



Locate Mobile/Modular Homes and Additions or Detached Buildings in Mobile Home Parks

WHEN IS A PERMIT REQUIRED?

1. For the location of a mobile/modular on a lot within a park
2. For moving any mobile to a new lot within a park
3. For additions to a mobile/modular
4. For accessory buildings over 10 m² (107 ft²)
5. For any deck more than 0.6 m (2 ft) above the ground

WHO IS RESPONSIBLE FOR OBTAINING BUILDING PERMITS?

1. The park owner is responsible for obtaining a permit and calling for inspections for mobile/modular placement.
2. The mobile/modular homeowner is responsible for obtaining a permit and calling for inspections for additions, decks and accessory buildings.

WHAT ARE THE BYLAW REGULATIONS AFFECTING BUILDINGS IN MOBILE HOME PARKS?

1. The minimum area for Mobile Home lots shall not be less than 325 m².
2. The maximum site coverage* including additions, decks and accessory buildings attached or detached is 35% and where lot size is less than 387 m² and 40% where lot size exceeds 387 m².
*Coverage includes carports, enclosed additions to the mobile and accessory buildings but excludes awnings and eaves.
3. Each corner of the lot shall be marked on the ground by permanent flush stakes.
4. Lots shall be clearly and permanently marked with a lot number or address.
5. Mobile/modular homes and their additions, decks or accessory buildings shall not be located within any required front, side or rear yard.

Minimum yard setbacks: Front 4.5 m, Rear 3.0 m, Side 1.5 m

6. Detached buildings of 100 ft² or less do not require a building permit, but must comply with the maximum site coverage and the setback requirements. Two off-street parking spaces are required. 8.2' x 14.8' paved or dust-free material minimum 4" of 9.5" rock chips.

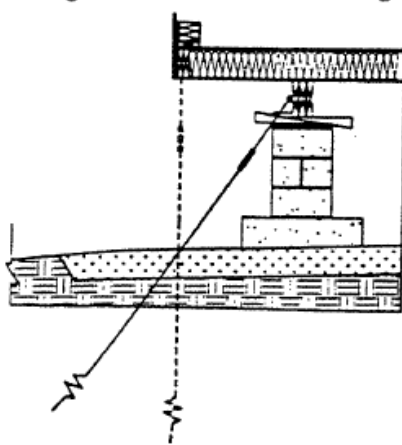
WHAT INFORMATION IS REQUIRED FOR A BUILDING PERMIT APPLICATION?

1. Two site plans, to scale 1/16" = 1' indicating:
 - Area and size of lot with all setbacks to lot lines
 - Dimensions and location of all existing accessory buildings, decks and additions
2. Two complete sets of plans, drawn to scale 1/4" = 1'
 - Foundation plan and dimensions
 - Floor plan
 - Elevations, including window sizes
 - A cross section with construction details for additions, decks and accessory buildings
 - Sealed Engineer's specifications for aluminum carports/canopies & their attachment to the mobile/modular
3. Serial number, registration number and C.S.A. number of mobile/modular
4. Appointment of Agent letter from the owner of the Mobile Home Park

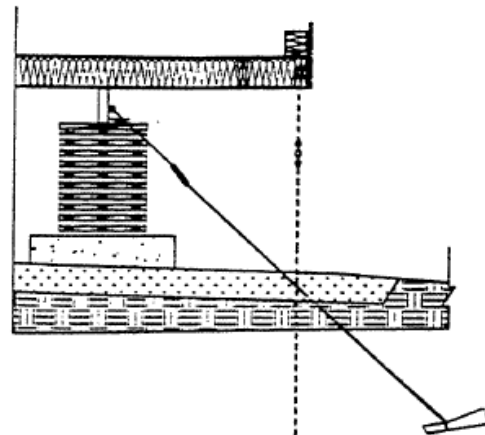
WHAT IS REQUIRED AFTER A PERMIT IS ISSUED?

1. The applicant is responsible to call Building Inspections (755-4420) for the appropriate inspections by 4 pm for next day inspection. The required inspections are FORMS, SERVICES, DRAINTILE, FINAL.
3. The City approved plans must be on site for the inspector to review during inspections.
4. All aspects of mobile home placement must meet the CSA standard Z240.10.1-94 Site Preparation, Foundation, and Anchorage of Mobile Homes, Z240 Mobile Homes or A-277 Procedure for Certification of Factory-Built Houses as applicable and conform to the City approved plans and permit conditions.
5. Mobile home additions, decks and accessory buildings must conform to the City approved plans and permit conditions.

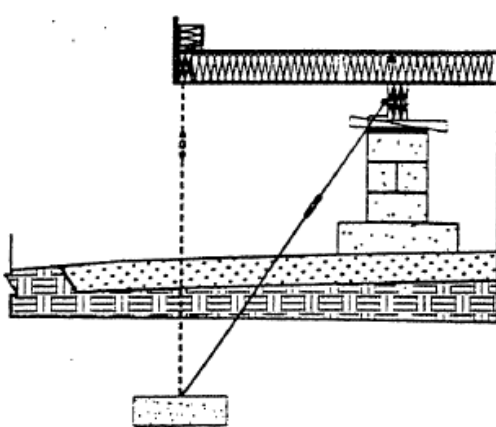
Anchorage to Resist Overturning



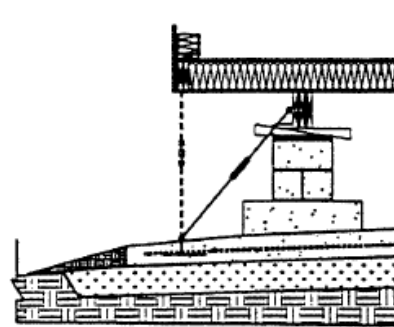
GROUND AUGER TYPE ANCHOR



"DUCKBILL" TYPE ANCHOR



CONCRETE "DEADMAN"



REINFORCED CONCRETE SLAB

Notes:

- (1) Diagonal tie-downs are effective in limiting lateral sliding on the foundation piers.
- (2) Vertical tie-downs, directly connected to the wall studs, provide the most effective resistance to uplift and overturning forces and should be considered for use at high wind load sites, particularly on the prevailing windward sides of the installation.

Typical Anchorage Systems

5.4

Ground anchors, where required by this Standard, shall be spaced not more than 12 m (40 ft) apart.

5.5

Ground anchorage systems shall be constructed of materials resistant to corrosion and decay.

5.6

Ground anchors shall be installed at a depth sufficient to be free from movement due to frost action and to develop the required pullout resistance.

5.7

Pullout resistance of ground anchors shall be determined using recognized engineering practice or, for proprietary systems, from the anchor manufacturer's instructions for the soil type in question.

Skirting

Installation

Skirting, where installed, shall conform to the following performance criteria:

- (a) skirting shall be designed to accommodate a minimum of 50 mm (2 in) vertical movement of the soil surface due to frost action without transferring loads from the home to the ground;
- (b) elements of skirting assemblies in contact with the ground shall be corrosion resistant or pressure-preservative treated in accordance with CSA Standard O80.15. Cut ends of wood members shall be brush or dip treated in accordance with the instructions of the preservative manufacturer; and
- (c) the exterior surface of skirting assemblies shall be painted or otherwise made resistant to the weather (see Appendix D for illustrations of acceptable skirting details).

Ventilation of Crawl Space

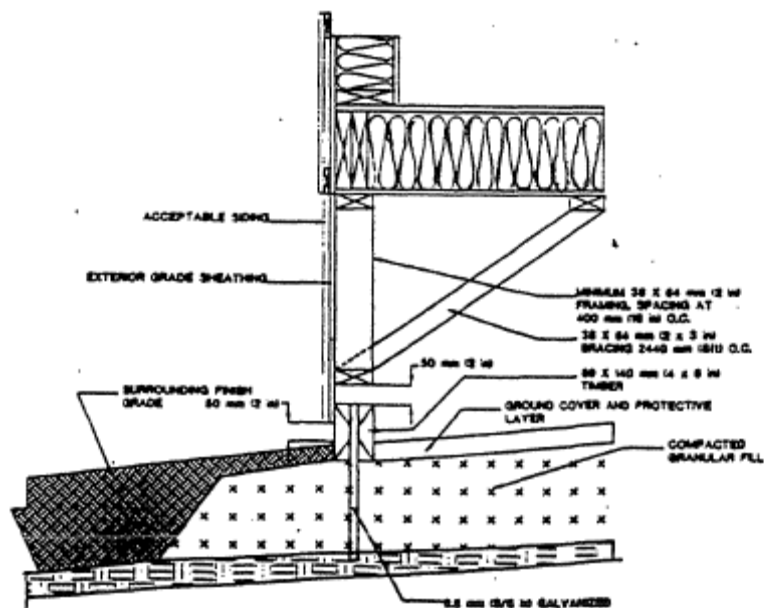
When skirting is used, year-round ventilation of the crawl space shall be provided.

Note: Failure to provide adequate ventilation may allow moisture to build up under the home and transfer that moisture into the home itself. This moisture can lead to decay conditions within the crawl space and high humidity in the home, resulting in condensation problems.

Crawl space ventilation shall be provided by the installation of screened louvers or grilles of at least 1 m² of unobstructed venting for each 500 m² (1 sq ft for each 500 sq ft) of floor area of the home. Ventilation grilles shall be uniformly spaced on opposite sides of the home and kept free from obstructions such as snow buildup.

At least one access panel of not less than 500 × 700 mm (20 × 28 in) shall be provided in the skirting for periodic inspections and maintenance of services. The panel shall be located close to sewer and water connections.

Appliances or clothes dryers shall not be vented into the crawl space.



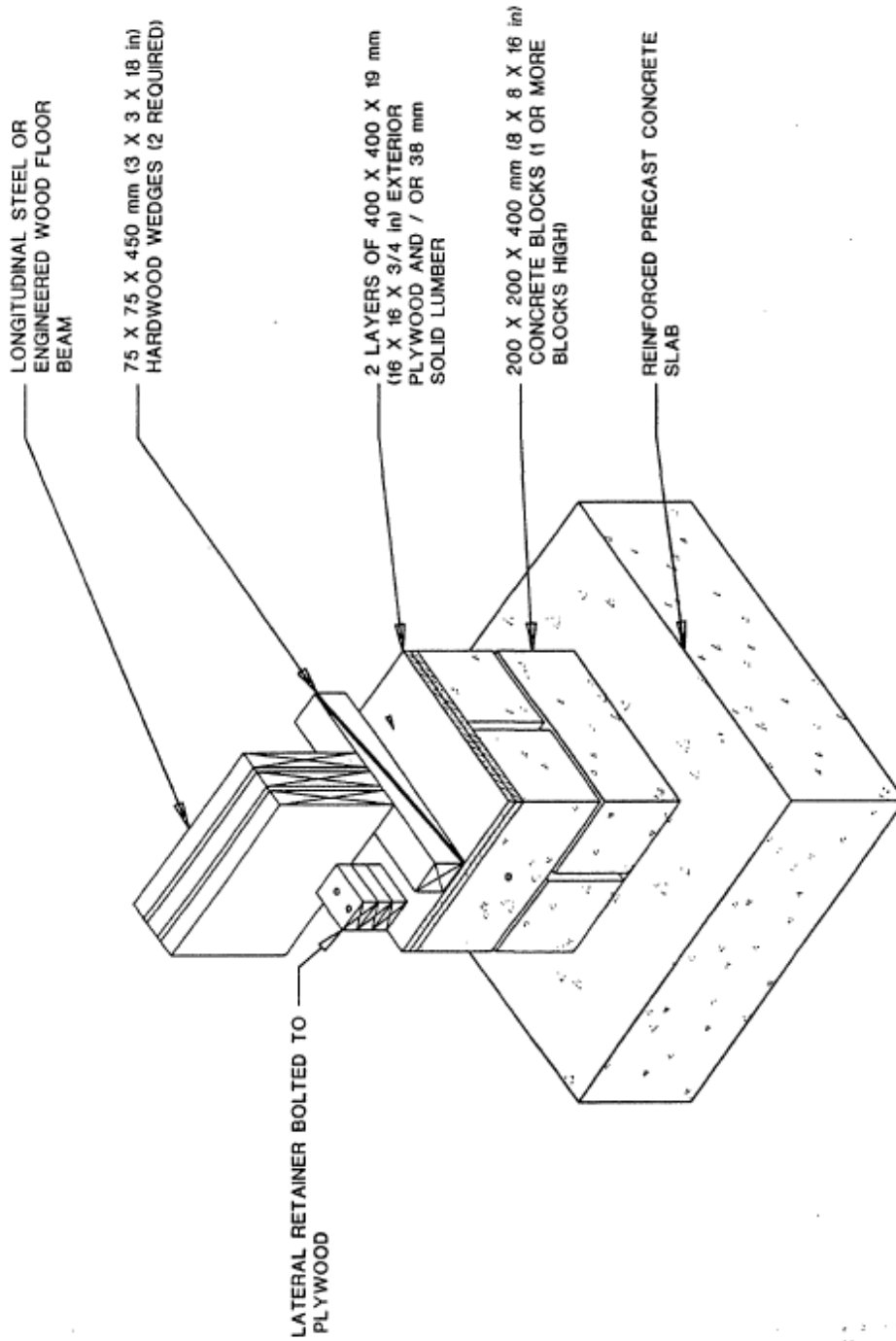
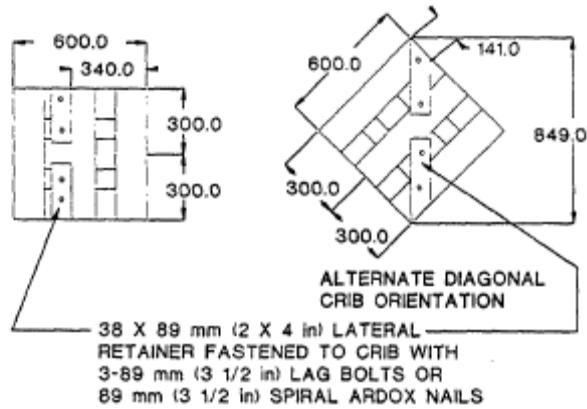
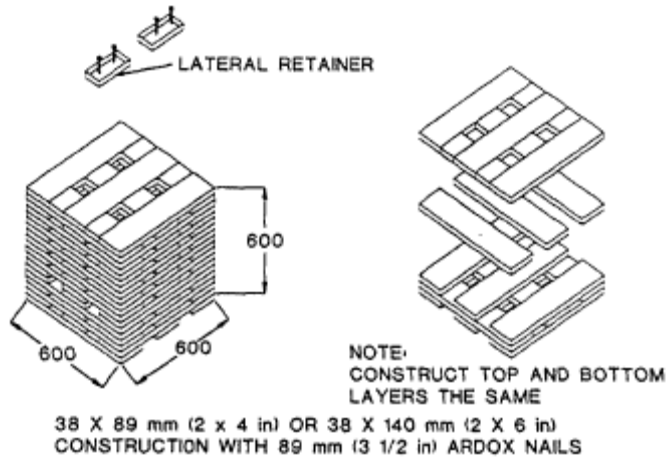


Figure B5
Concrete Block Surface Foundation System



WOOD CRIB CONSTRUCTION

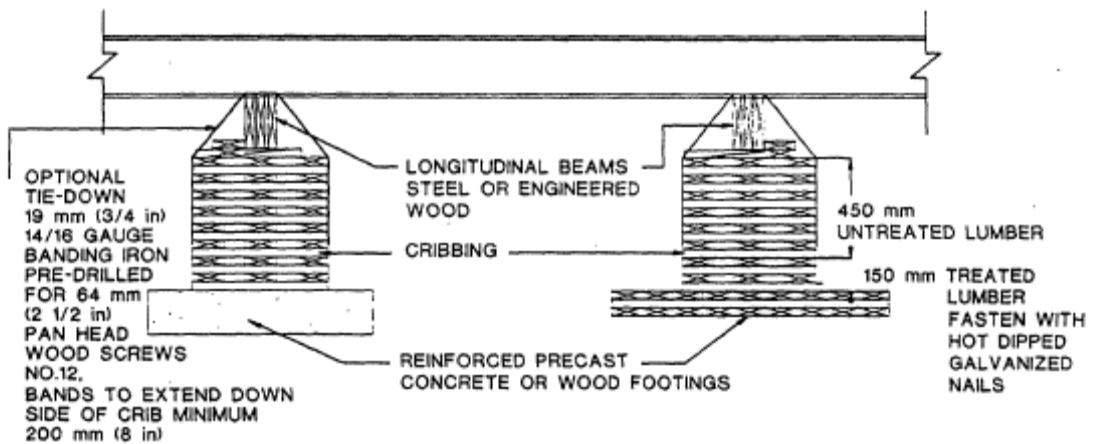


Figure B6
Wood Crib Pier Foundation