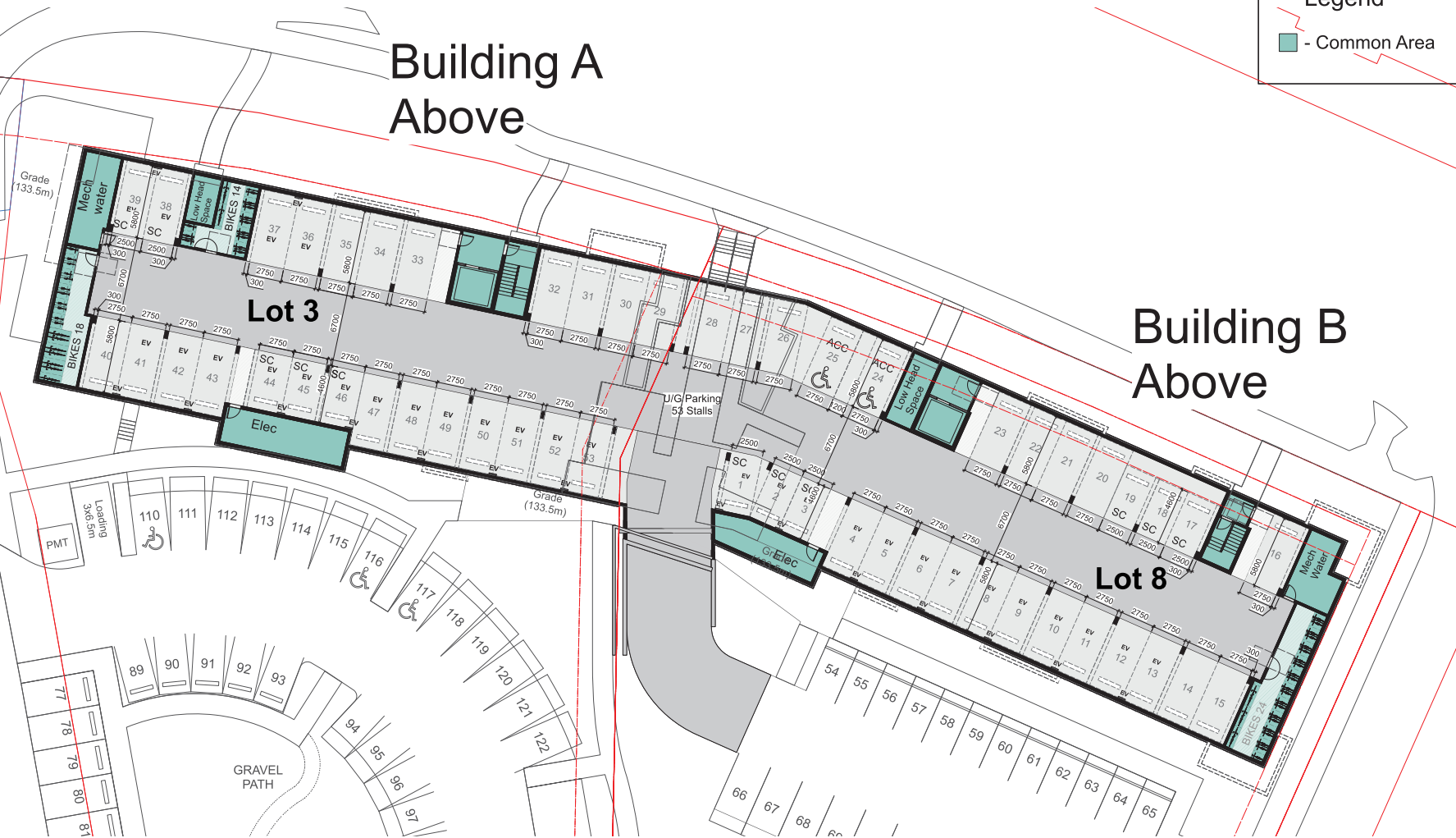
■ - Common Area

Building A
Above

Building B
Above

Lot 3

Lot 8



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2026-APR-07
 Current Planning

26-04-07 ISSUED FOR DP RESUBMISSION 3
 26-03-13 ISSUED FOR DP RESUBMISSION 2
 25-09-12 ISSUED FOR DP RESUBMISSION 1
 24-12-20 ISSUED FOR DP 1

Date	Description
26-04-07	ISSUED FOR DP RESUBMISSION 3
26-03-13	ISSUED FOR DP RESUBMISSION 2
25-09-12	ISSUED FOR DP RESUBMISSION 1
24-12-20	ISSUED FOR DP 1

NOTE: All dimensions are shown in millimeters.

Linley Valley
 6045 Linley Valley Drive &
 6055 Turner Road
 U/G Parking Plan

dHka A200

2026-04-07

John Dea

2026-04-07

2026-04-07

dHKA architects
 Victoria
 577 East Street VBV 3K3 T 1-250-658-3367
 Nanaimo
 1430-1180 DuRoi Way VQT 2K6 T 1-250-565-5810

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Legend

- Commercial
- 2 Bed
- 1 Bed
- Studio
- Amenity
- Common Area



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DP1373
2026-APR-07
 Current Planning

Date	Description
28-04-07	ISSUED FOR DP RESUBMISSION 3
28-03-13	ISSUED FOR DP RESUBMISSION 2
25-09-12	ISSUED FOR DP RESUBMISSION 1
24-12-20	ISSUED FOR DP

Linley Valley
 6045 Linley Valley Drive &
 6055 Turner Road
 L1 - Main Floor Plan A&B

dHka A201

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ATTACHMENT E BUILDING AND FENCE ELEVATIONS AND DETAILS



1 North Elevation
Scale: 1:100

Facing Linley Valley Drive



2 West Elevation
Scale: 1:100

Facing Turner Road
257

MATERIAL PALETTE

17	ALUMINIUM CURTAINWALL SYSTEM, IN BLACK
18	ALUMINIUM STOREFRONT GLAZING, IN BLACK
19	ALUMINIUM STOREFRONT DOORS, IN BLACK
20	VINYL SLIDE / SWING GLASS DOOR, IN BLACK
21	VINYL WINDOWS, IN BLACK
22	STEEL DOOR, IN BLACK
23	PARKADE OVERHEAD DOOR, PICKET STYLE, IN BLACK
24	LOW SLOPED MEMBRANE DECK, IN DARK GREY TONES,
25	LOW SLOPED MEMBRANE ROOF, IN DARK GREY TONES, WITH PARAPET AND CAP FLASHING
26	FASCIA: FIBRE CEMENTY PANEL SIDING, WITH ALUMINIUM CAP FLASHING COLOUR TO MATCH FASCIA.
27	SIGNAGE
28	PLANTERS, REFER TO LANDSCAPE ARCHITECT PACKAGE
29	ELEVATOR OVER-RUN
30	MECHANICAL ROOM
1	BRICK LIGHT
2	BRICK WARM DARK GRAY
3	PERFORATED SOFFIT, IN WHITE
4	PERFORATED SOFFIT WOOD-LOOK PLANK, IN DOUGLAS FIR
5	WOOD-LOOK PLANK CLADDING, IN DOUGLAS FIR
6	FIBRE CEMENT PLANK LAP SIDING, WOOD GRAIN FINISH, IN DARK GRAY
7	FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WHITE
8	FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WARM GRAY
9	FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN DARK GRAY
10	VINYL DECKING, LIGHT GREY TONES
11	FASCIA MOUNTED ALUMINIUM GLASSRIBBAL AND RAILING, POWDER COATED, BLACK, WITH GLASS GUARDS
12	N/A
13	N/A
14	COLUMNS, WARM GRAY
15	COLUMNS, WOOD FEATURE TO MATCH WOOD-LOOK SIDING
16	CONCRETE WALL, SACK FINISHED, PAINT SEALED

* NOTE: FLASHING TO COLOUR MATCH MATERIALS
* NOTE: ILLUMINATED BR / IN / OUT SIGNAGE IS PLACEHOLDER AND IS TO BE CONFIRMED IN A SEPARATE SIGNAGE APPLICATION TO MEET CITY OF NANAIMO SIGNAGE REQUIREMENTS

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DP1373
2026-APR-07
Current Planning

4	26-04-07	ISSUED FOR DP RESUBMISSION 3
3	26-03-12	ISSUED FOR DP RESUBMISSION 2
2	25-09-12	ISSUED FOR DP RESUBMISSION 1
1	24-12-20	ISSUED FOR DP

Linley Valley
6045 Linley Valley Drive &
6055 Turner Road
Building A - N & W
Elevations



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dHkaArchitects
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MATERIAL PALETTE

1 BRICK LIGHT	17 ALUMINIUM CURTAINWALL SYSTEM, IN BLACK
2 BRICK WARM DARK GRAY	18 ALUMINIUM STOREFRONT GLAZING, IN BLACK
3 PERFORATED SOFFIT, IN WHITE	19 ALUMINIUM STOREFRONT DOORS, IN BLACK
4 PERFORATED SOFFIT WOOD-LOOK PLANK, IN DOUGLAS FIR	20 VINYL SLIDE / SWING GLASS DOOR, IN BLACK
5 WOOD-LOOK PLANK CLADDING, IN DOUGLAS FIR	21 VINYL WINDOWS, IN BLACK
6 FIBRE CEMENT PLANK LAP SIDING, WOOD GRAIN FINISH, IN DARK GREY	22 STEEL DOOR, IN BLACK
7 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WHITE	23 PARKADE OVERHEAD DOOR, PICKET STYLE, IN BLACK
8 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WARM GRAY	24 LOW SLOPED MEMBRANE DECK, IN DARK GREY TONES, WITH PARAPET AND CAP FLASHING
9 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN DARK GRAY	25 LOW SLOPED MEMBRANE ROOF, IN DARK GREY TONES, WITH PARAPET AND CAP FLASHING
10 VINYL DECKING, LIGHT GREY TONES	26 FASCIA, FIBRE CEMENT PANEL SIDING, WITH ALUMINIUM CAP FLASHING COLOUR TO MATCH FASCIA
11 FASCIA-MOUNTED ALUMINIUM GUARDRAIL AND RAILING, POWDER COATED, BLACK, WITH GLASS GUARDRODS	27 SIGNAGE
12 N/A	28 PLANTERS, REFER TO LANDSCAPE ARCHITECT PACKAGE
13 N/A	29 ELEVATOR OVER-RUN
14 COLUMNS, WARM GRAY	30 MECHANICAL ROOM
15 COLUMNS, WOOD FEATURE TO MATCH WOOD-LOOK SIDING	
16 CONCRETE WALL, SACK FINISHED, PAINT SEALED	

* NOTE: FLASHING TO COLOUR MATCH MATERIALS
 * NOTE: ILLUSTRATED BUILDING SIGNAGE IS PLACEHOLDER AND IS TO BE CONFIRMED IN A SEPARATE SIGNAGE APPLICATION TO MEET CITY OF NANAIMO SIGNAGE REQUIREMENTS



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DP1373
2026-APR-07
 Current Planning

Date	Description
26-04-07	ISSUED FOR DP RESUBMISSION 3
26-03-13	ISSUED FOR DP RESUBMISSION 2
25-09-12	ISSUED FOR DP RESUBMISSION 1
24-12-20	ISSUED FOR DP

Linley Valley
 6045 Linley Valley Drive &
 6055 Turner Road
 Building A - S & E
 Elevations



dHka A302

dHkaArchitects
 Victoria
 577 Fort Street V8V 3K3 T 1-250-658-3367
 Nanaimo
 450-5180 Dublin Way V8T 2K6 T 1-250-585-5810



Facing Linley Valley Drive

MATERIAL PALETTE	
(1) BRICK LIGHT	(17) ALUMINIUM CURTAINWALL SYSTEM, IN BLACK
(2) BRICK WARM DARK GRAY	(18) ALUMINIUM STOREFRONT GLAZING, IN BLACK
(3) PERFORATED SOFFIT, IN WHITE	(19) ALUMINIUM STOREFRONT DOORS, IN BLACK
(4) PERFORATED SOFFIT WOOD-LOOK PLANK, IN DOUGLAS FIR	(20) VINYL SLIDE / SWING GLASS DOOR, IN BLACK
(5) WOOD-LOOK PLANK CLADDING, IN DOUGLAS FIR	(21) VINYL WINDOWS, IN BLACK
(6) FIBRE CEMENT PLANK LAP SIDING, WOOD GRAIN FINISH, IN DARK GREY	(22) STEEL DOOR, IN BLACK
(7) FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WHITE	(23) LOW SLOPED MEMBRANE DECK, IN DARK GREY TONES,
(8) FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WARM GRAY	(24) LOW SLOPED MEMBRANE ROOF, IN DARK GREY TONES,
(9) FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN DARK GRAY	(25) WITH PARASIT AND CAP FLASHING
(10) VINYL DECKING, LIGHT GREY TONES	(26) FASCIA, FIBRE CEMENT PANEL SIDING, WITH ALUMINIUM CAP FLASHING COLOUR TO MATCH FASCIA
(11) FASCIA-MOUNTED ALUMINIUM GUARDRAIL AND RAILING, POWDER COATED, BLACK, WITH GLASS GUAARDS	(27) SIGNAGE
(12) N/A	(28) PLANTERS, REFER TO LANDSCAPE ARCHITECT PACKAGE
(13) COLUMNS, WARM GRAY	(29) ELEVATOR OVER-RUN
(14) COLUMNS, WOOD FEATURE TO MATCH WOOD-LOOK SIDING	(30) MECHANICAL ROOM
(15) CONCRETE WALL, SACK FINISHED, PAINT SEALED	

* NOTE: FLASHING TO COLOUR MATCH MATERIALS
 * NOTE: ILLUSTRATED BUILDING SIGNAGE IS PLACEHOLDER AND IS TO BE CONFIRMED IN A SEPARATE SIGNAGE APPLICATION TO MEET CITY OF NANAIMO SIGNAGE REQUIREMENTS



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Date	Description
26-04-07	ISSUED FOR DP RESUBMISSION 3
26-03-13	ISSUED FOR DP RESUBMISSION 2
25-09-12	ISSUED FOR DP RESUBMISSION 1
24-12-20	ISSUED FOR DP

Linley Valley
 6045 Linley Valley Drive &
 6055 Turner Road
 Building B - N & W
 Elevations



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COMPONENTS AND SERVICES: THESE PLANS AND DESIGN ARE MADE AT ALL TIMES UNDER THE SUPERVISION OF A REGISTERED ARCHITECT TO BE USED FOR THE PROJECT SHOWN AND MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT.



MATERIAL PALETTE			
1	BRICK LIGHT	17	ALUMINIUM CURTAINWALL SYSTEM, IN BLACK
2	BRICK WARM DARK GRAY	18	ALUMINIUM STOREFRONT GLAZING, IN BLACK
3	PERFORATED SOFFIT, IN WHITE	19	ALUMINIUM STOREFRONT DOORS, IN BLACK
4	PERFORATED SOFFIT WOOD-LOOK PLANK, IN DOUGLAS FIR	20	VINYL SLIDE / SWING GLASS DOOR, IN BLACK
5	WOOD-LOOK PLANK CLADDINGS, IN DOUGLAS FIR	21	VINYL WINDOWS, IN BLACK
6	FIBRE CEMENT PLANK LAP SIDING, WOOD GRAIN FINISH, IN DARK GREY	22	STEEL DOOR, IN BLACK
7	FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WHITE	23	PARKADE OVERHEAD DOOR, PICKET STYLE, IN BLACK
8	FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WARM GRAY	24	LOW SLOPED MEMBRANE DECK, IN DARK GREY TONES
9	FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN DARK GRAY	25	LOW SLOPED MEMBRANE ROOF, IN DARK GREY TONES, WITH PARAPET AND CAP FLASHING
10	VINYL DECKING, LIGHT GREY TONES	26	FASCIA, FIBRE CEMENT PANEL SIDING, WITH ALUMINIUM CAP FLASHING COLOUR TO MATCH FASCIA
11	FASCIA MOUNTED ALUMINIUM GUARDRAIL AND RAILING, POWDER COATED, BLACK, WITH GLASS GUARDS	27	SIGNAGE
12	N/A	28	PLANTERS, REFER TO LANDSCAPE ARCHITECT PACKAGE
13	N/A	29	ELEVATOR OVER-RUN
14	COLUMNS, WARM GRAY	30	MECHANICAL ROOM
15	COLUMNS, WOOD FEATURE TO MATCH WOOD-LOOK SIDING		
16	CONCRETE WALL, SACK FINISHED, PAINT SEALED		

* NOTE: FLASHING TO COLOUR MATCH MATERIALS
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Linley Valley
 6045 Linley Valley Drive &
 6055 Turner Road
 Building B - S & E
 Elevations

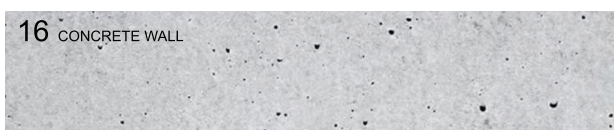
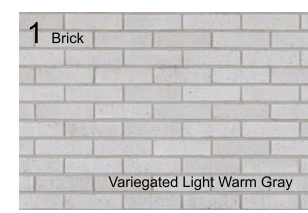
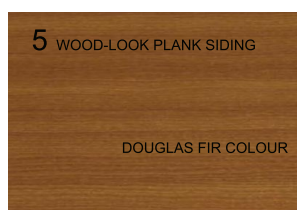
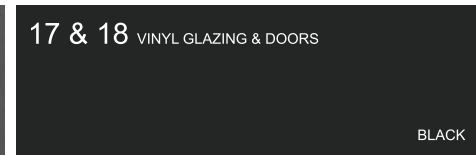
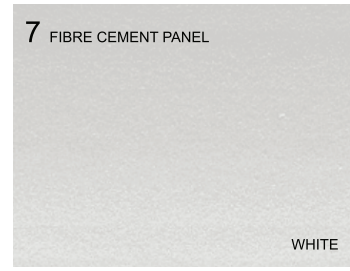
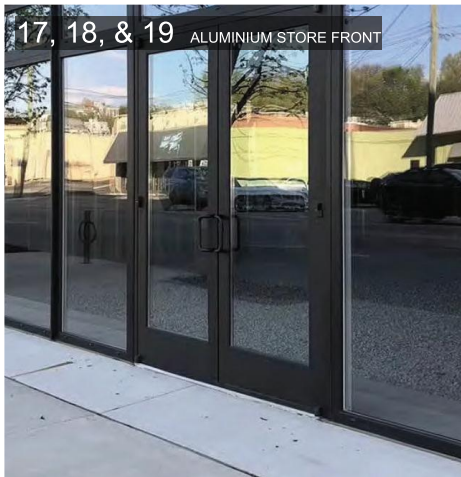


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MATERIAL PALETTE

- 1 BRICK LIGHT
 - 2 BRICK WARM DARK GRAY
 - 3 PERFORATED SOFFIT, IN WHITE
 - 4 PERFORATED SOFFIT WOOD-LOOK PLANK, IN DOUGLAS FIR
 - 5 WOOD-LOOK PLANK CLADDING, IN DOUGLAS FIR
 - 6 FIBRE CEMENT PLANK LAP SIDING, WOOD GRAIN FINISH, IN DARK GREY
 - 7 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WHITE
 - 8 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN WARM GRAY
 - 9 FIBRE CEMENT PANEL SIDING, SMOOTH FINISH, IN DARK GRAY
 - 10 VINYL DECKING, LIGHT GREY TONES
 - 11 FASCIA-MOUNTED ALUMINIUM GUARDRAIL AND RAILING, POWDER COATED, BLACK, WITH GLASS GUARDS
 - 12 N/A
 - 13 N/A
 - 14 COLUMNS, WHITE/BLACK
 - 15 COLUMNS, WOOD FEATURE TO MATCH WOOD-LOOK SIDING
 - 16 CONCRETE WALL, SACK FINISHED, PAINT SEALED
 - 17 ALUMINIUM CURTAINWALL SYSTEM, IN BLACK
 - 18 ALUMINIUM STOREFRONT GLAZING, IN BLACK
 - 19 ALUMINIUM STOREFRONT DOORS, IN BLACK
 - 20 VINYL SLIDE / SWING GLASS DOOR, IN BLACK
 - 21 VINYL WINDOWS, IN BLACK
 - 22 STEEL DOOR, IN BLACK
 - 23 PARKADE OVERHEAD DOOR, PICKET STYLE, IN BLACK
 - 24 LOW SLOPED MEMBRANE DECK, IN DARK GREY TONES,
 - 25 LOW SLOPED MEMBRANE ROOF, IN DARK GREY TONES, WITH PARAPET AND CAP FLASHING
 - 26 FASCIA, FIBRE CEMENT PANEL SIDING, WITH ALUMINIUM CAP FLASHING COLOUR TO MATCH FASCIA.
 - 27 SIGNAGE
 - 28 PLANTERS, REFER TO LANDSCAPE ARCHITECT PACKAGE
 - 29 ELEVATOR OVER-RUN
 - 30 MECHANICAL ROOM
- * NOTE: FLASHING TO COLOUR MATCH MATERIALS
 * NOTE: ILLUSTRATED BUILDING SIGNAGE IS PLACEHOLDER AND IS TO BE CONFIRMED IN A SEPARATE SIGNAGE APPLICATION TO MEET CITY OF NANAIMO SIGNAGE REQUIREMENTS



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Rev	Date	Description
4	26-04-07	ISSUED FOR DP RESUBMISSION 3
3	26-03-13	ISSUED FOR DP RESUBMISSION 2
2	25-09-12	ISSUED FOR DP RESUBMISSION 1
1	24-12-20	ISSUED FOR DP

Rev: Date: Description:
 prep date: dhs checked by: GTH
 drawn by: dhs checked by: 2436

NOTE: All dimensions are shown in millimeters.

Linley Valley
 6045 Linley Valley Drive &
 6055 Turner Road
Material Board

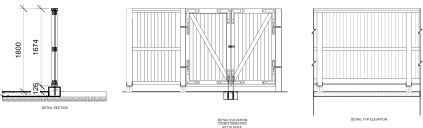
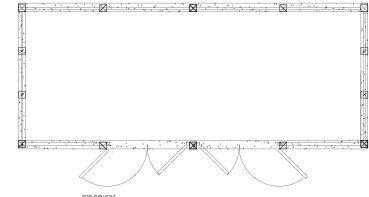
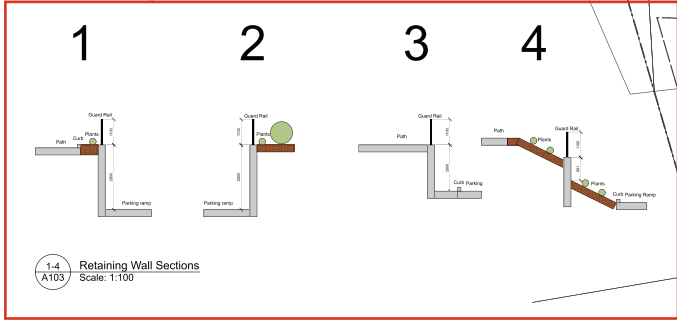


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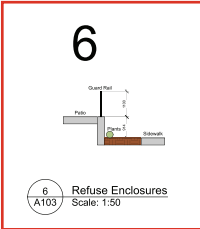
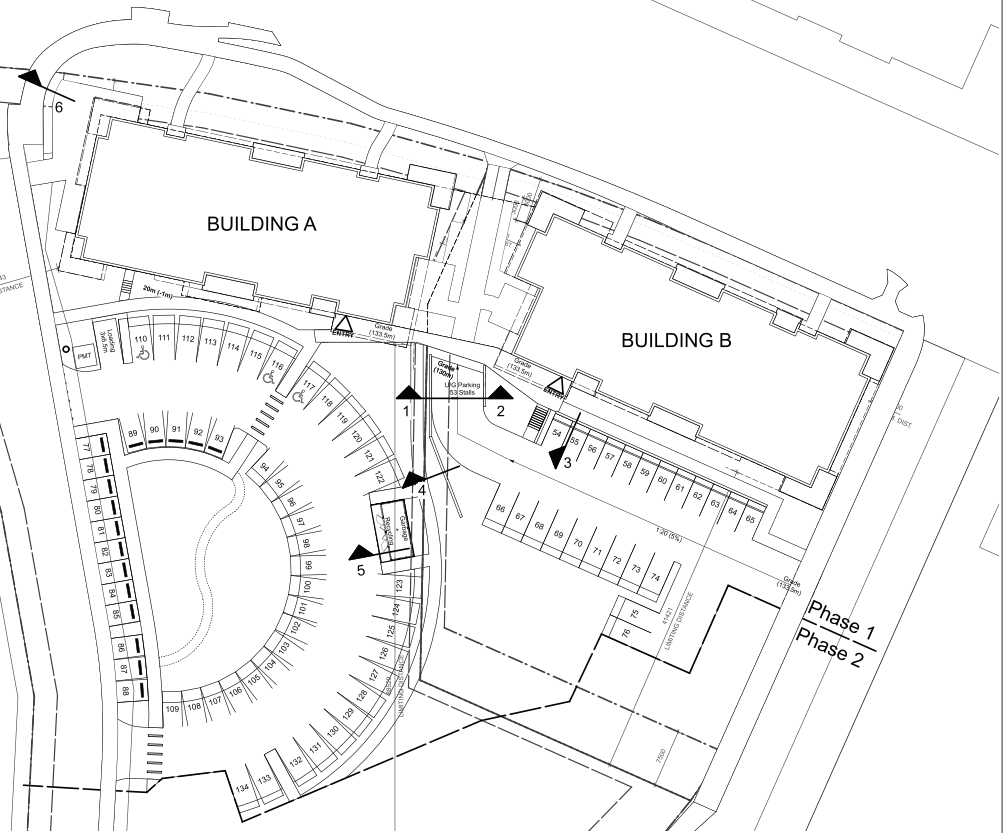
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FENCE HEIGHT VARIANCES



5 Retain Enclosures
Scale: 1:50

2 Retaining Wall Reference Map
Scale: 1:300



FENCE HEIGHT VARIANCES

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Current Planning

26-04-07 ISSUED FOR DP RESUBMISSION 3
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25-09-12 ISSUED FOR DP RESUBMISSION 1
24-12-20 ISSUED FOR DP

Rev	Date	Description	Drawn by	Checked by	GTW
1					
2					
3					
4					

NOTE: All dimensions are shown in millimeters.
Linley Valley
6045 Linley Valley Drive &
6055 Turner Road
Retaining Wall Plan and



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ATTACHMENT F BUILDING RENDERINGS



View Of Plaza And Entry From Linley Valley Drive



View From Linley Valley Drive



View From Turner Road to Linley Valley Drive



View From West Street Looking Toward Linley Valley Drive



View From Parking

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26-03-13 ISSUED FOR DP RESUBMISSION 2
25-09-12 ISSUED FOR DP RESUBMISSION 1
24-12-20 ISSUED FOR DP 1

Date	Issue	Description	Author	Number
26-04-07	DHS	DP1373	GTH	2436

NOTE: All dimensions are shown in millimeters.

Linley Valley

6045 Linley Valley Drive &
6055 Turner Road

Building A View Analysis



dHka A004

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View From Linley Valley Drive



View Of Plaza And Entry From Linley Valley Drive



View From Parking



View From East Street Looking Toward Linley Valley Drive



View From Linley Valley Drive to Turner Road

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 24-12-20 ISSUED FOR DP

Rev	Date	Description	Drawn By	Checked By	QTH
1					
2			DHS		
3					2436

NOTE: All dimensions are shown in millimeters.

Linley Valley
 6045 Linley Valley Drive &
 6055 Turner Road
 Building B View Analysis



dHka **A005**

dHKArchitects
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ATTACHMENT G LANDSCAPE PLAN AND DETAILS



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6045 Linley Valley Drive - Phase 1
District Group
Nanaimo, BC

LANDSCAPE ARCHITECTURE PLAN	
Date:	April 7, 2026
Drawn:	CM
Checked:	CM
Scale:	1:200metric
Project Number:	24-0365
DRAWING NUMBER:	L1 of 2

REVISION	SCHEDULE	NOTES
#	Date	
0	03/02/2024	Draft LA Master Plan
1	14/NOV/2024	Draft DP
2	12/DEC/2024	Issued for DP
3	28/AUG/2025	Reissued for DP
4	10/SEP/2025	Reissued for DP
5	03/MAR/2026	Reissued for DP
6	03/MAR/2026	Reissued for DP
7	07/APR/2026	Reissued for DP

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2026-APR-07
Current Planning



GENERAL NOTES

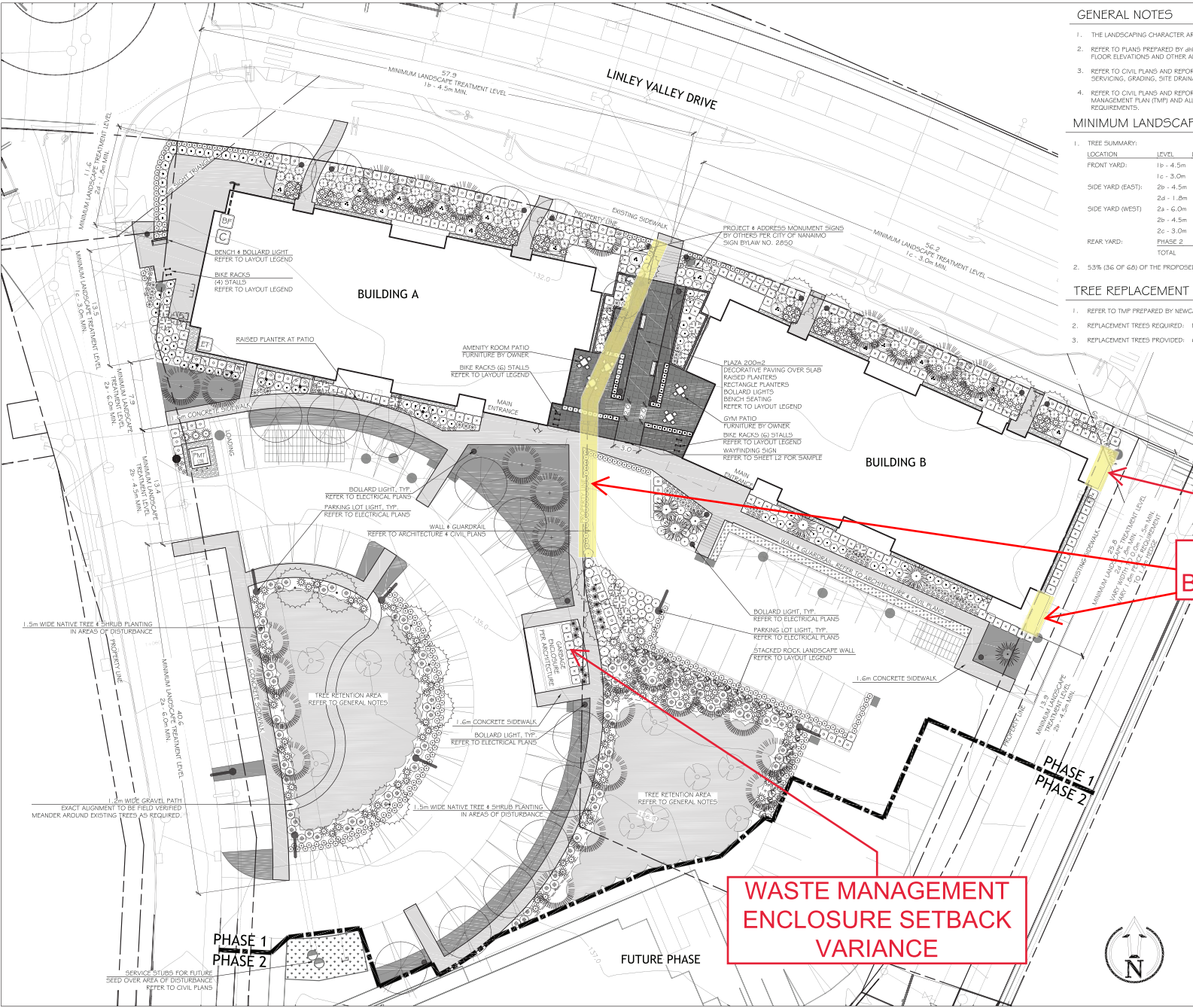
1. THE LANDSCAPING CHARACTER AREA FOR THE SITE IS: NORTH NANAIMO
2. REFER TO PLANS PREPARED BY JHK ARCHITECTS FOR SITE PLAN LAYOUT, PROPOSED FLOOR ELEVATIONS AND OTHER ARCHITECTURAL INFORMATION.
3. REFER TO CIVIL PLANS AND REPORT PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ALL SITE SERVICING, GRADING, SITE DRAINAGE AND STORMWATER MANAGEMENT INFORMATION.
4. REFER TO CIVIL PLANS AND REPORT PREPARED BY NEWCASTLE ENGINEERING LTD. THE TREE MANAGEMENT PLAN (TMP) AND ALL TREE REMOVALS, REPLACEMENT AND PROTECTION REQUIREMENTS.

MINIMUM LANDSCAPE TREATMENT LEVEL SUMMARY

LOCATION	LEVEL	LENGTH (m)	REQUIRED	PROPOSED
FRONT YARD:	1b - 4.5m	59	6	9
	1c - 3.0m	56	6	9
SIDE YARD (EAST):	2b - 4.5m	14	1	1
	2d - 1.8m	26	4	0
SIDE YARD (WEST):	2a - 6.0m	49	3	7
	2b - 4.5m	13	1	0
	2c - 3.0m	14	1	0
REAR YARD:	PHASE 2			
TOTAL		22	26	

TREE REPLACEMENT SUMMARY

1. REFER TO TMP PREPARED BY NEWCASTLE ENGINEERING LTD. FOR ADDITIONAL INFORMATION.
2. REPLACEMENT TREES REQUIRED: PER TMP
3. REPLACEMENT TREES PROVIDED: 65



WASTE MANAGEMENT
ENCLOSURE SETBACK
VARIANCE

LANDSCAPE
BUFFER VARIANCES



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6045 Linley Valley Drive - Phase 1
District Group
Nanaimo, BC

NOTES & LEGENDS
 Date: April 7, 2026
 Drawn: CM
 Checked: CM
 Scale: AS NOTED
 Project Number: 24-0305
 DRAWING NUMBER: **L2 of 2**

REVISION	SCHEDULE	NOTES
0	03OCT2024	Draft LA Master Plan
1	14NOV2024	Draft DP
2	12DEC2024	Issued for DP
3	28JUL2024	Issued for DP
4	10SEP2025	Reissued for DP
5	05MAR2026	Reissued for DP
6	07MAR2026	Reissued for DP
7	07APR2026	Reissued for DP

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2026-APR-07
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PLANTING NOTES

- ALL LANDSCAPE INSTALLATION AND MAINTENANCE SHALL MEET OR EXCEED THE MOST RECENT STANDARDS SET OUT BY THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
- GROWING MEDIUM SHALL MEET OR EXCEED THE PROPERTIES OUTLINED THE CANADIAN LANDSCAPE STANDARD PER SECTION 4 & GROWING MEDIUM, TABLE T-6.3.5.2. PROPERTIES FOR GROWING MEDIA:
 LEVEL 2 "GRODOME" - 2P
 GROWING MEDIUM DEPTHS: LAWN - 100mm
 SHRUBS - 450mm
 TREES - 600mm BELOW AND AROUND ROOTBALL
- MULCH SHALL BE COMPOST PER SECTION 10 MULCHING OF THE CANADIAN LANDSCAPE STANDARD. MULCH DEPTH SHALL BE 75mm MINIMUM OVER ALL TREE, SHRUBS AND GROUND COVER PLANTING AREAS.
- PLANT MATERIAL QUALITY, TRANSPORT AND HANDLING SHALL COMPLY WITH CNLA STANDARDS FOR NURSERY STOCK.
- ALL TREE, SHRUB, GROUND COVER AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UTILIZING SMART (ET) WEATHER-BASED IRRIGATION CONTROL. IRRIGATION EMISSION DEVICES SHALL BE HIGH EFFICIENCY LOW VOLUME ROTARY NOZZLES OR DRIP IRRIGATION EQUIPMENT.
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. IN CASE OF ANY DISCREPANCY THE PLAN SHALL GOVERN.
- ALL PLANT MATERIAL SHALL MATCH TYPE AND SPECIES AS INDICATED ON THE PLANTING LEGEND. CONTACT THE LANDSCAPE ARCHITECT FOR APPROVAL OF ANY SUBSTITUTIONS. NO SUBSTITUTIONS WILL BE ACCEPTED WITHOUT PRIOR WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- CHECK FOR LOCATIONS OF WATER LINES AND OTHER UNDERGROUND SERVICES PRIOR TO DIGGING TREE PITS. EXCAVATED PLANT PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITH ONE HOUR AFTER FILLING.
- NO PLANTS REQUIRING PRUNING OF MAJOR BRANCHES DUE TO DISEASE, DAMAGE OR POOR FORM WILL BE ACCEPTED.

IRRIGATION NOTES

- THE IRRIGATION SYSTEM SHALL BE DESIGN-BUILD BY THE OWNER.
- IRRIGATION SYSTEM INSTALLATION SHALL MEET OR EXCEED THE REQUIREMENTS SET OUT IN THE MOST CURRENT VERSION OF THE CANADIAN NURSERY LANDSCAPE ASSOCIATION (CNLA) / CANADIAN SOCIETY OF LANDSCAPE ARCHITECTS (CSLA) CANADIAN LANDSCAPE STANDARD.
- ALL PROPOSED ON-SITE PLANTING AND LAWN AREAS SHALL BE WATERED VIA AN UNDERGROUND, AUTOMATIC IRRIGATION SYSTEM UTILIZING A "SMART" (ET) WEATHER-BASED IRRIGATION CONTROLLER.
- IRRIGATION EMISSION DEVICES SHALL BE LOW VOLUME ROTARY NOZZLES OR MICRO DRIP EQUIPMENT.
- THE CONTRACTOR SHALL ADJUST THE PLACEMENT AND RADIUS OF SPRINKLERS AS REQUIRED BY FIELD CONDITIONS TO ACHIEVE FULL COVERAGE OF ALL PLANTED AREAS AND TO MINIMIZE OVER-SPRAY ONTO ADJACENT HARD SURFACES, FENCES AND PROPERTY LINES.
- ALL PIPING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 SLEEVES AT A MINIMUM DEPTH OF 600mm WITH 150mm OF SAND BACKFILL ABOVE AND BELOW PIPE. ALL WIRING UNDER PAVING SHALL BE INSTALLED IN SEPARATE SCHEDULE 40 PVC CONDUIT. ALL SLEEVES AND CONDUIT SHALL BE INSTALLED PRIOR TO PAVEMENT INSTALLATION AND SHALL EXTEND 150mm BEYOND EDGE OF PAVEMENT OR CURB. BACKFILL FOR SLEEVES SHALL BE COMPACTED TO THE SPECIFIED DENSITY FOR THE SURFACE.
- OPERATE IRRIGATION CONTROLLER WITHIN THE CITY OF NANAIMO WATER RESTRICTION SCHEDULE.

PLANT LEGEND

SYMBOL	BOTANICAL / COMMON NAME	SIZE	SPACING	QUANTITY	NOTES
TREES					
	ACER RUBRUM 'REDPOINTE' FRANK JR. RED MAPLE	6cm CAL.	6.0m O.C.	16	NATIVE CANADIAN CULTIVAR
	MAGNOLIA GRANDIFLORA 'KAY PARRIS' KAY PARRIS SOUTHERN MAGNOLIA	#7 POT	SEE PLAN	2	PLAZA PLANTERS, EVERGREEN
	CORNUS 'EDDIE'S WHITE WONDER' EDDIE'S WHITE WONDER DOGWOOD	6cm CAL.	4.5m O.C.	16	NATIVE CULTIVAR
	PICEA FUNGENS 'HOOPSH' HOOPSH BLUE SPRUCE	2.5m	3.0m O.C.	6	DROUGHT TOLERANT CONIFEROUS
	PSEUDOTSUGA MENZIESII DOUGLAS FIR	2.5m	4.0m-5.0m SEE PLAN	28	NATIVE SPECIES CONIFEROUS
SHRUBS					
	ACER CIRCINATUM VINE MAPLE	#5 POT	SEE PLAN	12	NATIVE SPECIES
	BUKULS 'GREEN GEM' GREEN GEM BOXWOOD	#1 POT	0.45m O.C.	42	IN RECTANGLE PLANTERS
	BUKULS 'GREEN VELVET' GREEN VELVET BOXWOOD	#1 POT	1.0m O.C.	31	DROUGHT TOLERANT
	CEANOTHUS THYRSIFLORUS 'VICTORIA' VICTORIA CALIFORNIA LIAC	#3 POT	1.5m O.C.	13	DROUGHT TOLERANT
	COTINUS COGONIGRIA ROYAL PURPLE ROYAL PURPLE SMOKEBUSH	#7 POT	SEE PLAN	5	DROUGHT TOLERANT
	GAUTHERIA SHALLON SALAL	#1 POT	1.0m O.C.	100	NATIVE SPECIES
	LONICERA NITIDA 'MAYGREEN' MAYGREEN BOX HONEY-SUCKLE	#1 POT	1.0m O.C.	56	DROUGHT TOLERANT
	HANDIHA DOMESTICA 'MOON BAY' COMPACT HEAVENLY BAMBOO	#1 POT	1.0m O.C.	57	DROUGHT TOLERANT
	PIERIS JAPONICA 'LITTLE HEATH' LITTLE HEATH PIERIS	#1 POT	1.0m O.C.	81	DROUGHT TOLERANT
	PINUS MUGO VAR. PLUMILLO DWARF MUGO PINE	#2 POT	1.2m O.C.	8	DROUGHT TOLERANT
	POLYSTICHUM MUNITIUM SWORD FERN	#1 POT	1.0m O.C.	183	DROUGHT TOLERANT
	PRUNUS LAUROCERASUS 'OTTO LUHKE' DWARF ENGLISH LAUREL	#1 POT	1.0m O.C.	109	DROUGHT TOLERANT
	RHODODENDRON SSP. MIX COLOUR & BLOOM TIME	#5 POT	SEE PLAN	19	DROUGHT TOLERANT
	SPIRAEA JAPONICA 'GOLDMOUND' GOLDMOUND SPIREA	#1 POT	1.2m O.C.	11	DROUGHT TOLERANT
	TAXUS X MEDIA 'H.M. EDDIE' H.M. EDDIE YEW	#2 POT	1.0m O.C.	111	DROUGHT TOLERANT
PERENNIALS, VINES & GROUNDCOVERS					
	CALLUNA VULGARIS 'SPRING TORCH' LAVENDER SCOTCH HEATHER ERICA CARNEA 'SPRINGWOOD WHITE' WHITE HEATHER	#1 POT	0.6m O.C.	291	50/50 MIX. IN GROUPS OF 3.5 OR 7. DROUGHT TOLERANT
	PESTUCA GLAUCA 'ELIJAH BLUE' ELIJAH BLUE FESCUE	#1 POT	0.6m O.C.	73	DROUGHT TOLERANT
	HELICITRITROCHON SEMPERVIRENS BLUE OAT GRASS	#1 POT	0.9m O.C.	12	DROUGHT TOLERANT
	PACHYSANDRA TERMINALIS 'GREEN SHEEN' GREEN SHEEN JAPANESE SPURGE	#1 POT	0.9m O.C.	35	GROUND COVER VEHICLE OVERHANGS
	PENNISETUM ALOPECUROIDES 'HAMELN' DWARF FOUNTAIN GRASS	#1 POT	0.75m O.C.	39	DROUGHT TOLERANT
	LAWN	500		360 sq.m.	

LAYOUT LEGEND

ABBREVIATIONS	DESCRIPTION
(D)	EXISTING
TYP.	TYPICAL
PL	PROPERTY LINE
PA	PLANTING AREA
SYMBOL DESCRIPTION	
	PROPERTY LINE
	BROOK FINISH CONCRETE PAVING
	DECORATIVE PAVING OVER SLAB
	LIGHT COLOUR
	DARK COLOUR
	450mm LEAVE STRIP, 30mm MINUS ROUND WASHED RIVER COBBLE OVER LANDSCAPE FABRIC (EXTEND UNDER FRONT BALCONIES)
	BENCH MANUFACTURER: WISHBONE SITE FURNISHINGS (PH: 866-626-0476) STYLE: BAYVIEW BENCH MODEL: BY-6 FRAME COLOUR: BLACK SLAT COLOUR: WALNUT
	2-STALL BIKE RACK MANUFACTURER: GREENSPOKE BIKE PARKING SOLUTIONS (844-866-9999) STYLE: SINGLE ARCH BIKE RACK MODEL: BS020 COLOUR: BLACK QTY: 8
	RECTANGLE PLANTERS SIZES VARY. REFER TO PLAN FOR LAYOUT AND SAMPLE PHOTO ON SHEET L2 FOR STYLE.
	STACKED ROCK LANDSCAPE WALL 1.2m HEIGHT MAX. AS REQUIRED AROUND TREE RETENTION AREA
	SOILARD LIGHT REFER TO ELECTRICAL PLANS
	DARK SKY COMPLIANT LED PARKING LOT LIGHT (FULL CUT-OFF, FLAT LENS) REFER TO ELECTRICAL PLANS

IRRIGATION EQUIPMENT LEGEND

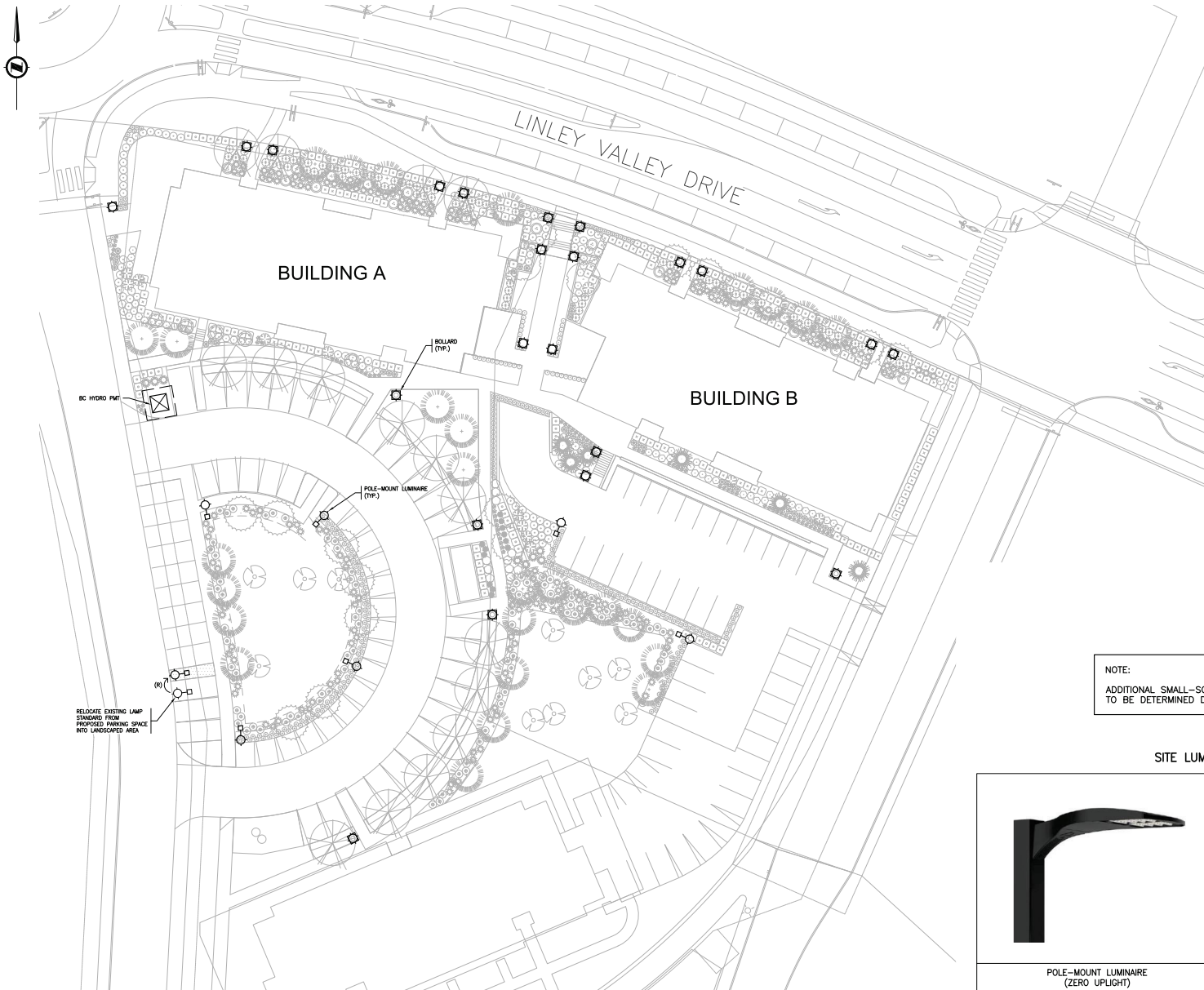
SYMBOL	MANUFACTURER	MODEL	DESCRIPTION
	HUNTER	ITSD	AUTOMATIC IRRIGATION CONTROLLER IN MECHANICAL ROOM
	HUNTER	W50-SEN	WIRELESS SOLAR-SYNC SENSOR ON SOUTH-FACING EAVE
	BY CIVIL	BY MECHANICAL	38mm (1.5") DOUBLE CHECK BACKFLOW PREVENTER AND WATER SUPPLY IN MECHANICAL ROOM
		SCHEDULE 40	38mm (1.5") PVC MAINLINE
		SCHEDULE 40	PVC SLEEVES UNDER ALL PAVING AND THROUGH WALLS MIN. TYP. EXACT LOCATION (TOD): MAINLINE & CONTROL WIRE: 150mm (6") LATERALS: 100mm (4") BURIAL DEPTH TO MATCH DEPTH OF CARRIED PIPE.



Rectangle Planters
 Plaza Space Delineation Photo

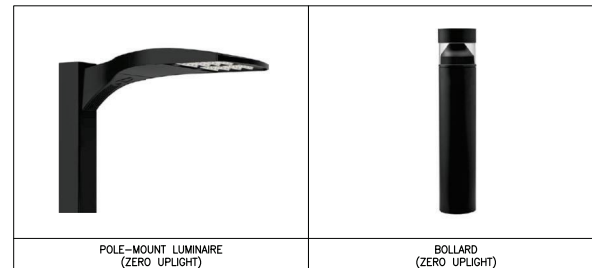


Wayfinding Sign
 Photo



NOTE:
ADDITIONAL SMALL-SCALE BUILDING-MOUNTED LIGHTING TO BE DETERMINED DURING DETAILED DESIGN.

SITE LUMINAIRE GUIDE



REVISION	
NO.	DATE
4	MAR 11 2026
3	FEB 20 2026
2	AUG 28 2025
1	DEC 13 2024
	TITLE
 41155 NORFIELD ROAD TEL: 250.736.4848 NANAIMO, BC V9Y 2E1 WWW.KBENGINEERING.CA EDCB PERMIT #1001907 THIS DRAWING IS SOLELY INTENDED TO BE USED FOR THE PURPOSE OF THE DRAWING REVISION TITLE AND SHALL NOT BE USED FOR ANY OTHER PURPOSE.	
CLIENT	
PROJECT	
6045 LINLEY VALLEY DRIVE PHASE 1	
TITLE	
DP SITE PLAN LIGHTING LAYOUT	
PROJECT NO.	SEAL
24-4889	
DATE	NOVEMBER, 2024
SCALE	1:250
DRAWING NO.	
E1.01	