

definitions

The following definitions have been interpreted from the City of Nanaimo's Zoning Bylaw No.4500. A complete definition is available at www.nanaimo.ca

FENCE - a structure used as an enclosure or screening around all or part of a lot. A retaining wall is applicable to fence regulations.

FRONT YARD - the area extending from the front parcel line 4.5m back towards the house.

FRONT PARCEL LINE - the lot line abutting the road.

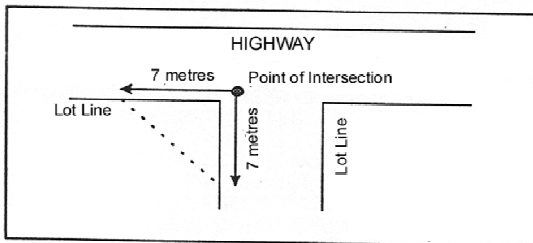
SIDE YARD - means that portion of the lot extending from the front yard to the rear yard between the side of the lot and the line drawn parallel thereto at a distance prescribed for the zone.

SIDE PARCEL LINE - any lot line that is **not** defined as a front, rear, or flanking side parcel line.

FLANKING SIDE PARCEL LINE - is adjacent to the street, is not the front parcel line, and is only applicable to a corner lot.

REAR YARD - the area extending from the rear parcel line 7.5m forward towards the house.

REAR PARCEL LINE - the lot line opposite and most distant from the front parcel line.



VISIBILITY AT INTERSECTIONS - where two roads intersect there shall be no obstruction to the line of vision between 1.2m and 3m vertically within an area bounded by the centre line of intersecting lot lines and a line joining each of the lot lines 7m from their point of intersection.

summary

- ◆ There is a maximum height your fence can be and this varies depending on how your property is zoned
- ◆ Heights of hedges/trees/landscaping are not applicable to fence height regulations
- ◆ Retaining walls are applicable to fence height regulations
- ◆ If you build a fence on top of a retaining wall, height is measured from the base of the retaining wall
- ◆ Build your fence on your property
- ◆ Dial before you dig (1-800-474-6886)

Please Note: This pamphlet is only an outline of fence regulations outlined in Zoning Bylaw 4500. For further clarity, please contact the Planning Assistant .

For more information, visit us online at
www.nanaimo.ca

Planning Department
411 Dunsmuir Street
Nanaimo, BC V9R 5J6
Phone: 250-755-4429



Building a Fence?

Things you should know first



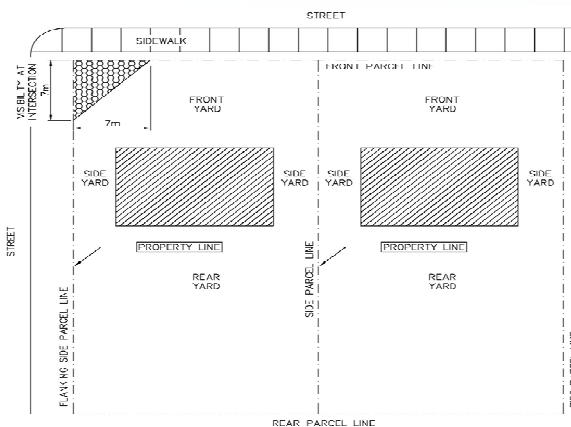
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Frequently Asked Questions

1 How tall can I build my fence?

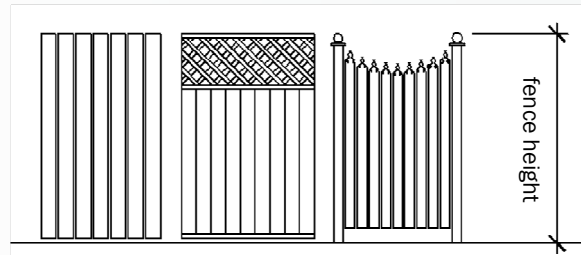
The maximum permitted fence height is determined by what your property is zoned. Within a given zone fence height varies depending on its location—in the front yard, rear yard, side yard, or flanking side yard.

Zones	Front Yard	Side & Rear Yard	Flanking Side Yard
<i>R1/R1a to R10 and R13 to R15</i>	1.2m	2.4m	1.8m
<i>R12 Total Site</i>	1.8m	1.8m	1.8m
<i>R12 Individual mobile home lots</i>	1.2m	1.2m	1.2m
<i>R11</i>	2.4m	2.4m	2.4m
<i>AR1 and AR2</i>	2.4m	2.4m	2.4m
<i>Commercial Centre Zones</i>	1.2m	1.2m	1.8m
<i>All Corridor and Downtown Zones</i>	1.2m	1.8m	1.8m



2 How is height measured?

The height of the fence is measured from the ground level immediately adjacent the fence to the highest point of the fence. If you are building a fence on top of a retaining wall, the retaining wall is included in the height calculation.



Call before you dig!

To avoid injury and/or service disruption it is suggested you contact utility providers prior to excavating or drilling post holes

3 How do I know what my property is zoned?

Zoning Bylaw No.4500 outlines the zoning for all applicable properties within the City of Nanaimo.

You will be able to determine the zoning for your property via the City's Nanaimo Map (<http://www.nanaimo.ca/NanaimoMap/>) or by visiting the Planning Department (in the Service and Resource Centre) at 411 Dunsmuir Street or by calling at 250.755.4429

4 Where can I put my fence?

A fence is to be located on your property. If you and your neighbour decided to share a fence, that is based on cooperation between parties. The City of Nanaimo has no jurisdiction in disputes arising over fences as these matters fall within provincial jurisdiction and can be resolved through civil litigation.

When building a fence it is advised that you measure carefully to determine the exact location of your property line(s). Keep in mind, that typically the front property line is not located adjacent to the sidewalk.

5 Where can I NOT put my fence?

Fences cannot be located on City property or on any City right-of-way or easements areas

6 How do I know where my property line is?

If your house has been built recently, the location of the property line(s) in relation your house located on the lot may be recorded within the original building permit application. You also may hire a registered British Columbia Land Surveyor (BCLS) to come to your property and find your property line(s). It is the responsibility of the property owner to ensure the accurate location of fencing relative to their property lines.